

CITY OF ALBUQUERQUE



June 1, 2012

Stephen Dunbar
Modulus Architects

**Re: Lot 2, Block 000 Del Norte Plaza Paving Permit Request
(C18/D042)**

Dear Mr. Dunbar,

Based upon the approved grading and drainage Plan from Tierra West, stamp date 11-1-06, Hydrology approves your request to temporarily pave a portion of lot 2 for parking per the following conditions:

- The temporary pavement extends to the west side of the access point near Chick-Fil-A so that drainage from the paved area drains out into the access road and not over a dirt area.
- The paving is done per grades on the above referenced plan.
- Upon completion of the paving, provide a surveyors cert of the as-built grades.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: e-mail

Cherne, Curtis

From: Stephen Dunbar [sdunbar@modulusarchitects.com]

Sent: Monday, May 21, 2012 4:00 PM

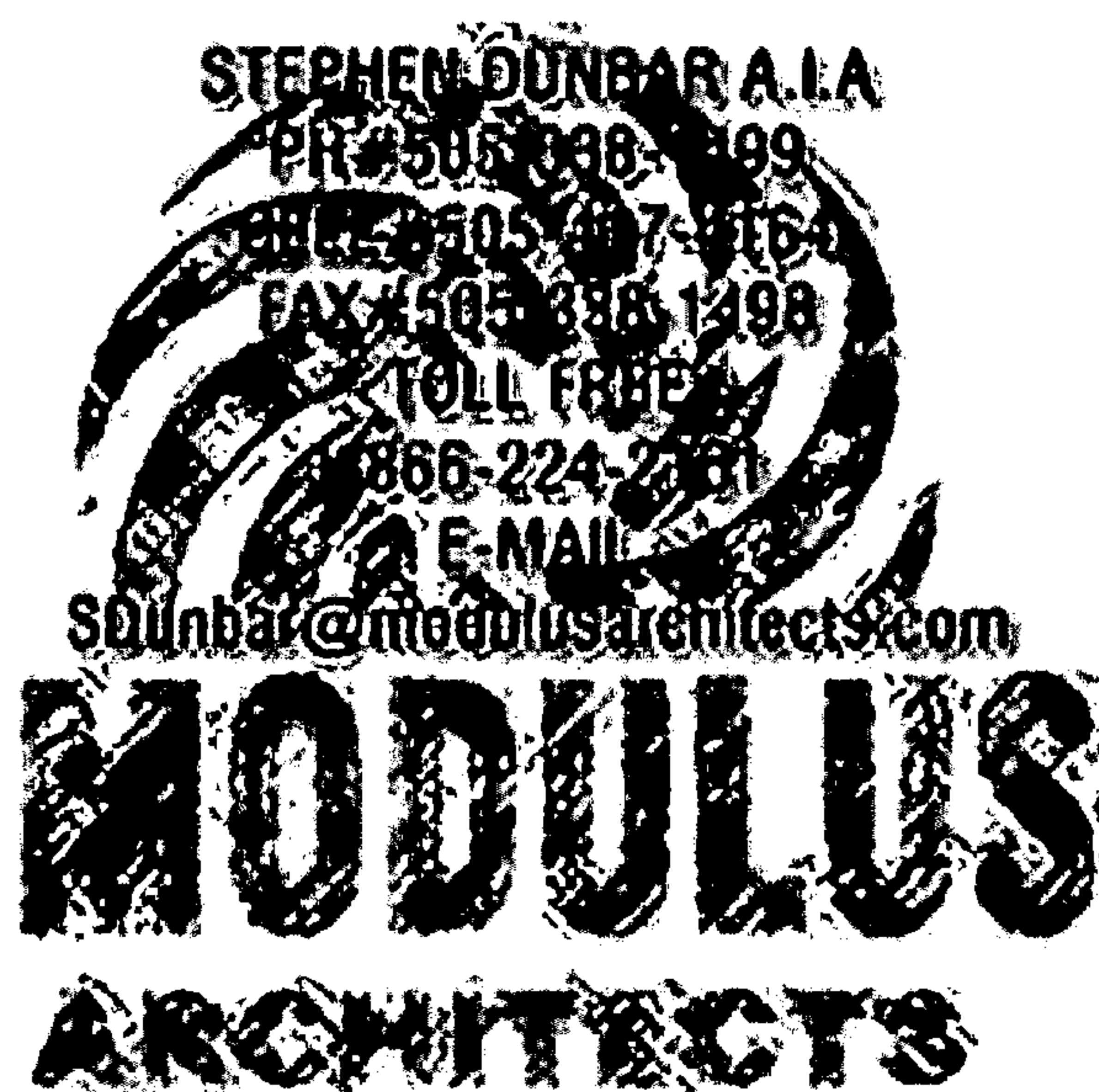
To: Cherne, Curtis

Subject: Del norte plaza lot 2 temp parkingt area.

Curtis :

Per our conversation, please confirm my understanding that we will be able to temporarily improve a portion of lot 2 within del norte plaza as a temporary parking area. This area must conform with the grading design performed by Tierra West (plan document stamp date of 11/1/06) . Upon completion of the proposed temporary improvements, we must also provide you with a surveyors cert of as-built grades to be included within the project file.

Thanks



6/1/2012

CITY OF ALBUQUERQUE



24065

November 14, 2006

Jeremy Hoover
Drainage
Inc

Ronald R. Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Pl., NE
Albuquerque, NM 87109

Re: Pacific Paseo, Engineer's Stamp dated 11-1-06 (C18/D42)
Lot 1A Block 35 Tract A Unit B of North Albuquerque Acres

Dear Mr. Bohannon,

Based on the information contained in your submittal received on November 2, 2006, the above referenced plan is approved for Grading Permit and Site Development Plan for Building Permit action by the DRB.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Charles Caruso with the DMD Storm Drainage Design section at 768-3654 or Sertil Kandar at 768-3645.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file C18/D42

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**Revised
DRAINAGE REPORT
FOR**

***Pacific Paseo
Albuquerque, NM***

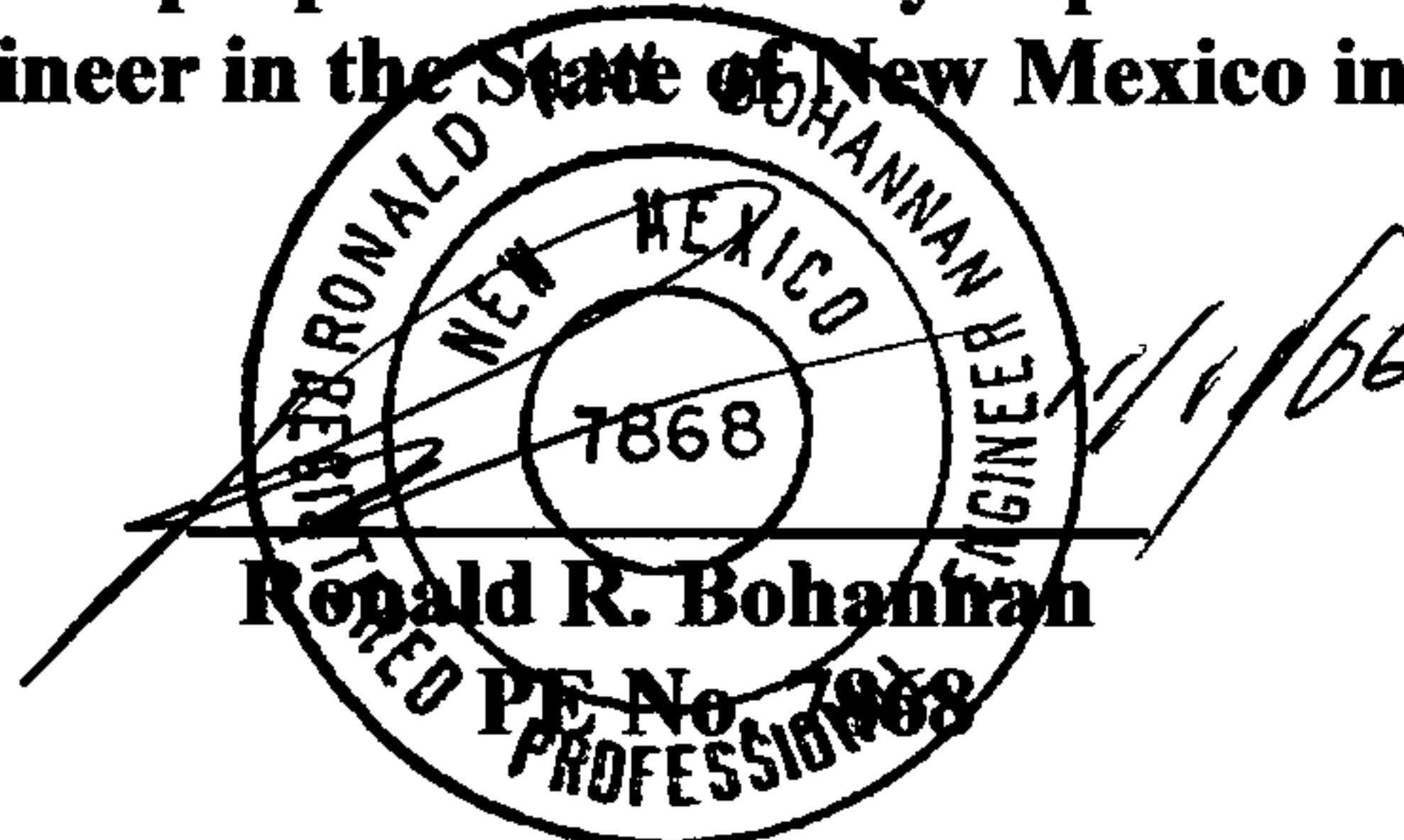
Prepared by:

**Tierra West, LLC
8509 Jefferson NE
Albuquerque, New Mexico 87113**

**Prepared for:
Pacific Paseo Development LLC
6101 Moon NE, Suite 400
Albuquerque, NM 87111**

July 2006

I certify that this report was prepared under my supervision, and I am a registered professional engineer in the State of New Mexico in good standing.



Job No 24065.1000

Prelude

This report is being prepared at the request of the current owner, Pacific Paseo Development LLC, who proposes to develop a mixed use retail shopping center building on the subject property.

Location

The subject site is located on the southeast corner of San Pedro Drive and Holly Avenue and consists of Lot 1A of Tract A, Block 35, North Albuquerque Acres. The exact location of the site is shown highlighted on the enclosed Zone Atlas page number C-18. The site will be built in 2 phases and contains 6.74 acres, more or less.

Existing Drainage Conditions

The site is currently undeveloped and is bordered by Holly Avenue on the north, Paseo Del Norte on the south, San Pedro Drive on the west and an undeveloped tract of land to the east

The flows from the site sheet flow to the northwest corner of the site where they currently pond. There are no flows currently entering the site from the north, south, or west. There are flows that enter the site from the east. The flows from the east are to be directed to Holly Avenue as that site develops.

Flood Plain

The site is located on FIRM Map 35001C0137F as shown on the attached excerpt. The map shows that the site does not lie within a flood plain; however it does lie within an area that has a 1% annual chance of flood discharge contained in the Paseo Del Norte storm sewer system.

Proposed Drainage Management Plan

As shown on the attached exhibit, the proposed site is divided into 8 onsite basins. Based on the approved Conceptual Drainage Report for the Holly Avenue Improvements (C18/D72) dated March 2006, this site is allowed to discharge 30.57 cfs to the Holly Avenue and San Pedro Drive storm sewer system.

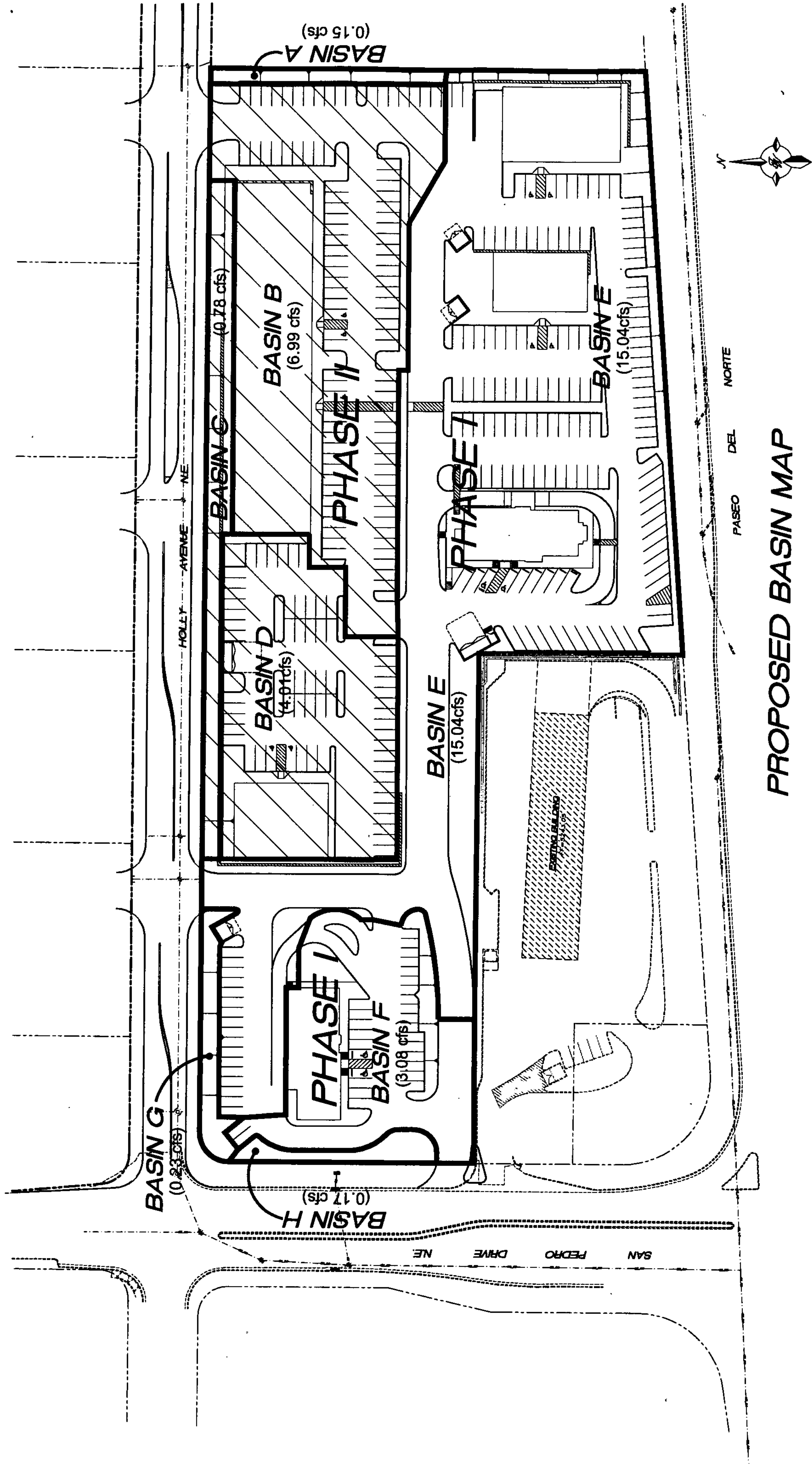
~~Basin A consists primarily of landscape area that will include a perimeter wall that will prevent flows from the east to enter the site and will drain to Holly Avenue.~~ Basin B consists of a retail shops building and this drainage will flow to the main access drive and eventually drain to Holly Avenue. Basin C is mainly a landscape area that sheet flow to Holly Avenue and Basin D will drain to a drop inlet in the southwest corner of the parking lot. That drop inlet will convey the drainage to the existing Holly Avenue storm sewer system. Basin E contains several buildings and will sheet flow in the main access drive and enter Holly Avenue through the west entrance. Basins F contains a restaurant and will sheet flow to San Pedro Drive where the water will be captured at an existing drop inlet. Basins G and H are landscape areas that will sheet flow to Holly Avenue and San Pedro Drive respectively.

14.2 cfs

This site will discharge a total of 30.44 cfs into the Holly Avenue/San Pedro Drive storm sewer system which is slightly less than the 30.57 cfs allowed in the drainage plan mentioned above.

Calculations

The weighted E method from the "City of Albuquerque Development Process Manual Volume 11 – Design Criteria, 1997 Revision" was used to calculate the runoff and volume for the site.



PROPOSED BASIN MAP

Summary

This site will discharge a total of 30.44 cfs will flow to the Holly Avenue and San Pedro storm sewer system. Basin D will be routed through a storm sewer while the other Basins will sheet flow to Holly Avenue.

The development of this site is consistent with the DPM, Chapter 22, Hydrology section. Since this site encompasses more than 1 acre an NPDES permit will be required in addition to a Top Soil Disturbance Permit prior to any construction activity.

Weighted E Method

Developed On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
A	2,578	0.06	0%	0	100%	0.06	0%	0.00	0%	0.00	0.920	0.005	0.15	0.360	0.002	0.07
B	64,724	1.49	0%	0	13%	0.19	0%	0.00	87%	1.29	2.173	0.269	6.99	1.352	0.167	4.61
C	10,895	0.25	0%	0	79%	0.20	0%	0.00	21%	0.05	1.222	0.025	0.78	0.599	0.012	0.41
D	36,907	0.85	0%	0	12%	0.10	0%	0.00	88%	0.75	2.187	0.154	4.01	1.363	0.096	2.65
E	142,889	3.28	0%	0	18%	0.59	0%	0.00	82%	2.69	2.101	0.574	15.04	1.295	0.354	9.82
F	28,938	0.66	0%	0	16%	0.11	0%	0.00	84%	0.56	2.130	0.118	3.08	1.318	0.073	2.02
G	3,851	0.09	0%	0	100%	0.09	0%	0.00	0%	0.00	0.920	0.007	0.23	0.360	0.003	0.11
H	2,820	0.06	0%	0	100%	0.06	0%	0.00	0%	0.00	0.920	0.005	0.17	0.360	0.002	0.08
		293,602			6.74											30.44

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (Inches)		
Zone3	100-Year	10 - Year
E _a	0.66	0.19
E _b	0.92	0.36
E _c	1.29	0.62
E _d	2.36	1.50

Peak Discharge (cfs/acre)		
Zone 3	100-Year	10 - Year
Q _a	1.87	0.58
Q _b	2.60	1.19
Q _c	3.45	2.00
Q _d	5.02	3.39

CITY OF ALBUQUERQUE



Planning Department
Transportation Development Services Section

April 2, 2009

Vincent P. Carrica, P.E.,
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Chick-Fil-A, Del Norte Plaza, [C-18 / D42A]
8110 San Pedro Drive NE
Engineer's Stamp Dated 04/01/09

PO Box 1293

Dear Mr. Carrica:

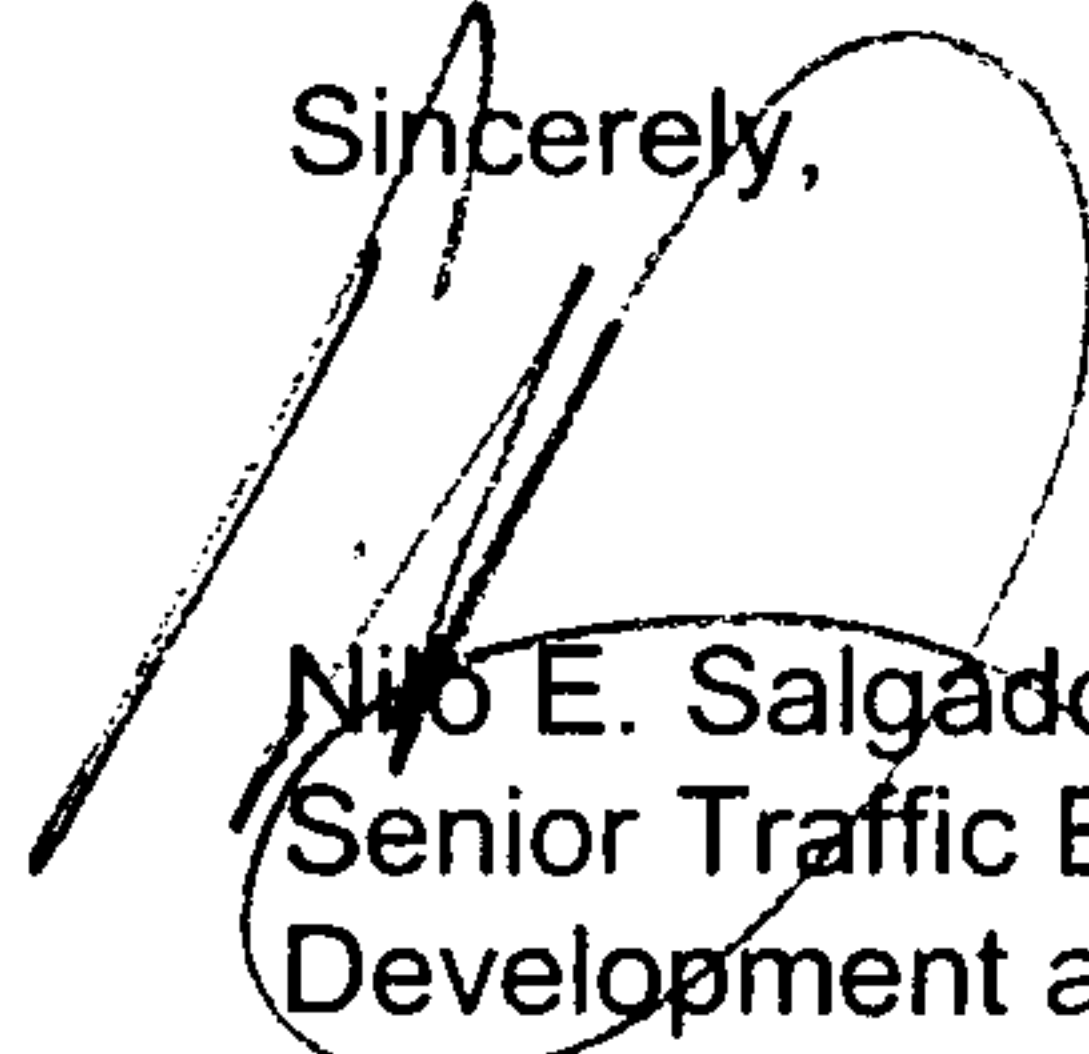
Albuquerque

The TCL / Letter of Certification submitted on April 1, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

NM 87103

Sincerely,

www.cabq.gov


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

April 1, 2009

Mr. Nilo Salgado-Fernandez
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

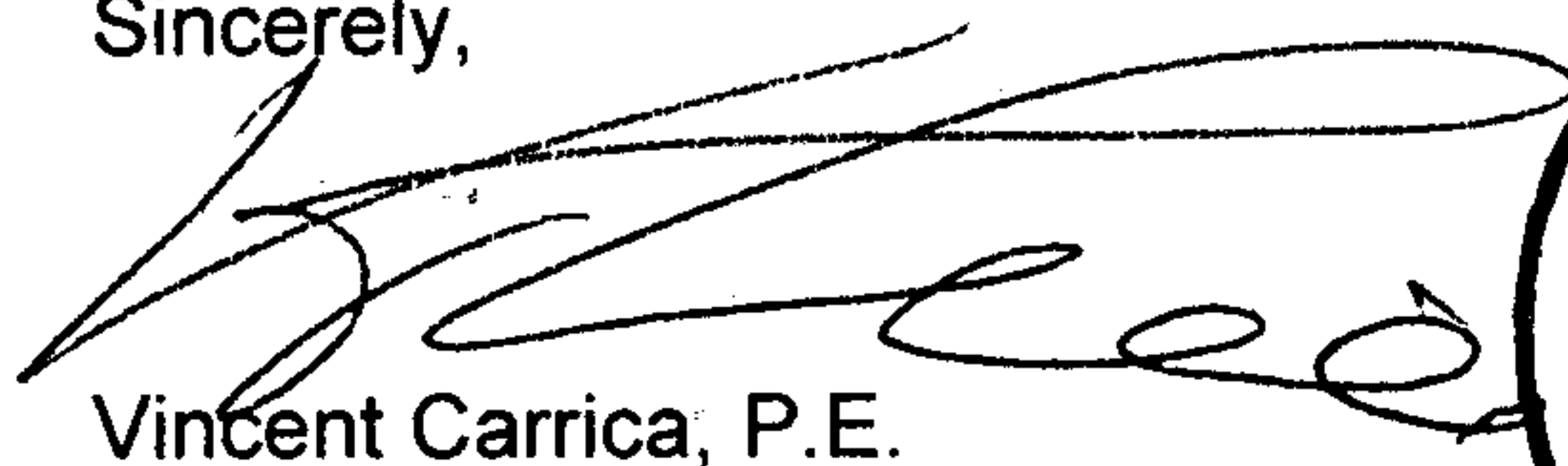
**RE: DRB Approved Site Plan Certification for
Permanent Certificate of Occupancy
Chick-Fil-A, Del Norte Plaza
8110 San Pedro Drive NE**

Dear Mr. Salgado-Fernandez:

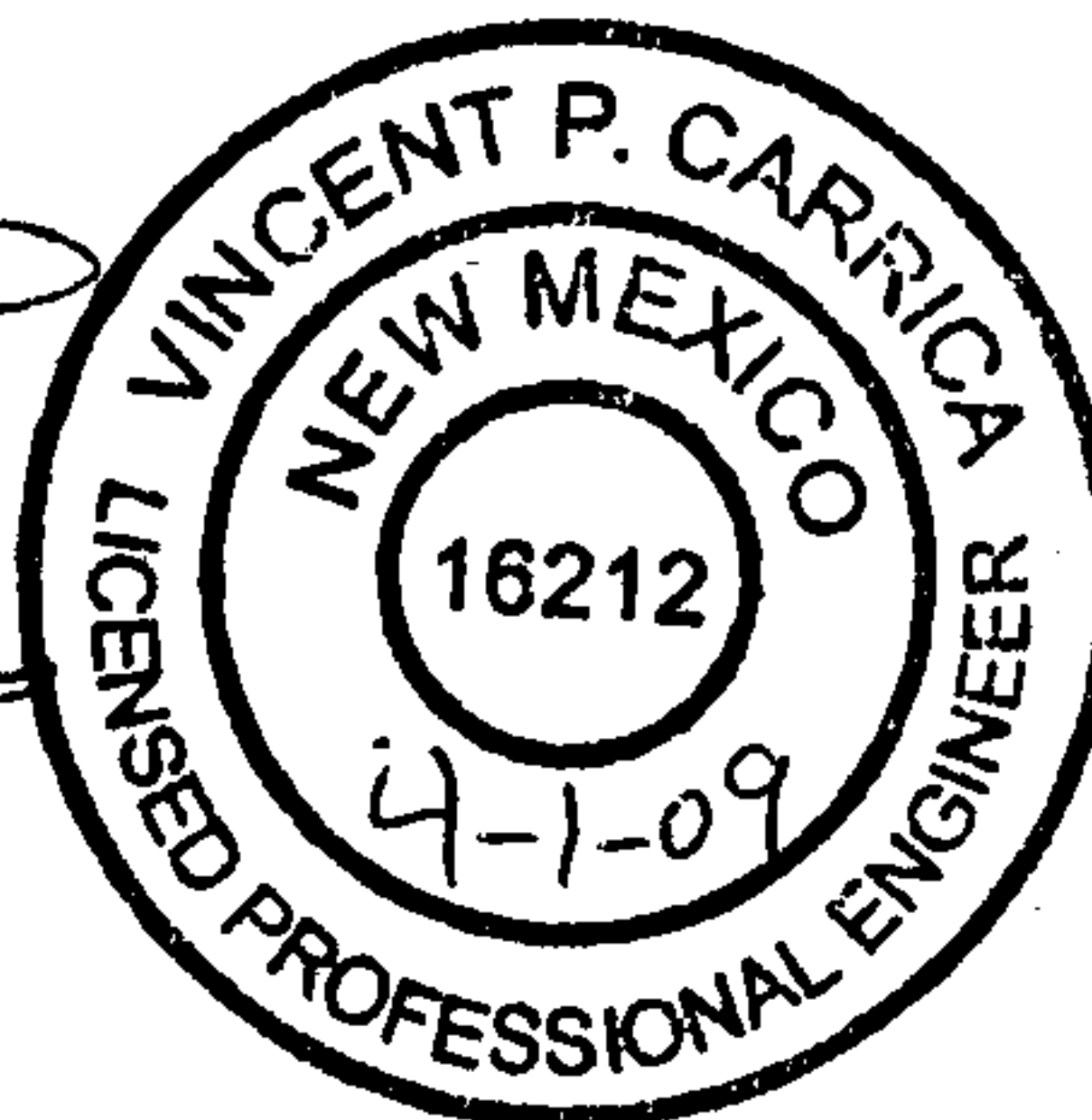
Tierra West LLC requests approval of the Permanent Certification of the Site Development Plan for Building Permit for the Chick-Fil-A located at 8110 San Pedro Drive NE. Enclosed, please find the information sheet and the as-built approved Site Development Plan for Building Permit. All punchlist items have been completed and the project has been constructed in substantial compliance with the approved plan. Therefore, we request approval of the as-built DRB approved Site Development Plan for Building Permit for a Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



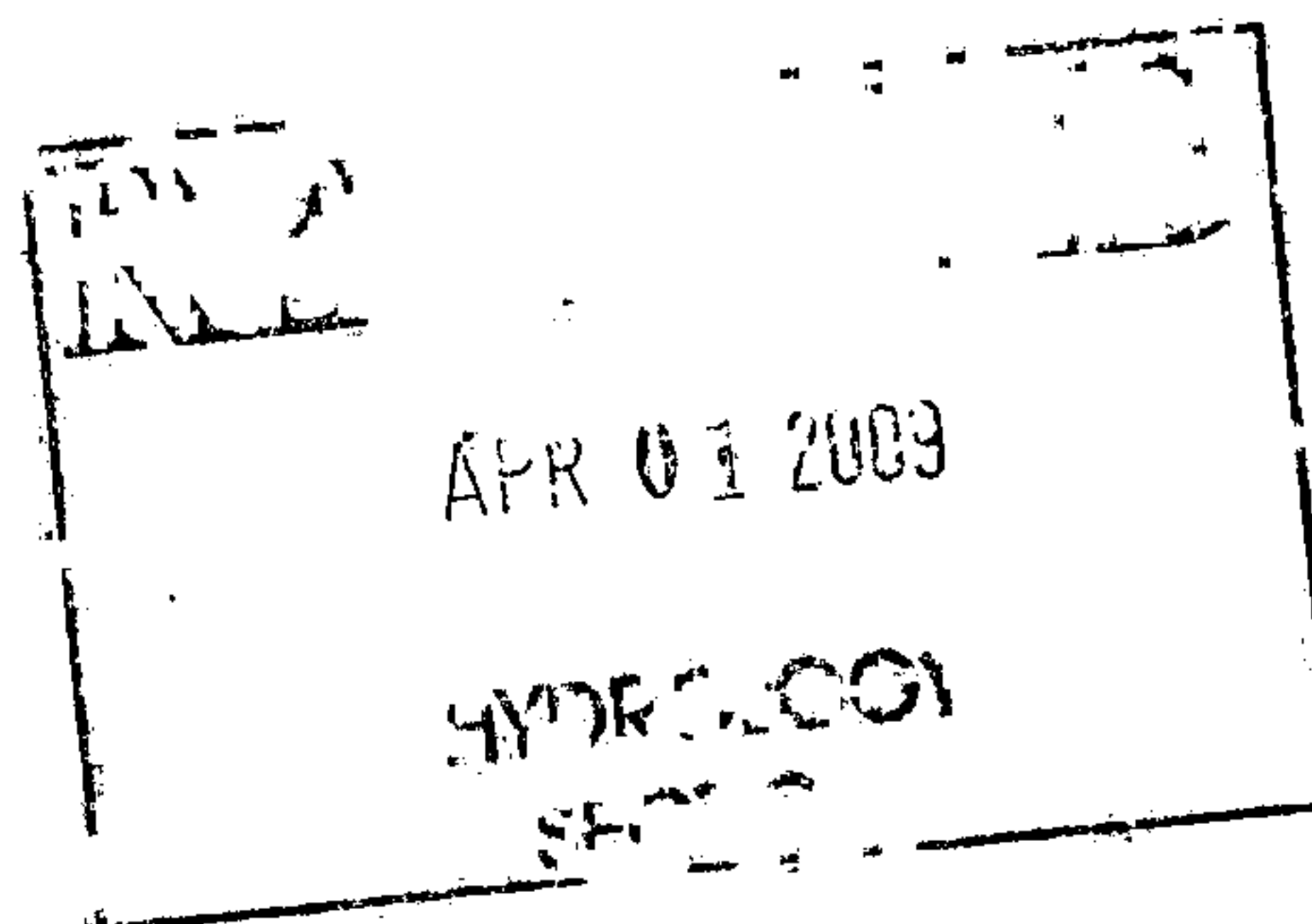
Vincent Carrica, P.E.



Enclosure/s

JN: 28016
RRB/VC/kdk

2008: 28016 Nilo Perm CO 03-26-09



DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Chick-Fil-A
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE # C18/D42 A
WORK ORDER #: _____

LEGAL DESCRIPTION Lot 3, Del Norte Plaza
CITY ADDRESS: 8110 San Pedro Drive NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Jon Niski, PE
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Chick-fil-A, Inc.
ADDRESS: 16 Technology Dr, Suite 148
CITY, STATE: Irvine, CA

CONTACT: Don L. Ikeler III
PHONE: 404-305-4407
ZIP CODE: 92618

ARCHITECT: N/A
ADDRESS: N/A
CITY, STATE: N/A

CONTACT: N/A
PHONE: N/A
ZIP CODE: N/A

SURVEYOR: Community Sciences
ADDRESS: P.O. Box 1328
CITY, STATE: Corrales, NM

CONTACT: Tony Yanchulis
PHONE: 505-897-0000
ZIP CODE: 87048

CONTRACTOR: Donald Edgell
ADDRESS: 756 North Carroll Drive
CITY, STATE: Southlake, TX

CONTACT: Landmark General Contractors, INC
PHONE: 817-424-0888
ZIP CODE: 76092

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER: SO-19

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4/1/2009 BY: Jonathan D. Niski, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

