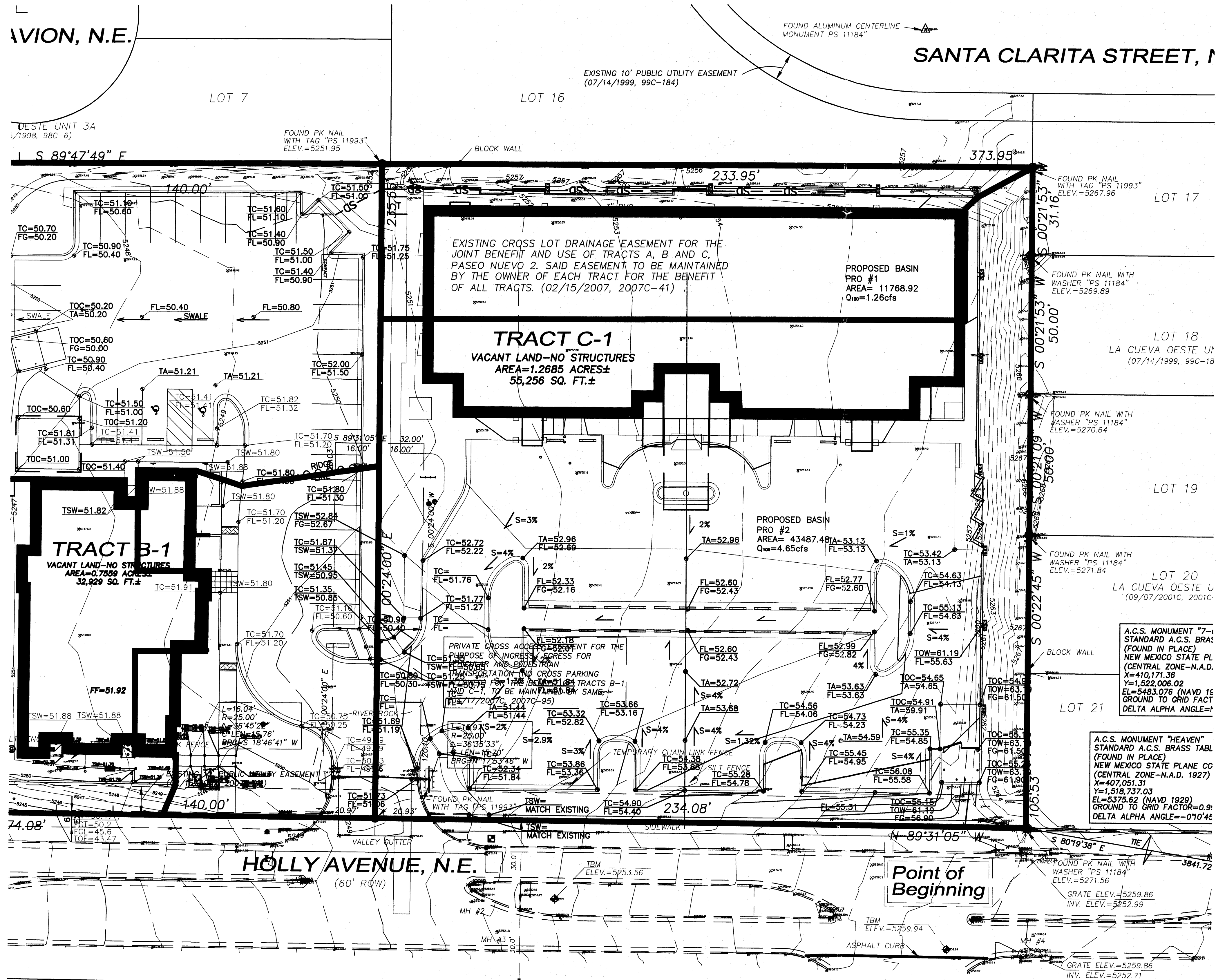
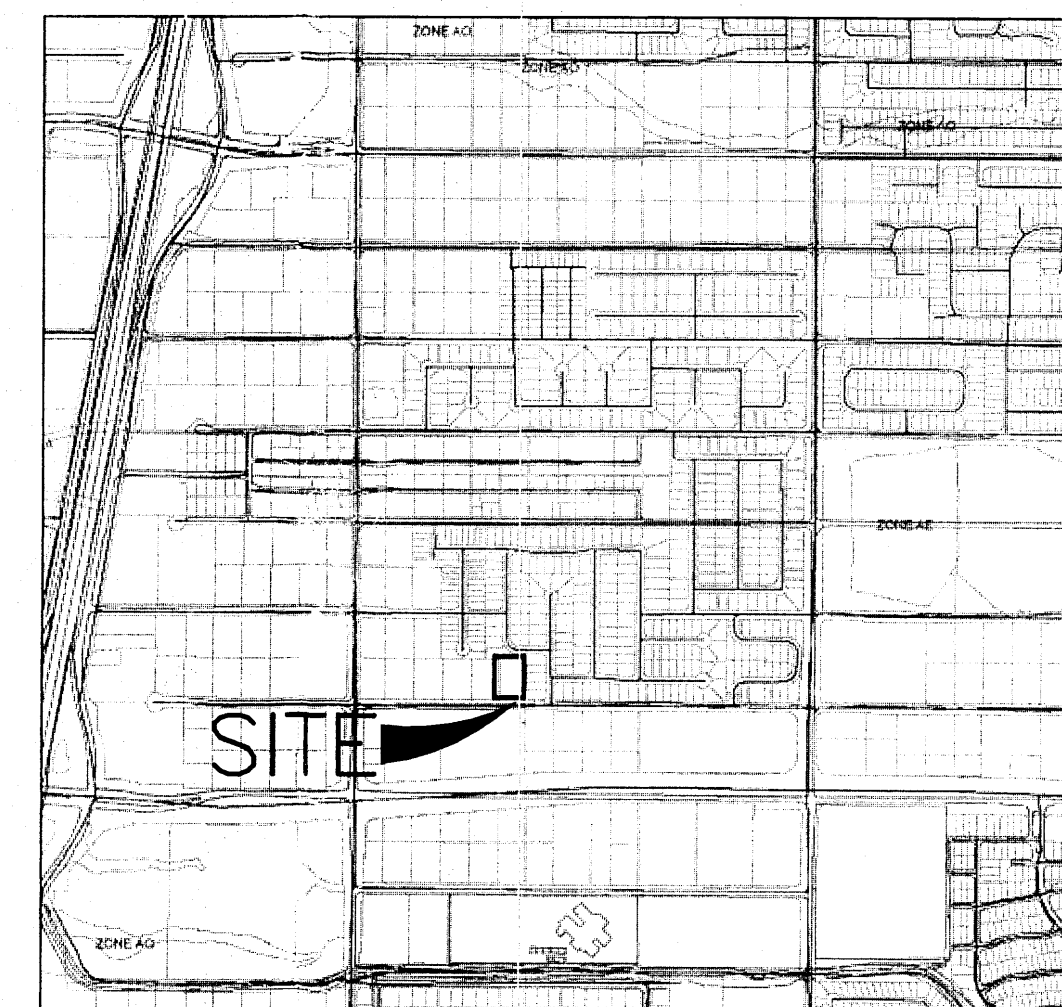
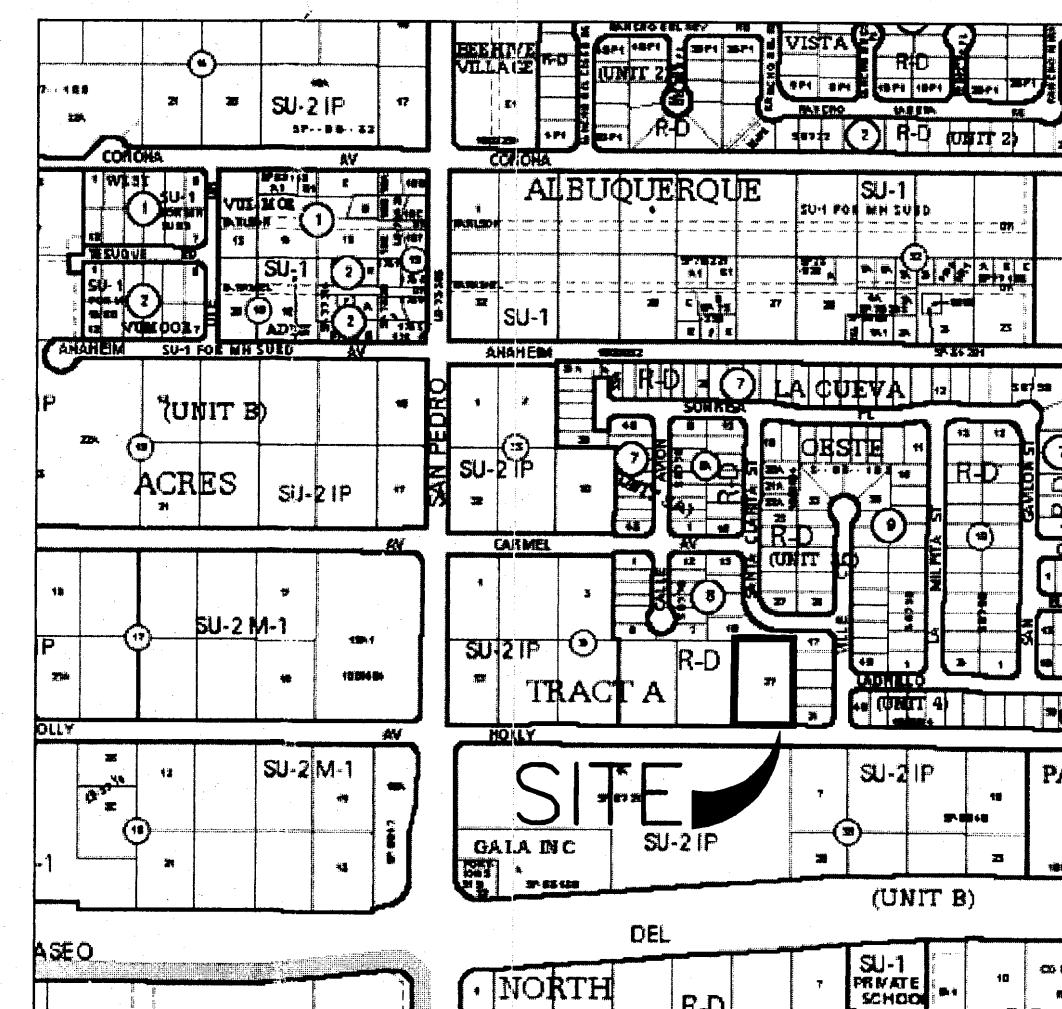




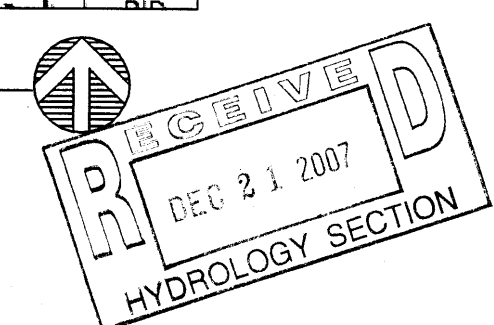
A1 SITE GRADING AND DRAINAGE PLAN
SCALE: 1" = 20'-0"



B6 C-18



A6 C-18



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STATE OF NEW MEXICO
PROFESSIONAL ENGINEER
No. 14921
10.16.07

DATE: 10.1.07
PROJECT #: 07026
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SITE GRADING AND DRAINAGE PLAN

CD1
SHEET OF

LOT 16

NAIL
PS 11993"
.95

BLOCK WALL

373.95'

233.95'

FOUND PK NAIL
WITH TAG "PS"
ELEV.=5267.96

S 00°21'53" W
31.16'

FOUND PK NAIL
WASHER "PS 111"
ELEV.=5269.89

S 00°21'53" W
50.00'

FOUND PK NAIL
WASHER "PS 111"
ELEV.=5270.64

FOUND PK NAIL
WASHER "PS 111"
ELEV.=5271.84

EXISTING CROSS LOT DRAINAGE EASEMENT FOR THE
JOINT BENEFIT AND USE OF TRACTS A, B AND C,
PASEO NUEVO 2. SAID EASEMENT TO BE MAINTAINED
BY THE OWNER OF EACH TRACT FOR THE BENEFIT
OF ALL TRACTS. (02/15/2007, 2007C-41)

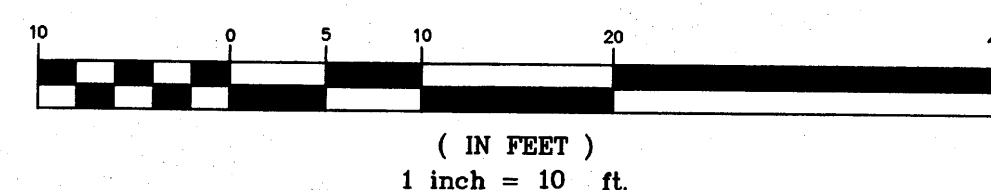
PROPOSED BASIN
PRO #1
AREA= 11768.92
Q₁₀₀=1.26cfs

TRACT C-1

VACANT LAND-NO STRUCTURES
AREA=1.2685 ACRES
55,256 SQ. FT.±

PROPOSED BASIN
PRO #2
AREA= 43487.48
Q₁₀₀=4.65cfs

GRAPHIC SCALE

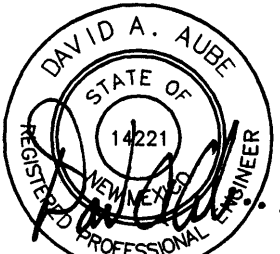


A1 SITE GRADING AND DRAINAGE PLAN

SCALE: 1" = 10'-0"

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**SITE GRADING
AND
DRAINAGE
PLAN**

CD2

SHEET OF

Paseo Nuevo 2 Medical Facility

I. PURPOSE AND SCOPE

The purpose of this drainage plan is to present the existing and proposed drainage management plans for the proposed Paseo Nuevo 2 Medical Facility located on Holly Avenue NE between San Pedro Boulevard N.E. and Louisiana Boulevard N.E. The site currently vacant.

II. SITE DESCRIPTION AND HISTORY

The site a part of the Paseo Nuevo Campus and has been masterplanned for drianage. The site is currently undeveloped but does have a curb cut onto Holly Avenue NE that was constructed as part of the roadway improvements. There is a underground storm drainge collection system in Holly and the site according to the plans from Tierra West has free discharge either into Holly Ave. or through cross lot drainage easements that were created during the platting process.

III. COMPUTATIONAL PROCEDURES

Hydrologic analysis was performed utilizing the design criteria found in the COA–DPM Section 22.2 released in June 1997.

IV. PRECIPITATION

The 100–yr 6–hr duration storm was used as the design storm for this analysis. This site is within Zone 2 as identified in the DPM Section 22.2. Tables within the section were used to establish the 6–hr precipitation, excess precipitation and peak discharge.

V. EXISTING DRAINAGE CONDITIONS OVERVIEW

The existing site is currnetly undeveloped and storm runoff will sheet flow from northeast to the southwest. Excess runoff will overtop the existing sidewalk and eventually enter Holly Avenue NE where it will flow west and eventually into the underground storm drainage system under Holly.

There are concrete block screen wall on the adjoining properties on the north and east side of the site and no offsite flows enter the project site.

There is a curb cut along Holly Ave. NE at teh south west corner of teh project site that will be used for the main discharge point for the storm runoff.

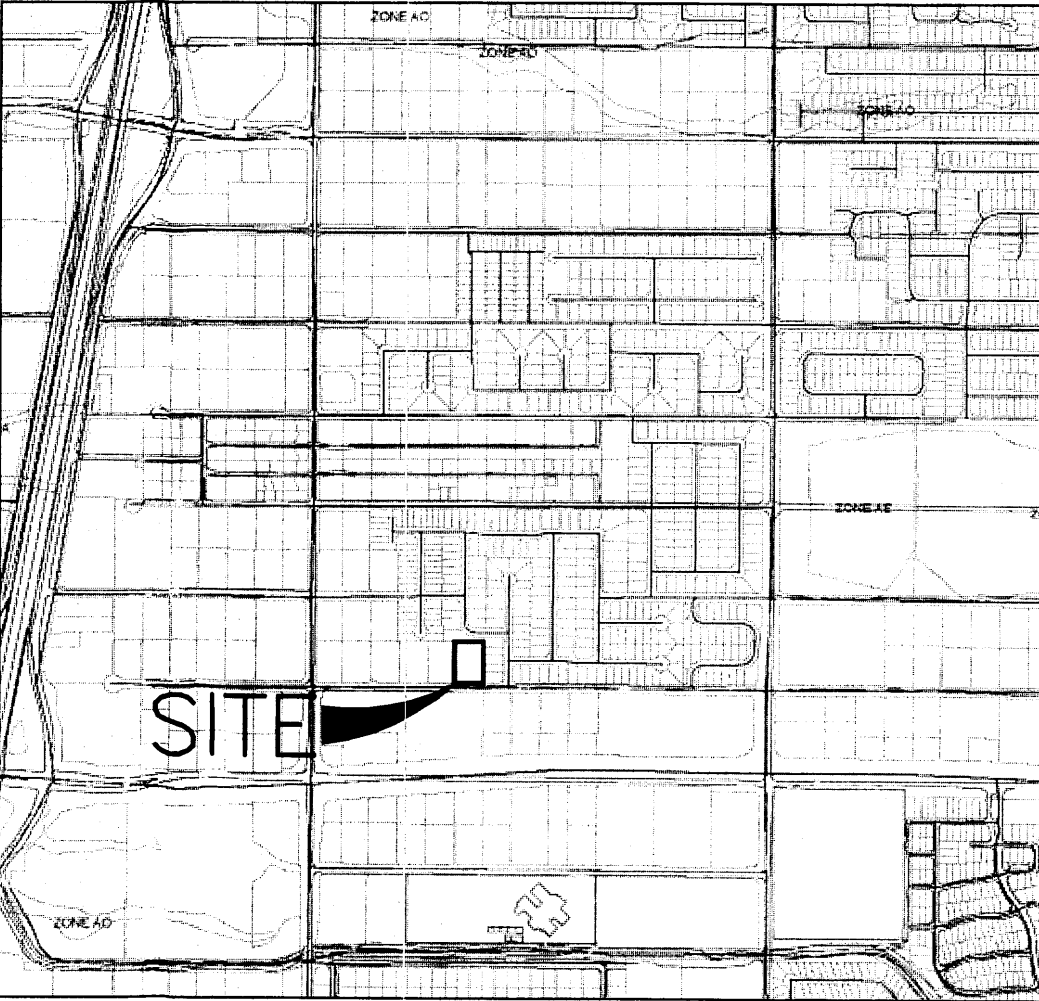
VI. DRAINAGE MANAGEMENT PLAN

The project site if easily broken up into two basins with a ridge line down the centerline of the buildings roof. The northern Basin Pro #1 shown on plan will drain the roof and will discharge onto a sloped sidewalk with trench drians that will collect the storm runoff. The underground piping for this protion of the site will drain to the west and into adjoining property Tract B–1. This cross lot drainage is permitted and was created during the platting process for the lots. The second basin Pro #2 includes the access drive and parking and portions of the building roof. This basin will flow down the asphalt drive lane and out into Holly through the existing driveway. The peak runoff for basins Pro #1, #2, are 1.26cfs, and 4.65 cfs respectively.

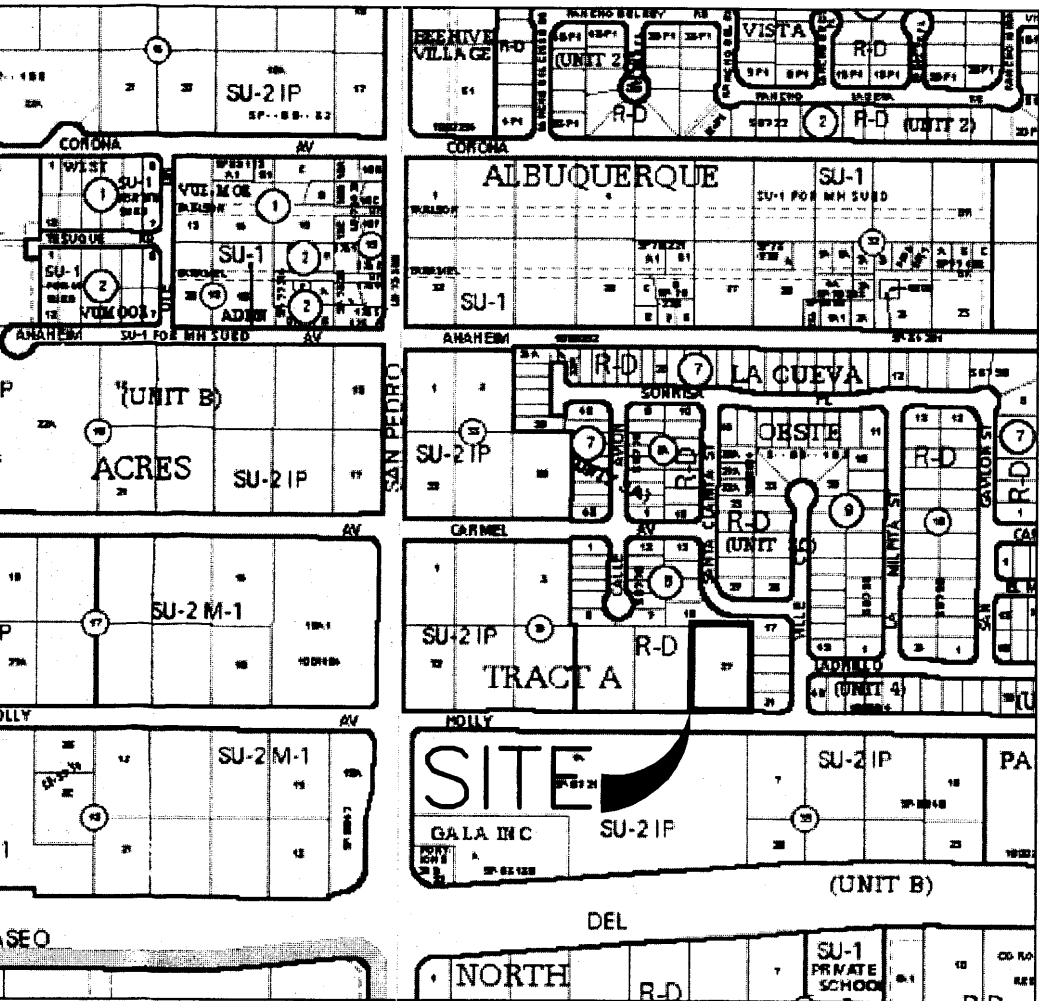
VII. CONCLUSIONS

This is an infill project and downstream storm dainage structures are in place to allow for free discharge. There should be no significant increase in peak discharge to downstream developments from this proposed construction.

Drainage Summary			
Project:	Paseo Nuevo 2		
Project Numbe:	2341		
Date:	10/10/07		
By:	Dave A		
Site Location			
Precipitaion Zone	3 Per Table A-1 COA DPM Section 22.2		
Existing summary			
Basin Name	Ex#1		
Area (sf)	55256		
Area (acres)	1.27		
%A Land treatment	0		
%B Land treatment	0		
%C Land treatment	85		
%D Land treatment	15		
Soil Treatment (acres)			
Area "A"	0.00		
Area "B"	0.00		
Area "C"	1.08		
Area "D"	0.19		
Excess Runoff (acre-feet)			
100yr. 6hr.	0.1533		
10yr. 6hr.	0.0795		
2yr. 6hr.	0.0321		
100yr. 24hr.	0.1613		
Peak Discharge (cfs)			
100 yr.	4.68		
10yr.	2.80		
2yr.	1.23		
Proposed summary			
Basin Name	Pro#1	Pro#2	
Area (sf)	11767	43487	
Area (acres)	0.27	1.00	
%A Land treatment	0	0	
%B Land treatment	15	15	
%C Land treatment	0	0	
%D Land treatment	85	85	
Soil Treatment (acres)			
Area "A"	0.00	0.00	
Area "B"	0.04	0.15	
Area "C"	0.00	0.00	
Area "D"	0.23	0.85	
Excess Runoff (acre-feet)			
100yr. 6hr.	0.0483	0.1784	
10yr. 6hr.	0.0299	0.1106	
2yr. 6hr.	0.0172	0.0637	
100yr. 24hr.	0.0578	0.2137	
Peak Discharge (cfs)			
100 yr.	1.26	4.65	
10yr.	0.83	3.05	
2yr.	0.48	1.76	



B6 FLOOD ZONE MAP
SCALE: NOT TO SCALE
C-18



A6 VICINITY MAP
SCALE: NOT TO SCALE
C-18