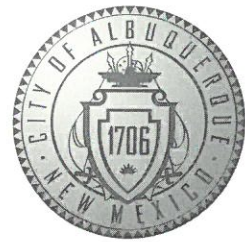


CITY OF ALBUQUERQUE



September 3, 2020

Jeffrey T. Wooten, P.E.
Wooten Engineering
1005 21st St. Suite 13
Rio Rancho, NM 87124

**Re: Academy Dental Center
6421 Holly Ave NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 4-3-20 (C18D038A)
Certification dated 8-24-20**

Dear Mr. Wooten

Based upon the information provided in your submittal received 9-2-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please add top plates to sidewalk culverts.

Once corrections are complete resubmit

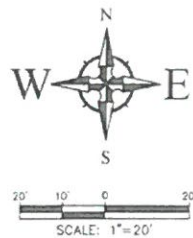
1. The approved and stamped TCL, with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



PARKING CALCULATIONS		
BUILDING AREA:	AREA (SQUARE FEET)	
MEDICAL OFFICE	5,075 SF	
FUTURE MEDICAL OFFICE	4,100 SF	
PARKING REQUIREMENTS:	REQUIRED	PROVIDED
MEDICAL OFFICE (5,075 SF)	25 spaces	
FUTURE MEDICAL OFFICE (4,100 SF)	21 spaces	
TOTAL	46 spaces	55 spaces
HANDICAP PARKING	3 spaces	3 spaces
MOTORCYCLE PARKING	2 spaces	2 spaces
BICYCLE PARKING	4 spaces	5 spaces


GENERAL NOTES (REQUIRED INFORMATION)

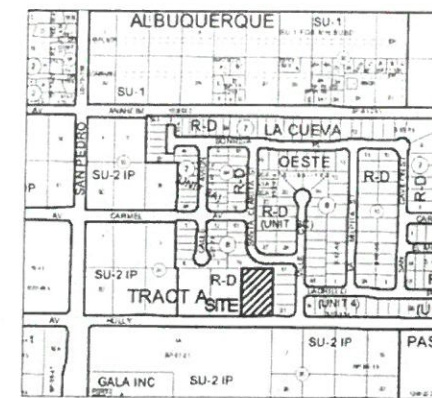
Site: 1.27 Acres (55,216 SF)
Zoning: MX-L (Mixed Use)
Proposed Use: Medical Office (Dental)
Building Height: Maximum Allowed = 35'; Proposed 21'-4"
Building Setback: Per MX-L Zone

Allowed: Actual:
Front: 5' min 74.4'
Side: 0' 118.2'
Side: 0' 31.0'
Rear: 15' min 80.8'

TRAFFIC CIRCULATION LAYOUT

APPROVED

Signed:  Date: 8/17/20

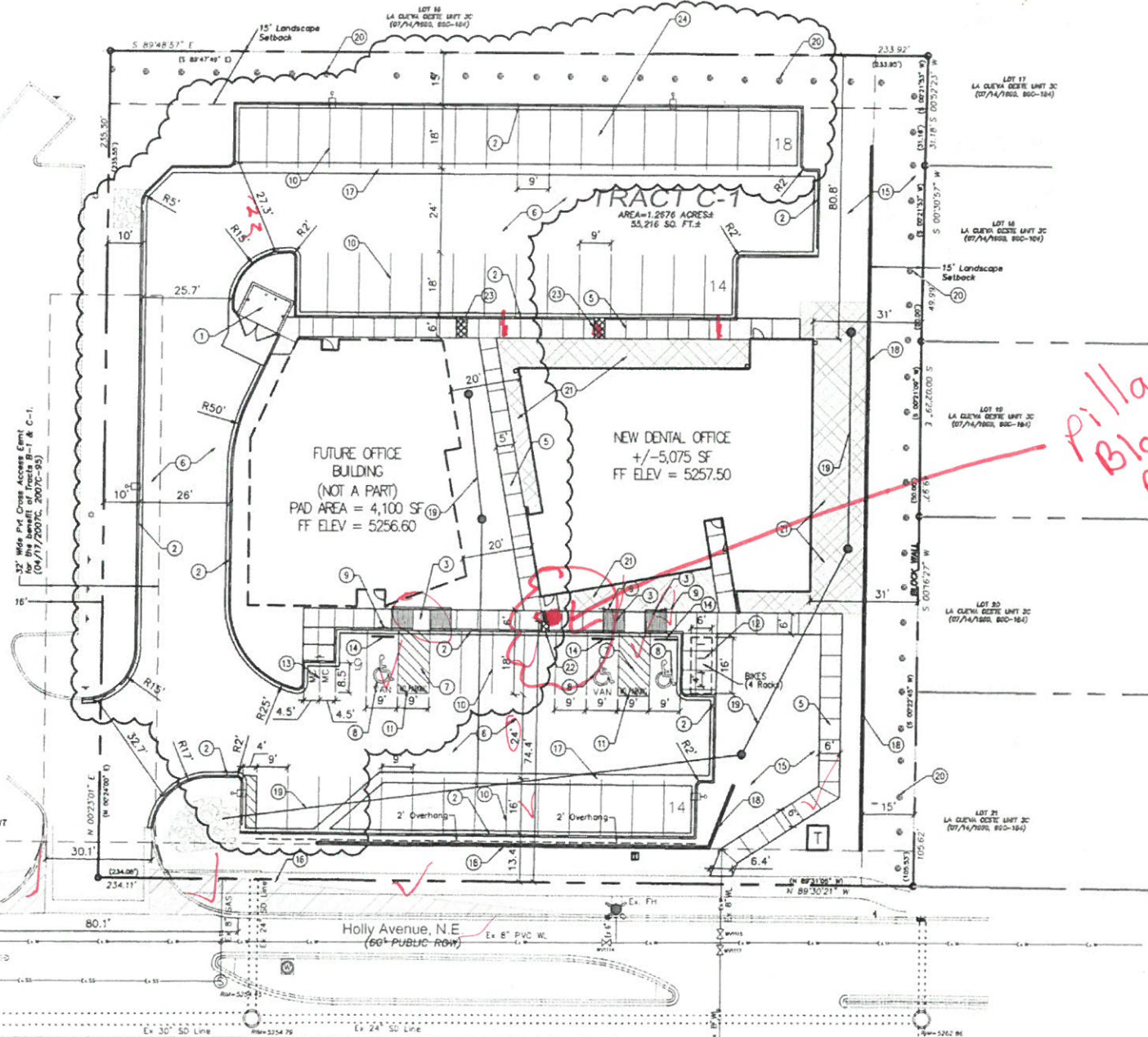


VICINITY MAP - Zone Map C-18-Z

LEGAL DESCRIPTION:
Tract C-1, Paseo Nuevo 2, Albuquerque,
Bernalillo County, 1.268 Acres.

KEYED NOTES

- PROPOSED TRASH ENCLOSURE AND STORAGE AREA. TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
- INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE NOT REQUIRED FOR PRIVATE RAMPS. MATCH ADJACENT SIDEWALK WIDTH.
- NOT USED.
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- ASPHALT PAVEMENT PER GEOTECHNICAL REPORT.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
- PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS.
- INSTALL H/C SIGNAGE PER DETAIL, SHEET C1.1. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGNAGE SHALL BE MOUNTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
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- MOTORCYCLE PARKING; 2 SPACES. ADD PAINT LABEL (2 COATS) AND SIGNAGE PER COA CODE AND PER DETAIL, SHEET C1.1.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET C1.1, TYP 9.
- LANDSCAPED AREA TO BE DESIGN-BUILD BY CONTRACTOR. REFER TO ARCHITECTURAL SITE PLAN FOR LANDSCAPE DESIGN CRITERIA.
- 13'X130' CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
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- 15' NEIGHBORHOOD EDGE BUFFER. VARIANCE APPROVED OF 3/4/20, SPECIAL EXCEPTION NO. VA-2019-00459.



SITE PLAN CERTIFICATION

I, JEFFREY T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 4/3/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEFFREY T. WOOTEN, P.E. OF THE FIRM WOOTEN ENGINEERING. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 8/24/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE IMPROVEMENTS BUILT ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY (TEMPORARY C.O.).

THE FOLLOWING ITEMS NEED TO BE CORRECTED PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY (PERM CO).
- THE STEEL PLATES FOR THE SIDEWALK CULVERTS NEED TO BE INSTALLED.
- THE PIN HOLES FOR THE TRASH ENCLOSURE DOORS NEED TO BE DRILLED.
- BIKE RACKS NEED TO BE INSTALLED ONTO THE CONCRETE PAD.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE SITE IMPROVEMENTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JEFFREY T. WOOTEN, NMPE 16892



Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

BENCH MARKS	
A.C.S. MONUMENT "S-C18"	
MONUMENT "HEAVEN"	
NEW MEXICO STATE PLANE COORDINATES	
(CENTRAL ZONE-N.A.D. 1983)	
N=1,521,497.624	
E=1,542,501.428	
PUB. EL=5232.47 NAVD 1988	
GROUND TO GRID FACTOR=0.999664563	
DELTA ALPHA ANGLE = -0°11'19.69"	

JOE

Academy Dental Center

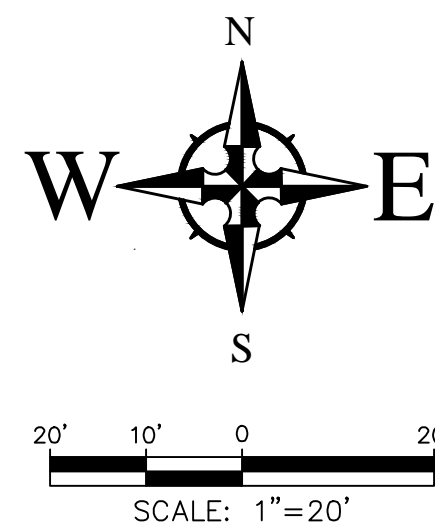
6421 Holly Ave. NE
Albuquerque, NM



REVISIONS		
#	Date	Description

DATE:	AUGUST 22, 2019
PROJECT NO:	2018038
DRAWN BY:	OG
ISSUED FOR:	SD

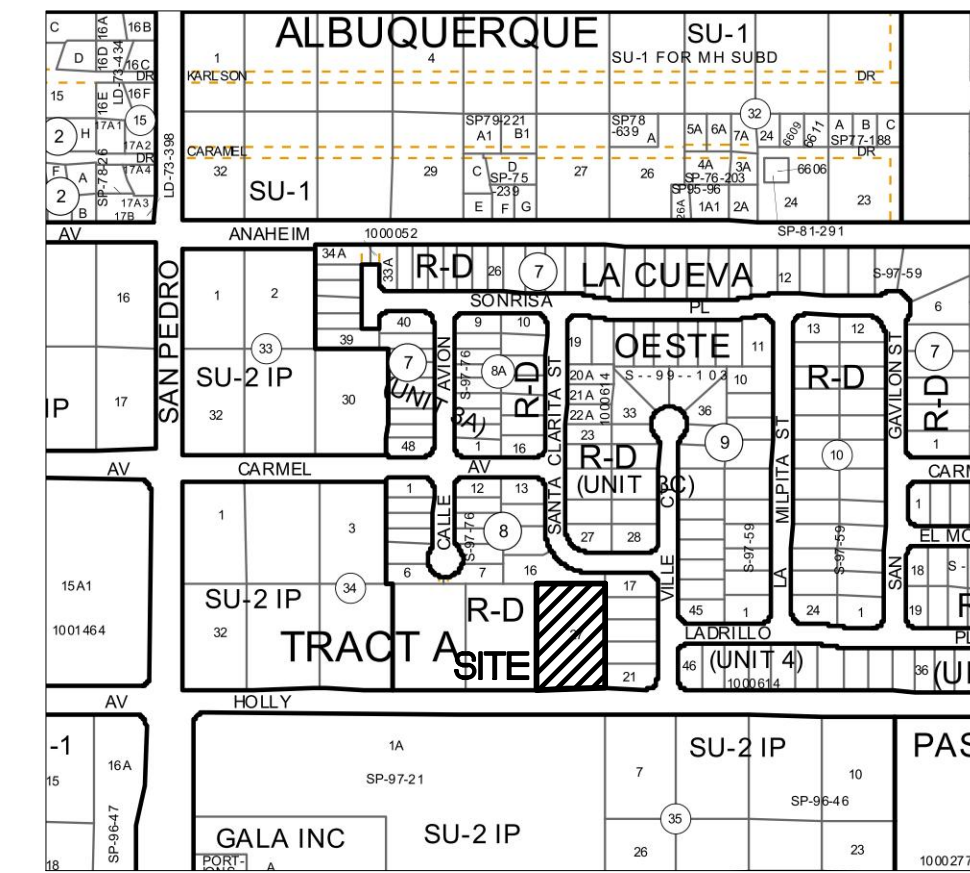
Site Plan
C1.0



PARKING CALCULATIONS		
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- INSTALL 2 COATS OF PAINT FOR COMPACT PARKING SPACES. LETTERS 'COMPACT' MIN 8" TALL. COLOR: WHITE

BENCH MARKS

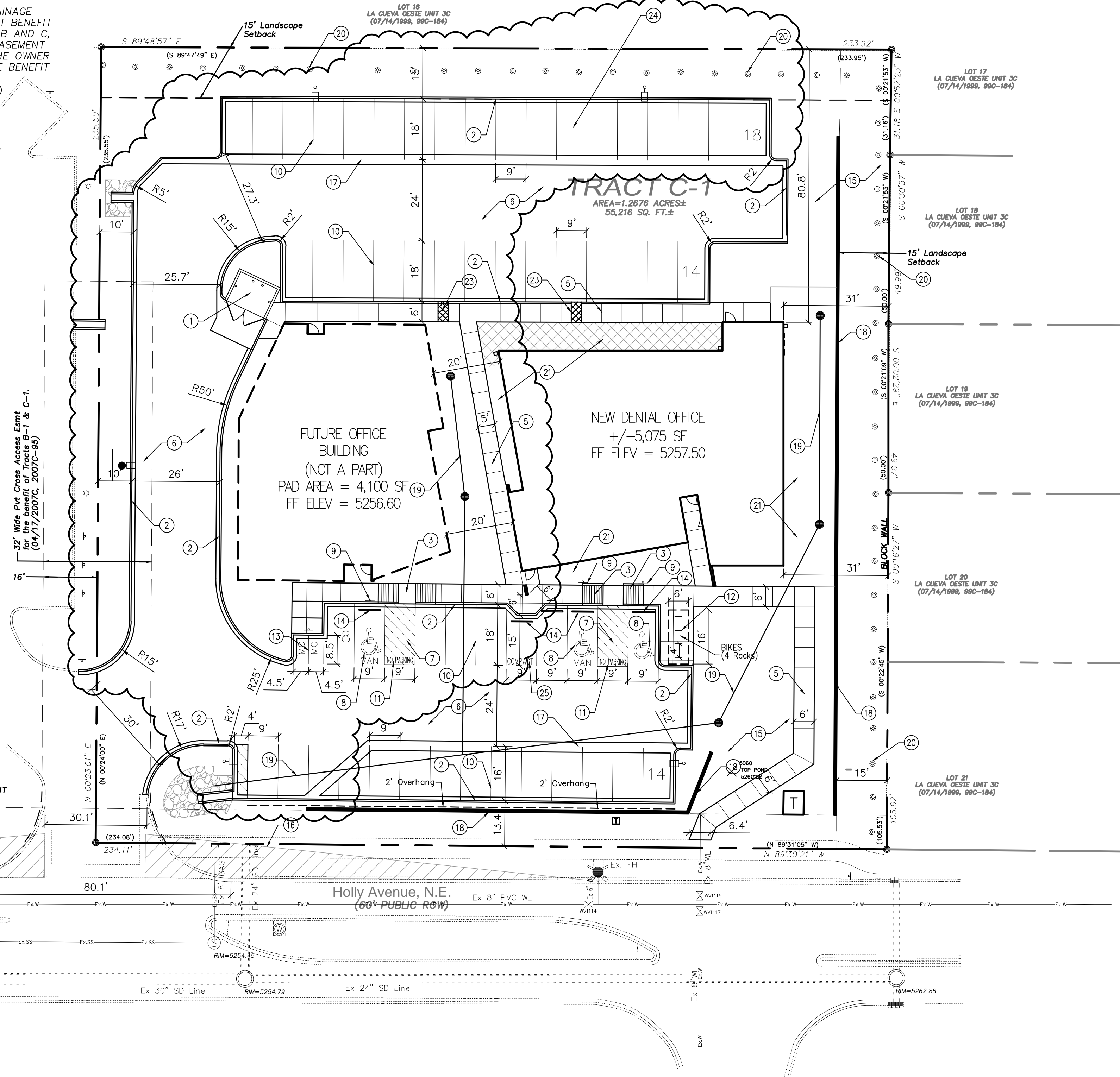
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EXISTING CROSS LOT DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS A, B AND C, PASEO NUEVO 2. SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS.
(02/15/2007, 2007C-41)

TRACT B-1



JOE
ARCHITECT
1433 delaney street, suite 111 denver co | 720.944.3228

Academy Dental Center

6421 Holly Ave. NE
Albuquerque, NM



REVISIONS

#	Date	Description
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DATE: AUGUST 22, 2019

PROJECT NO: 2018038

DRAWN BY: OG

ISSUED FOR: SD

Site Plan

C1.0