

•

November 21, 2012

Fred C. Arfman, P.E.

Isaacson & Arfman, P.A.

128 Monroe Street N.E.

Albuquerque, NM 87108

Re: Chipolte @ Del Norte Plaza, 8126 San Pedro Dr NE,

Final Certification of Occupancy

Engineer's Stamp Dated 11-20-2012 (C18/D042C)

Dear Mr. Arfman,

Based on the Certification received 11/20/2012, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

NM 87103

Sincerely,

Shahab Biazar, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala e-mail

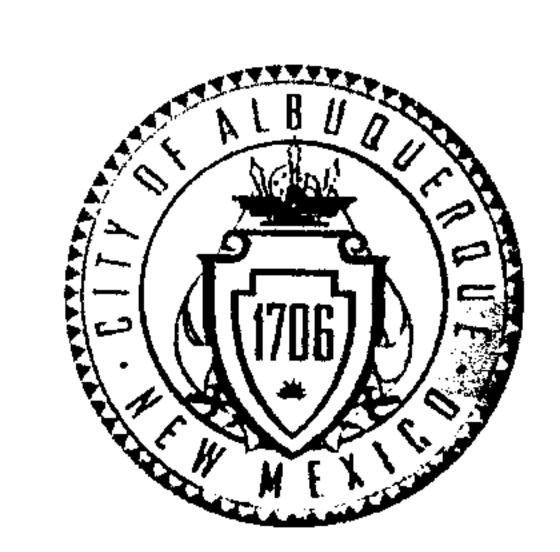
Albuquerque - Making History 1706-2006

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: Del Norte Plaza - Chipotle & Panda Express	ZONE MAP/DRG.FILE# C-18 D042C.			
DRB#: EPC#:				
LEGAL DESCRIPTION: A portion of Lot 4, Del Norte Plaza, Albuquerque NM				
CITY ADDRESS: 81** San Pedro Drive NE	<u> </u>			
ENGINEERING FIRM: ISAACSON AND ARFMAN	CONTACT: Fred C. Arfman PE			
ADDRESS: 128 MONROE N.E.	PHONE: 268-8828			
CITY, STATE: ALBUQUERQUE, NM	ZIP CODE: <u>87108</u>			
OWNER:	CONTACT:			
ADDRESS:	PHONE:			
CITY, STATE:	ZIP CODE:			
ARCHITECT: Modulus Architects	CONTACT: Stephen Dunbar AIA			
ADDRESS:	PHONE: 388-1499			
CITY, STATE:	ZIP CODE:			
	CONTRACT. Deine Mantinon			
SURVEYOR: Cartesin Surveys Inc.	CONTACT: Brian Martinez PHONE: 896-3050			
ADDRESS: P.O. Box 44414 CITY, STATE: Rio Rancho, NM	ZIP CODE: 87174			
CITT, STATE, <u>Rio Rancho, Ivivi</u>	ZII CODE. <u>G7174</u>			
CONTRACTOR:	CONTACT:			
ADDRESS:	PHONE:			
CITY, STATE:	ZIP CODE:			
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:			
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE			
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL			
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL			
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL			
GRADING PLAN	SECTOR PLAN APPROVAL .			
EROSION CONTROL PLAN	FINAL PLAT APPROVAL			
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL			
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TRAFFIC CIRCULATION LAYOUT ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP)			
ENGINEER/ARCHITECT CERT (TCL) ENGINEER/ARCHITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL			
ENGINEER/ARCHITECT CERT (DRB 3.1.) ENGINEER/ARCHITECT CERT (AA)	PAVING PERMIT APPROVAL			
OTHER (SPECIFY)	WORK ORDER APPROVAL			
	OTHER (SPECIFY)			
	而原份追址場間			
WAS A PRE-DESIGN CONFERENCE ATTENDED:				
YES	" NOV 2 0 2012 U)			
COPY PROVIDED	DATE: November 20, 2012			
SUBMITTED BY: Fred Arfman 74	DATE: November 20, 2012			
Isaacson & Arfman, P.A.				

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Planning Department Transportation Development Services Section

November 21, 2012

Stephen A. Dunbar, Registered Architect Modulus Architects 220 Copper Ave. NW, Ste. 350 Albuquerque, NM 87102

Re: Certification for Permanent Certificate of Occupancy (C.O.)

Chipotle @ Del Norte Plaza [C-18/D042C]

8126 San Pedro NE

Architect's Stamp Dated 11/21/12

Dear Mr. Dunbar:

Based upon the information provided in your submittal received 11-21-12, Transportation Development has no objection to the issuance of a <u>Permanent Certificate</u> of Occupancy. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate</u> of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505)924-3630.

Albuquerque

NM 87103

Nig E. Salgado-Férnandez, P.E. Senior Traffic Engineer

Sincerek

Development and Building Services

Planning Department

www.cabq.gov

Engineer Hydrology file CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

CHIPOTLE	REV 02/2012)
- • • • • • • • • • • • • • • • • • • •	CHIPOLIE ZONE MAP: C-18/0042C
PROJECT TITLE: BUL HORTE PLAZA DRB#: 11 DRB- 70198 EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: Albacuptaine.	LITERT WAIT 7- 6+4-4-4-4
LEGAL DESCRIPTION: ALBUQUEFGIAE CITY ADDRESS: N.E. COF SAMPEDE	PASSO DEL HERTE N.W
8126 SAN F	PEDRO
ENGINEERING FIRM:	CONTACT:
ADDRESS:CITY, STATE:	PHONE:
CHI, SIALE.	ZIP CODE: EMAIL:
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: Works AFCHITECT	CONTACT: Stable Durba? WE N.W PHONE: 338-1499x106
ADDRESS: ZZO COPDER-1	NUE N・W PHONE: 1338-1479×106
CITY, STATE: 450 HM 37K	22 ZIP CODE: 8762
	EMAIL: SUHBAR
SURVEYOR:	CONTACT MODULUS APCHITECTS. CO
ADDRESS:	CONTACT: PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
ENGLISHED TO CERT (HURDOLOGIC)	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT	BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (DEDM)
ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
OTHER (SPECIFY)	PAVING PERMIT APPROVAL
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	GRADING CERTIFICATION
	OTHER (SPECIFY) SO-19
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WAS A PRE-DESIGN CONFERENCE ATTENDED: YES	
NO	LAND DEVELOPMENT SECTION
COPY PROVIDED	
DATE SUBMITTED: 1212	BY: Lettent Dunbad
DATE SUBMITTED:	BY: SETAMONT LINNAID

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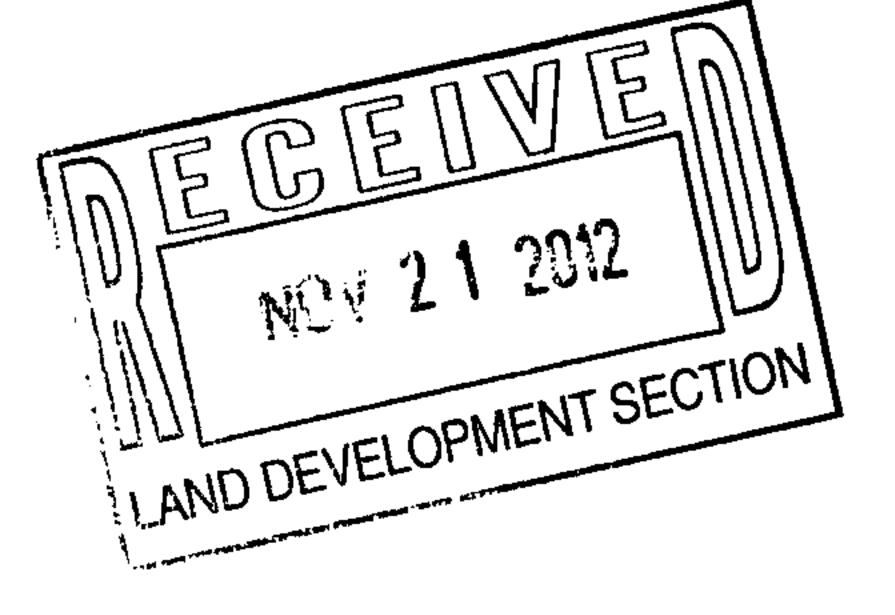
TRAFFIC CERTIFICATION

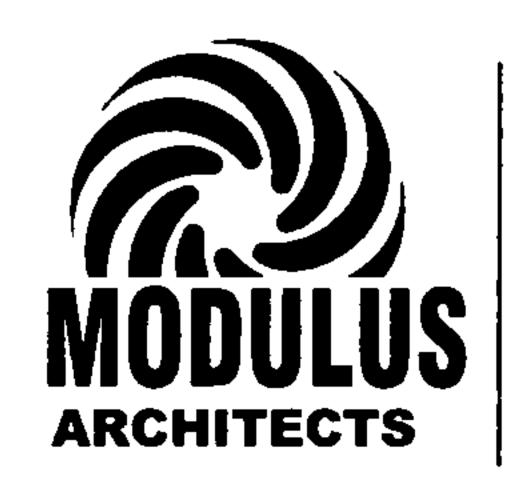
I, STEPHEN DUNBAR, NMPE OR NMRA 004218, OF THE FIRM MODULUS ARCHITECTS INC. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL DESIGN COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/8/12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEPHEN DUNBAR OF THE FIRM MODULUS ARCHITECTS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/20/12 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

STEPHEN A.
DUNBAR
No. 4218
No. 4218
ARCHITECT'S STAMP
Signature of Engineer or Architect

11/21/2 Date





DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: Del Norte	e Plaza - Chipotle & Panda Expres	sZONE MAP/DRG.FILE# C-18/D042C
DRB#:	-	
LECAL DESCRIPTION:	A portion of Lot 4, Del Norte Plaz	za. Albuquarana NIM
CITY ADDRESS:81**	_	za, Albuquei que inivi
87 2V		
ENGINEERING FIRM: ISA	ACSON AND ARFMAN	CONTACT: Fred C. Arfman PE
ADDRESS: 128 MC		PHONE: 268-8828
CITY, STATE: AL	BUQUERQUE, NM	ZIP CODE: <u>87108</u>
OWNER:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:	<u> </u>	ZIP CODE:
ARCHITECT: Modulus Arcl	hitects	CONTACT: Stephen Dunbar AIA
ADDRESS:		PHONE: 388-1499
CITY, STATE:		ZIP CODE:
SURVEYOR: Christopher M	<u>ledina</u>	CONTACT: Larry Medrano
ADDRESS: P.O. Bo	ox 2532	PHONE: 856-5700
CITY, STATE: Con	rales, NM	ZIP CODE: <u>87199</u>
CONTRACTOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
TYPE OF SUBMITTAL:		CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPO	RT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN	1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN		S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G	& D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN		SECTOR PLAN APPROVAL
EROSION CONTR		FINAL PLAT APPROVAL
	T (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR		BUILDING PERMIT APPROVAL
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	ITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
	ITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL
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SUBMITTED BY: Fred Arfr	<u>nan</u>	DATE: <u>September 6, 2012</u> [] AUG 6 - 2012
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August 22, 2012

Fred C. Arfman, P.E.

freda@iacivil.com

Isaacson & Arfman, P.A. 128 Monroe Street N.E.

Albuquerque, NM 87108

Re: Panda Express @ Del Norte Plaza, 8126 San Pedro Dr NE,

Request for Permanent C.O. –Accepted

Engineer's Stamp dated: 12-02-11, (C18/D042C)

Certification dated: 08-21-12

Dear Mr. Arfman,

Based upon the information provided in the Certification received 08-22-12, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: <u>tsims@cabq.gov</u>.

If you have any questions, you can contact me at 924-3982.

Albuquerque

1 Lovo

Sincerely,

Timothy E. Sims,

Plan Checker—Hydrology Section Development and Building Services

www.cabq.gov

NM 87103

C: CO Clerk—Katrina Sigala File

Albuquerque - Making History 1706-2006

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	12/05)	
PROJECT TITLE: Del Norte Plaza - Chipotle & Panda Express	ZONE MAP/DRG.FILE# C-18/DOUT	
-	WORK ORDER#:	
	11	
LEGAL DESCRIPTION: A portion of Lot 4, Del Norte Plaza, A	Ibuquerque NM	
CITY ADDRESS: 81** San Pedro Drive NE		
ENGINEERING FIRM: ISAACSON AND ARFMAN	CONTACT: Fred C. Arfman PE	
ADDRESS: 128 MONROE N.E.	PHONE: 268-8828	
CITY, STATE: ALBUQUERQUE, NM	ZIP CODE: <u>87108</u>	
OWNER: PANDA RESTAURANT GROP	CONTACT: MARY ROSESTA	
ADDRESS: 1683 WANKIT GROVE AV. CITY, STATE: ROSEMEAD, CA 91770	PHONE: MARY, RUSSELL 670 ME. COM	
CITY, STATE: ROSEMEAD, CA 91770	ZIP CODE:	
ARCHITECT: Modulus Architects	CONTACT: Stephen Dunbar AIA	
ADDRESS:	PHONE: 388-1499	
CITY, STATE:	ZIP CODE:	
SURVEYOR: Christopher Medina	CONTACT: Larry Medrano	
ADDRESS: P.O. Box 2532	PHONE: <u>856-5700</u>	
CITY, STATE: Corrales, NM	ZIP CODE: <u>87199</u>	
CONTRACTOR:	CONTACT:	
ADDRESS:	PHONE:	
CITY, STATE:	ZIP CODE:	
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:	
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE	
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL	
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL	
GRADING PLAN	SECTOR PLAN APPROVAL	
EROSION CONTROL PLAN	FINAL PLAT APPROVAL	
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL	
CLOMR/LOMR	BUILDING PERMIT APPROVAL	
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)	
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP) CERTIFICATE OF OCCUPANCY (TEMP)	
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•	OTHER (SPECIFY)	
WAS A PRE-DESIGN CONFERENCE ATTENDED:		
YES		

NO

COPY PROVIDED

SUBMITTED BY: Fred Arfman

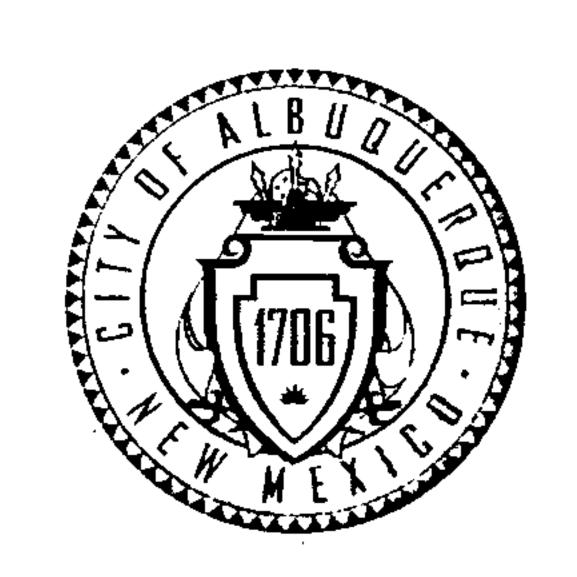
Isaacson & Arfman, P.A.

AUG 22 2012

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DATE: <u>August 21, 2012</u>

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Planning Department Transportation Development Services Section

August 23, 2012

Stephen A. Dunbar, Registered Architect Modulus Architects 220 Copper Ave. NW, Ste. 350 Albuquerque, NM 87102

Re:

Certification for Permanent Certificate of Occupancy (C.O.)

Panda Express [C-18/D042C]

8120 San Pedro NE

Architect's Stamp Dated 08/23/12

Dear Mr. Dunbar:

Sincerely

Based upon the information provided in your submittal received 08-23-12, Transportation Development has no objection to the issuance of a <u>Permanent Certificate</u> of <u>Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate</u> of <u>Occupancy</u> to be issued by the Building and Safety Division.

If \displaydu\have any questions, please contact me at (505)924-3630.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Mo/E. Saigado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2012)

DIECT TITLE: PANDA GARESS B#: 1188-76198 EPC#:	WORK ORDER#:
AL DESCRIPTION: ABO WEST UNIT 2 Y ADDRESS:	107 4-A-1-A
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ADDRESS:	CONTACT:
CITY, STATE:	PHONE:
	ZIP CODE:
	EMAIL:
VER: PANEL EXPERSS	CONTRACT.
ADDRESS:	CONTACT: PHONE:
CITY, STATE:	ZIP CODE:
HITECT: WODLINS APOHITECTS ADDRESS: ZZO COPPER AUE N. L.	
ADDRESS: 7.70 Can No.	STE 350 CONTACT: SEPLENTAME PHONE: 358-1499 x K
CITY, STATE: Abo Nm 37102	STE 350 PHONE: 358-1499 x K
17106	ZIP CODE:
	EMAIL: SDUNBARO WA
<u>/EYOR</u> :	EMAIL: SDUNBAPED MAIL APCHITECTS
ADDRESS:	CONTACT:
CITY, STATE:	PHONE: ZIP CODE:
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TRACTOR:ADDRESS:	CONTACT:
CITY, STATE:	PHONE:
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OF SUBMITTAL:	
DRAINAGE REPORT	TYPE OF APPROVAL SOUGHT:
DRAINAGE PLAN 1st SUBMITTAL	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN RESUBMITTAL	PRELIMINARY PLAT APPROVAL S DEV DI AN EOD GUIDID APPROVA
CONCEPTUAL G & D PLAN	_ S. DEV. PLAN FOR SUB'D APPROVAL _ S. DEV. FOR BLDG. PERMIT APPROVAL
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TD A EDIC OID OUT A CONTRACTOR AND A CON	BUILDING PERMIT APPROVAL
ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL
ENGINEER'S CERT (DRB SITE PLAN)	CERTIFICATE OF OCCUPANCY (TEMP)
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	TOTA TOTA CENTILICATION
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PRE-DESIGN CONFERENCE ATTENDED:	
_ YES	SECTION
NO COPY PROVIDED	

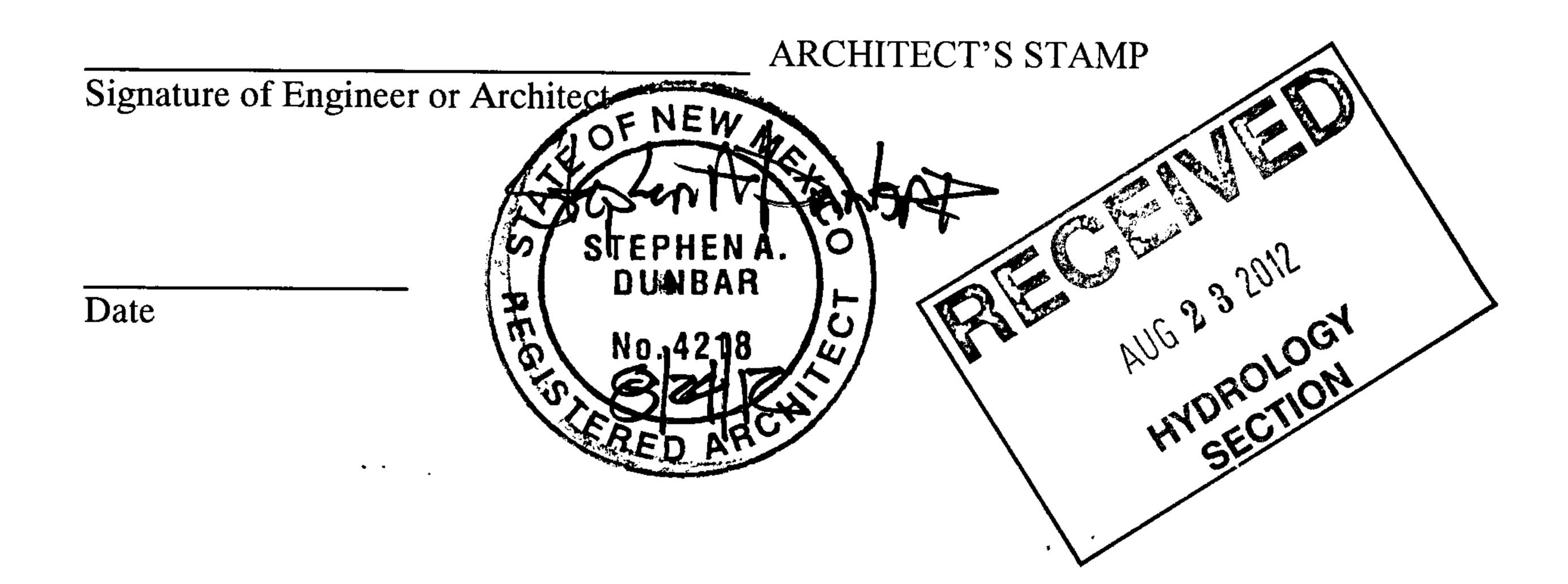
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TRAFFIC CERTIFICATION

I, STEPHEN DUNBAR, NMPE OR NMRA 004218, OF THE FIRM MODULUS ARCHITECTS INC. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL DESIGN COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/25/12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEPHEN DUNBAR OF THE FIRM MODULUS ARCHITECTS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/20/12 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCPANCY.

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December 27, 2011

Fred C. Arfman, P.E. Isaacson & Arfman, P.A. 128 Monroe St. NE Albuquerque, NM 87108

Re: Lot 4, Del Norte Plaza

Grading & Drainage Plan

Engineer's Stamp dated 12/02/2011 (C18/D042C)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 12/06/11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

This project requires a Topsoil Disturbance Permit since it is disturbing ¾ of an acre or more and a National Pollutant Discharge Elimination System (NPDES) permit.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

NM 87103

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: Del Norte Plaz	za - Chinotle & Panda Evnress	ZONE MAP/DRG.FILE# C-18 DO4ZC
DRB#:		WORK ORDER#:
LEGAL DESCRIPTION: A po		Albuquerque NM
CITY ADDRESS: 81** San	Pearo Drive NE	······································
ENGINEERING FIRM: ISAACS	ON AND ARFMAN	CONTACT: Fred C. Arfman PE
	DE N.E.	PHONE: 268-8828
	UERQUE, NM	ZIP CODE: <u>87108</u>
	· · · · · · · · · · · · · · · · · · ·	
OWNER:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
ARCHITECT: Modulus Architect		CONTACT: Stephen Dunbar AIA
ADDRESS:		PHONE: 388-1499
CITY, STATE:		ZIP CODE:
SURVEYOR: Precision Surveys		CONTACT: Larry Medrano
ADDRESS: 5571 Midwa	v Park Place NE	PHONE: 856-5700
CITY, STATE: Albuques		ZIP CODE: 87199
	<u></u>	
CONTRACTOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:	······································	ZIP CODE:
TYPE OF SUBMITTAL:		CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	TITAR ATOMOR A T	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st S		PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RES		S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D I	LAN	S. DEV. FOR BLDG. PERMIT APPROVAL
☐ GRADING PLAN☐ EROSION CONTROL P	T ANT	SECTOR PLAN APPROVAL
ENGINEER'S CERT (H		FINAL PLAT APPROVAL FOUNDATION DEPARTS APPROVAL
CLOMR/LOMR	IDROLOGIJ	☐ FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION	NIAVOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITEC		CERTIFICATE OF OCCUPANCY (FERM) CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITEC		GRADING PERMIT APPROVAL
ENGINEER/ARCHITEC		PAVING PERMIT APPROVAL
OTHER (SPECIFY)		WORK ORDER APPROVAL
		OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERI	ENCE ATTENDED:	EEC 03 2011
YES		
NO		HYDROLOGY
COPY PROVIDED		
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		SECTION
SUBMITTED BY: Fred Arfman	O AC	DATE: December 5, 2011
Isaacson	& Arfman, P.A.	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.