

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 7, 2022

Kristofer Kyle Wiest, PE
Merrick
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111

**RE: Chik-Fil-A – San Pedro
8110 San Pedro Dr
Grading & Drainage Plan
Engineer's Stamp Date: 11/04/22
Hydrology File: C18D042A**

Dear Mr. Wiest:

PO Box 1293

Based upon the information provided in your submittal received 10/12/2022, the Grading & Drainage Plans are approved for Grading Permit, Paving Permit, and for action by the DRB for Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ **1,007.76** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: _____ DATE: _____

DEVELOPMENT: _____

LOCATION: _____

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is _____ cubic feet

The provided volume is _____ cubic feet

The deficient volume is _____ cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperators existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This projects justification: _____

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ _____

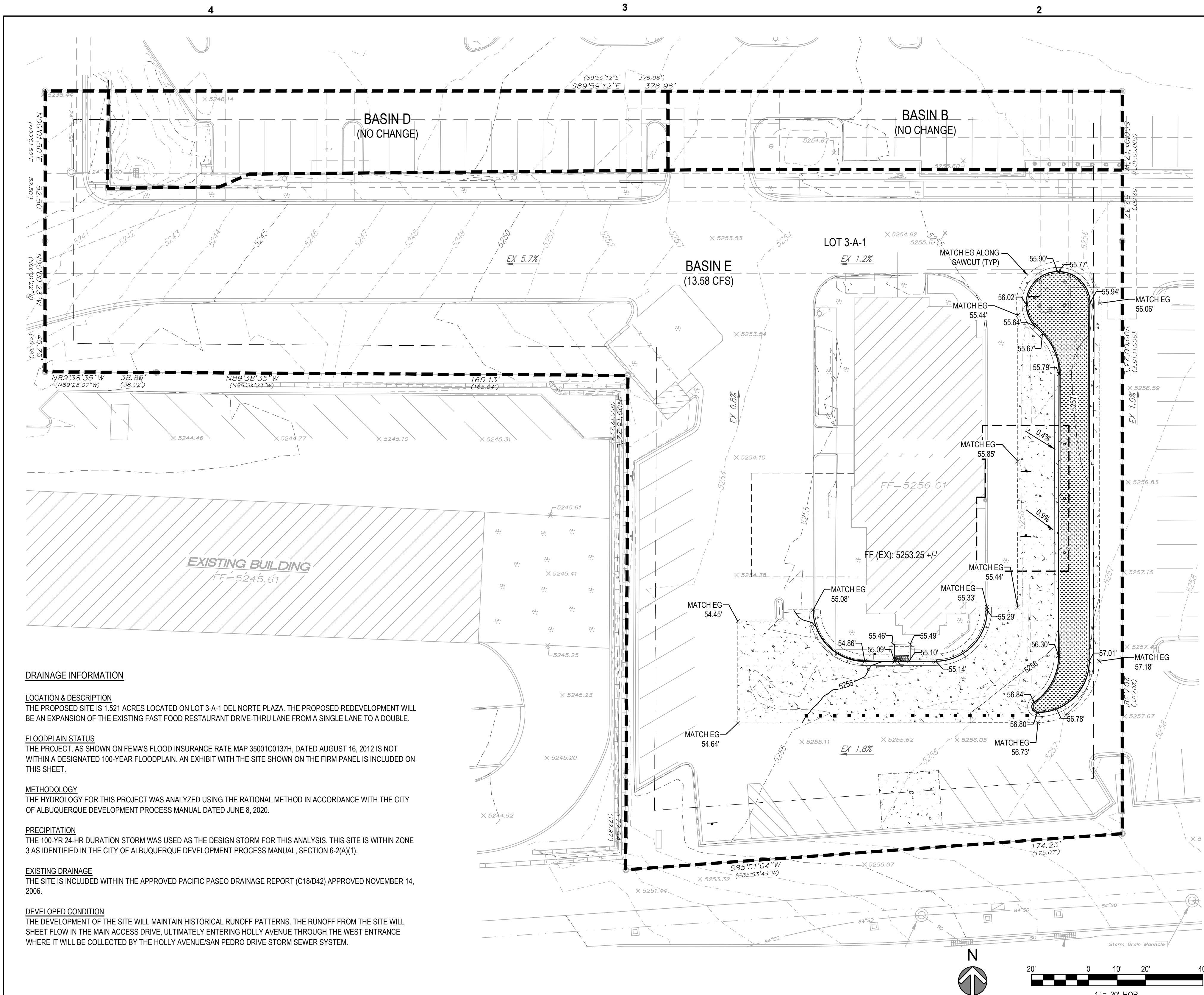
THIS SECTION IS FOR CITY USE ONLY

- Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.
- Waiver is DENIED.

Renée C. Brissette

11/04/22

City of Albuquerque
Hydrology Section



DRAINAGE INFORMATION

LOCATION & DESCRIPTION
 THE PROPOSED SITE IS 1.521 ACRES LOCATED ON LOT 3-A-1 DEL NORTE PLAZA. THE PROPOSED REDEVELOPMENT WILL BE AN EXPANSION OF THE EXISTING FAST FOOD RESTAURANT DRIVE-THRU LANE FROM A SINGLE LANE TO A DOUBLE.

FLOODPLAIN STATUS
 THE PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0137H, DATED AUGUST 16, 2012 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY
 THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE RATIONAL METHOD IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL DATED JUNE 8, 2020.

PRECIPITATION
 THE 100-YR 24-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 6-2(A)(1).

EXISTING DRAINAGE
 THE SITE IS INCLUDED WITHIN THE APPROVED PASEO DRAINAGE REPORT (C18/D42) APPROVED NOVEMBER 14, 2006.

DEVELOPED CONDITION
 THE DEVELOPMENT OF THE SITE WILL MAINTAIN HISTORICAL RUNOFF PATTERNS. THE RUNOFF FROM THE SITE WILL SHEET FLOW IN THE MAIN ACCESS DRIVE, ULTIMATELY ENTERING HOLLY AVENUE THROUGH THE WEST ENTRANCE WHERE IT WILL BE COLLECTED BY THE HOLLY AVENUE/SAN PEDRO DRIVE STORM SEWER SYSTEM.

NOTES:

- ADA STALLS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ADA PEDESTRIAN RAMPS SHALL NOT HAVE A RUNNING SLOPE STEEPER THAN 1:12 AND A CROSS SLOPE THAT SHALL NOT EXCEED A SLOPE STEEPER THAN 1:48.
- ELEVATIONS ARE 51XX.XX, UNLESS OTHERWISE SPECIFIED.
- ALL DIMENSIONS REFERENCE FLOWLINE, BUILDING FOUNDATION OR PROPERTY LINE, UNLESS OTHERWISE SPECIFIED.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

Basin	Land Treatment (ac)				Total
	A	B	C	D	
E	0	0.60	0	2.69	3.28

*Peak Runoff Comparison				
**EX 10YR (cfs)	10 YR (cfs)	**EX 100 YR (cfs)	100 YR (cfs)	
8.19	8.20	13.55	13.58	

*Peak Runoff calculations were completed in accordance w/ the City of Albuquerque Development Process Manual (DPM) dated June 8, 2020
 **Existing Peak Runoff data was obtained from the Revised Drainage Report for Pacific Paseo Albuquerque, NM prepared by Tierra Est, LLC dated July 2006; Values depicted reflect revised Peak Runoff values obtained per previously mentioned report per updated DPM

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 11/07/22
 BY: *Rosa C. Brant*
 HydroTeam # C18D042A

THE APPROVAL OF THIS PLAN SHEET SHALL NOT BE CONSIDERED TO PREVENT VIOLATION OF ANY CITY ORDINANCES OR STATE LAWS, AND SHALL NOT PREVENT CONTRACTORS, OR OTHERS FROM OBTAINING NECESSARY PERMITS OR LICENSES TO CONDUCT ANY WORK THAT MAY BE REQUIRED TO IMPLEMENT THE PROJECT. ANY CHANGES TO THIS PLAN SHEET SHALL BE CHANGES TO THE ORIGINAL PLAN SHEET AND SHALL BE APPROVED BY THE CITY OF ALBUQUERQUE.

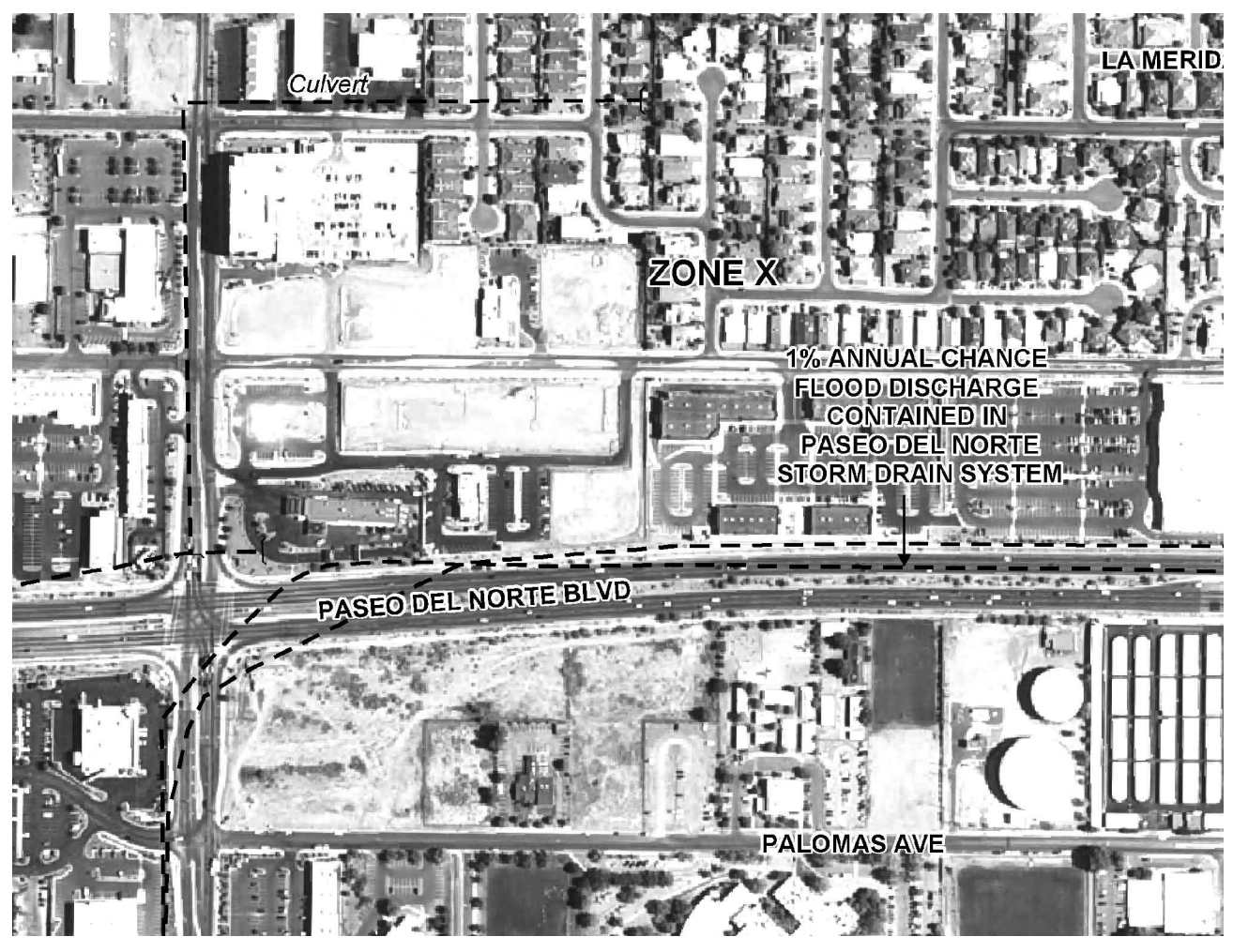
LEGEND

- SPECIAL FLOOD HAZARD AREAS (SPECIAL SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD)
- ZONE AE Special Flood Hazard Area (Zone AE)
- ZONE A0 Special Flood Hazard Area (Zone A0)
- ZONE AR Special Flood Hazard Area (Zone AR)
- ZONE AV Special Flood Hazard Area (Zone AV)
- ZONE VE Special Flood Hazard Area (Zone VE)
- OTHER FLOOD AREAS
- ZONE X Special Flood Hazard Area (Zone X)
- ZONE 1 Special Flood Hazard Area (Zone 1)
- ZONE 2 Special Flood Hazard Area (Zone 2)
- ZONE 3 Special Flood Hazard Area (Zone 3)
- ZONE 4 Special Flood Hazard Area (Zone 4)
- ZONE 5 Special Flood Hazard Area (Zone 5)
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- ZONE 50 Special Flood Hazard Area (Zone 50)

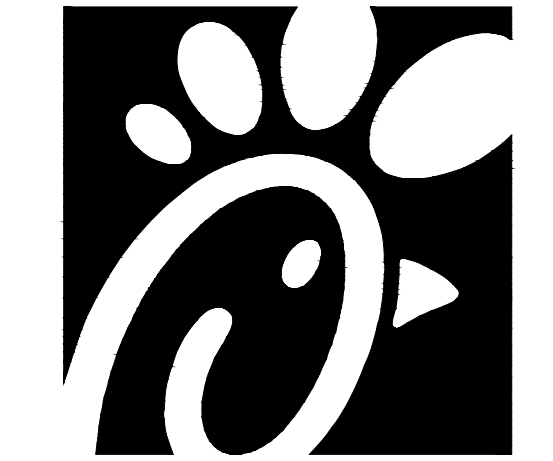
LEGEND:

- PROPERTY LINE
- LIMITS OF GRADING
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FLOWLINE SPOT ELEVATION
- FINISHED FLOOR SPOT ELEVATION
- FINISHED GRADE SPOT ELEVATION
- TOP OF CURB SPOT ELEVATION
- EXISTING GRADE SPOT ELEVATION
- EXISTING FLOWLINE SPOT ELEVATION
- PROPOSED SLOPE ARROWS
- EXISTING SLOPE ARROWS
- STORM SEWER
- STORM INLET
- STORM MANHOLE
- DRAINAGE BASIN

NATIONAL FLOOD INSURANCE PROGRAM
FIRM
 FLOOD INSURANCE RATE MAP
 BERNALILLO COUNTY,
 NEW MEXICO
 AND UNINCORPORATED AREAS
 PANEL 137 OF 825
 (SEE MAP NUMBER FOR FIRM PANEL LOCUS)
 CONTRACT NUMBER: 35001C0137H
 MAP NUMBER: 35001C0137H
 MAP REVISED: AUGUST 16, 2012
 Federal Emergency Management Agency



FIRM MAP NO 35001C0137H



Chick-fil-A

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 303-751-0741



FOR AND ON BEHALF OF
 MERRICK AND COMPANY

CHICK-FIL-A
PASEO DEL NORTE FSU
 8110 SAN PEDRO DR NE
 ALBUQUERQUE, NM 87113

FSR#1996
 BUILDING TYPE / SIZE: P12 LS LRG
 RELEASE: VV.XY.MM

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 65121260
 PRINTED FOR FOR REVIEW
 DATE 11/04/2022
 DRAWN BY KEA
 SHEET GRADING & DRAINAGE PLAN
 SHEET NUMBER

C1.2