

LEGEND

N 90°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES

FOUND AND USED MONUMENT

1/8" IRON ROD SET THIS SURVEY

DEVOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11883" SET THIS SURVEY

POWER POLE

SANITARY SEWER MANHOLE

STORM SEWER MANHOLE

WATER METER

WATER VALVE

TELEPHONE PEDESTAL

FIRE HYDRANT

GAS VALVE

TELEPHONE CABINET

CABLE TV PEDESTAL

GUY WIRE

WATER MANHOLE

TRANSFORMER

MEDIAN INLET

CURB INLET

OVERHEAD UTILITY LINE

EXISTING CURB AND GUTTER

SPOT ELEVATIONS (CURB SPOTS ARE AT TOP/BACK)

PROPOSED CURB AND GUTTER

HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH WORLDWIDE COMPANY, OAKBROOK, IL. PH: 1-800-897-7871

CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING.

SLEEPING NOTICE TO CONTRACTOR

THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEPING FOR ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, BUILDING DOWNSPOUTS, ETC. HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SLEEPING IS IN PLACE PRIOR TO PLACING OF PERMANENT PAVEMENT. PRIOR TO STARTING OF CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS FROM CITY OF ADA HAVE BEEN OBTAINED.

CONSTRUCTION SCHEDULE

MARK	MARK DESCRIPTION
(1)	6"x6" CONCRETE CURB AND GUTTER (TYP.)
(2)	6"x6" VERTICAL CURB W/ GUTTER AT DRIVE-THRU SIDE ONLY
(3)	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
(4)	PROPOSED CONCRETE WHEELSTOP (2 TOTAL)
(5)	PROPOSED 10.5' SLOPED SIDEWALK @ 4.8% MAX.
(6)	PAVING SYMBOLS
(7)	PRETREAT FOR TERMITE CONTROL
(8)	PROPOSED ACCESSIBLE ROUTE
(9)	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB @ ALL LAWN AREAS AND 2" BELOW TOP OF CURB AT BED AREAS.
(10)	PROPOSED CONCRETE WALK
(11)	1' CURB OPENING W/ 1' TRANSITION
(12)	6' CURBED RAMP
(13)	OVERHEAD Pylon SIGN
(14)	McDONALD'S "WELCOME" ENTRY SIGN
(15)	McDONALD'S "THANK YOU" EXIT SIGN
(16)	PROPOSED DOWNSPOUT LOCATION. RE: BUILDING PLANS FOR EXIT FROM BUILDING.
(17)	TRASH ENCLOSURE DRAIN
(18)	EXISTING CURB TO BE REMOVED.
(19)	"DO NOT ENTER" SIGN

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

(A) ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)

(B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AT 60" ABOVE GROUND SURFACE TO BOTTOM OF TEXT.

(C) ALL ACCESSIBLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 80" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

RAMPS:

(D) RAMPS EXCEEDING 6" IN RISE SHALL HAVE HANDRAILS EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND TOP AND BOTTOM OF RAMP AND SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

(E) RAMPS SHALL HAVE A ROUGH (BROOM FINISH) SURFACE OR ABRASIVE TILE. RAMPS SHALL ALSO CONTAIN TRUNCATED DOMES ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) AND LIGHT REFLECTIVE VALUE MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES. (OR PAINT STRIPE)

(F) BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 6'-0" LONG IN DIRECTION OF TRAVEL. MINIMUM. ALL LANDINGS SHALL BE AT LEAST AS LONG AS THE WIDTH OF THE RAMP THEY SERVE.

(G) RETURN CURB RAMP WITH MAX. SLOPE 1:12

SIDEWALKS AND ACCESSIBLE ROUTES:

(H) 36" MIN. ACCESS ROUTE (MAX. SLOPE 1:20)

(I) NEW SIDEWALK (MIN 3") TO PUBLIC WALK (MIN. SLOPE 1:20)

(J) CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)

(K) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

McDonald's

SCALE: 1" = 20'

OWNER INFORMATION

McDONALD'S

511 E. CARPENTER HWY, STE. 376

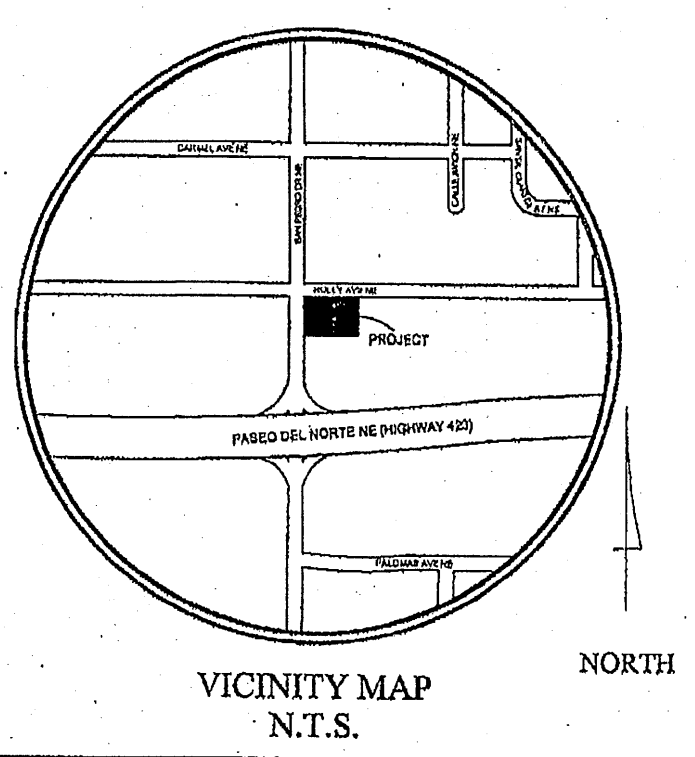
IRVING, TEXAS 75062

(972) 868-5314

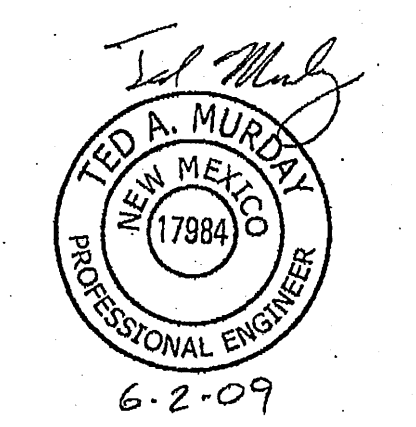
CONTACT: JIMMY LOPEZ

DIMENSIONAL NOTE:

ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.



- GENERAL NOTES
- McDonald's road sign and base are to be installed by contractor. Conduit and wiring are by the General Contractor.
 - Bases, anchor bolts, conduit, and wiring for all other signs are by the General Contractor.
 - 1/2" Empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
 - Bases for flagpoles are by the General Contractor. Anchor bolts are by the flagpole supplier.
 - Proposed utilities are shown in schematic only. Exact locations shall be determined to allow for the most economical installation.
 - The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and elevations.
 - General Contractor must provide exact "as built" information upon completion.
 - All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
 - Finish walk and curb elevations shall be 6" above finish pavement.
 - All landscape areas shall be rough graded to 6" below top of all walks and curbs.
 - Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
 - Lot lighting concrete footings to conform with the benchmark and must be verified by the General Contractor at groundbreak.
 - Prior to construction, the Contractor shall request, in writing, a copy of the review report prepared by the State Department of Licensing & Regulation from the Owner or Architect. This review report may contain comments or requirements that will alter site layout/design regarding issues related to handicap accessibility.
 - It is strongly recommended that no contractual agreements of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
 - Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
 - All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdictional standard construction details and specifications.



Line Table

LINE	BEARING	DISTANCE
L1	N 89°59'41" E	12.43
L2	S 00°00'19" E	10.00
L3	S 89°59'41" W	12.43

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	388.74'	129.82'	20°07'02"	65.59'	129.16'	N 77°33'07" E

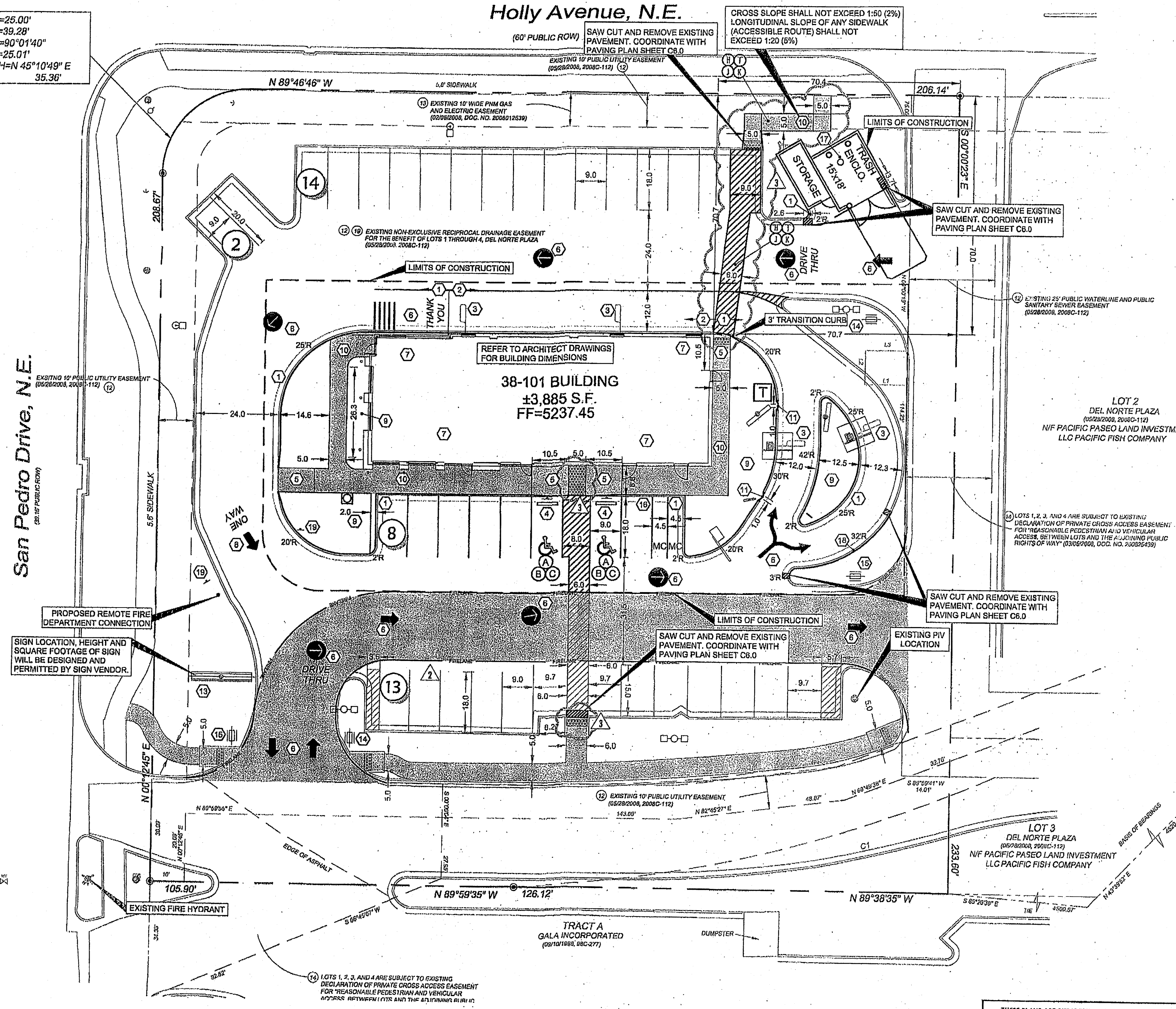
TRASH ENCLOSURE NOTE

CONTRACTOR SHALL CONTACT LOCAL WASTE COLLECTION COMPANY PRIOR TO TRASH ENCLOSURE CONSTRUCTION TO VERIFY FRONT LOADING. IF THE COMPANY DOES NOT OFFER THIS TYPE OF LOADING THE CONTRACTOR IS TO NOTIFY ADAMS ENGINEERING IMMEDIATELY FOR A REVISED TRASH ENCLOSURE LAYOUT.

NOTICE TO CONTRACTOR

CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.

- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER McDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK x 15x18" CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT & McDONALD'S).
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIDEHEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
- THE LOCATION OF THE MENU BOARD AND PRE-SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE McDONALD'S ENGINEER.
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS ON McDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY McDONALD'S PROJECT MANAGER.



McDONALD'S SITE PLAN

SEC HOLLY AVE & SAN PEDRO DR

ALBUQUERQUE, NEW MEXICO

38-101 BUILDING ±3,885 S.F. FF=5237.45

PAVING SPECIFICATION

VERIFY WMC DONALD'S: ASPHALT: ☒ CONCRETE: ☐

CONTRACTOR TO BID: ASPHALT: ☒ CONCRETE: ☐

NOTE: ALL PAVING & SURFACE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT SEPTEMBER 2007 PROJECT NO. 07-213

SITE INFORMATION

LAND AREA: 63,933 S.F. (1.2381Ac.)

CURRENT ZONING: SU2-IP

EXISTING USE: VACANT

PROPOSED USE: RESTAURANT

BUILDING AREA (APPROXIMATE): RETAIL: 3,885 S.F.

BUILDING TO LOT COVERAGE: 3,885 SF/53,933 = 7.2%

BUILDING HEIGHT: 21'-0"

BUILDING REQUIRED PARKING: 1 SPACE PER 4 SEATS

PARKING PROVIDED: 119 SEATS / 4 SEATS = 30 SPACES

HANDICAP PARKING PROVIDED: 37 SPACES

MOTORCYCLE PARKING PROVIDED: 2

BENCHMARK

1. A.G.R.S. MONUMENT "HEAVEN" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,518,799.515 E=1,647,297.145 PUBLISHED EL=5378.235 (NAVD 1988) GROUND TO GRID FACTOR=0.999955810 DELTA ALPHA ANGLE = 0°10'46.22"

2. A.G.R.S. MONUMENT "C19" STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,522,081.500 E=1,550,417.138 PUBLISHED EL=5466.738 (NAVD 1988) GROUND TO GRID FACTOR=0.999950745 DELTA ALPHA ANGLE = 0°12'4.76"

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC.

LEGAL DESCRIPTION: LOT 1 OF THE FLAT OF LOTS 1, 2, 3 AND 4 DEL NORTE PLAZA ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BOOK 200C, PAGE 112

PLAN SCALE: ---

ADDITION

DEL NORTE PLAZA

STREET ADDRESS

SEC HOLLY AVE & SAN PEDRO DR

CITY STATE

ALBUQUERQUE NEW MEXICO

COUNTY: BERNALILLO SURVEY: ABSTRACT NO.

L/O NUMBER: 030-0221 CORPORATE DWG. NAME: SITE PLAN

McDONALD'S

SEC HOLLY AVE & SAN PEDRO DR

ALBUQUERQUE, NEW MEXICO

McDONALD'S L/C 030-0221

ADAMS ENGINEERING NO. 2007-401

PLAN APPROVALS

REGIONAL MGR. DATE

OWNER DATE

CO-SIGN SIGNATURES

CONTRACTOR DATE

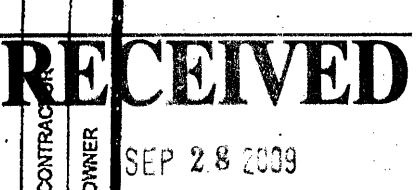
STATUS DATE BY

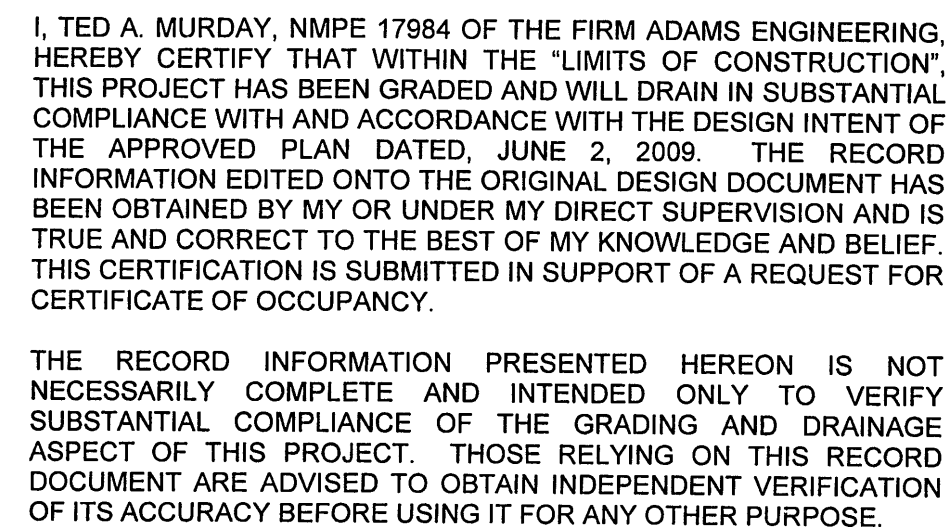
DATE DRAWN

PLAN CHECKED

AS-BUILT

C2.1





****RETAINING WALL NOTE****

Screening walls shown hereon are approximate locations and actual representation purposes only. The actual design, location, materials, structural engineering, geotechnical engineering, siting, testing, and structural or geotechnical review shall be as selected by the owner and/or developer. ADAMS shall have no responsibility as it relates to the retaining wall or screening walls associated with this project.

RECEIVED
SEP 28 2003
HYDROLOGY
SECTION

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
2. INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
3. TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK X 15'X18" CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPEC'S. WITH SOLS REPORT AND MCDONALD'S.)
4. LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
5. THE LOCATION OF THE MENU BOARD AND PRE SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE MCDONALD'S ENGINEER.
6. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
7. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES TO MCDONALD'S SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY MCDONALD'S PROJECT MANAGER.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
2. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO GRADE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
7. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1')
8. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF SOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL 8.0PCS 3K+1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
9. FOR LOCATION OF ALL UTILITY ENTRANCES, SEE ARCHITECTURAL PLANS AND SPECIFICATIONS.
10. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY & GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
11. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD TO 0 TO -1/2" OF SUBGRADE.

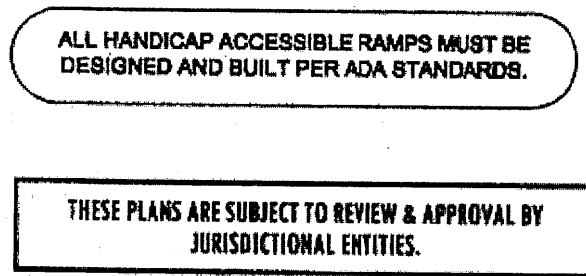
CONTRACTOR IS TO COORDINATE WITH ADAMS
ENGINEERING FOR FINAL GRADES PRIOR TO
CONSTRUCTION. GRADES IN THIS AREA WERE
BEING REVISED AT THE TIME THESE PLANS WERE
ISSUED.

CONFORMANCE WITH

SMOOTH FIT AND

1-800-827-2787

GARY E. GRAYSON
NEW MEXICO
8686
LICENSED PROFESSIONAL SURVEYOR



PAVING SPECIFICATION	VERIFY W/MCDONALDS: ASPHALT: <input checked="" type="checkbox"/> CONCRETE: <input type="checkbox"/>
	CONTRACTOR TO BID: ASPHALT: <input type="checkbox"/> CONCRETE: <input type="checkbox"/>
NOTE: ALL PAVING & SURFACE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:	<p>APEX GORSCENCE INC.</p> <p>SEPTEMBER 2007</p> <p>PROJECT NO. 107-213</p>
<h3 style="text-align: center;">SITE INFORMATION</h3>	
LAND AREA:	53,633 S.F. (1.2381Ac.)
CURRENT ZONING:	SUZ-4P
EXISTING USE:	VACANT
PROPOSED USE:	RESTAURANT
BUILDING AREA (APPROXIMATE): RETAIL:	3,865 S.F.
BUILDING TO LOT COVERAGE:	21.5%
BUILDING HEIGHT:	21'-8"
BUILDING REQUIRED PARKING:	1 SPACE PER 4 SEATS
	110 SEATS / 4 SEATS = 30 SPACES
PARKING PROVIDED:	37 SPACES
HANDICAP PARKING PROVIDED:	2
HANDICAP PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2

1. A.G.R.S. MONUMENT 'HEAVEN' STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,515,789.515 E=1,547,297.145 PUBLISHED EL=578.235 (NAVD '888) GROUND TO GROUND FACTOR=0.9996550148 DELTA ALPHA ANGLE = 0°10'48.22"

2. A.G.R.S. MONUMENT '7, C19' STANDARD U.S.C. & G.S. BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - N.A.D. 1983) N=1,522,088.520 E=1,550,417.138 PUBLISHED EL=545.738 (NAVD '888) GROUND TO GROUND FACTOR=0.999850748 DELTA ALPHA ANGLE = 0°10'24.78"

PREPARED BY: PRECISION SURVEYS, INC. 8500-A JEFFERSON ST., N.E. ALBUQUERQUE, NM 87113 (505) 836-5700 DATE: DECEMBER 10, 2008	LEGAL DESCRIPTION: LOT 1 OF THE PLAT OF LOTS 1, 2, 3 AND 4 OF THE NORTH PLAZA ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BOOK 2008C, PAGE 112
---	--

PLAN SCALE: 1"=20'		
ADDITION		
DEL NORTE PLAZA		
STREET ADDRESS		
SEC HOLLY AVE & SAN PEDRO DR		
CITY		STATE
ALBUQUERQUE		NEW MEXICO
COUNTY:	SURVEY:	ABSTRACT NO.
BERNALILLO	----	----
LC NUMBER:	CORPORATE DWG. NAME	
030-0221	GRADING PLAN	

SEC HOLLY AVE & SAN PEDRO DR	McDONALD'S L/C: 030-0221
ALBUQUERQUE, NEW MEXICO	ADAMS ENGINEERING No. 2007-001

Adams
ENGINEERING
910 S. Kincaid Avenue in Scottsdale, Texas 75087 • (714) 224-3200

Matth 730-4674
2800 Holly Ave