

CITY OF ALBUQUERQUE



April 24, 2018

Richard P. Bennett, RA
RBA Architecture
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Holly Shopping Center- Tropical Smoothie
6400 Holly Ave. NE (Bldg. 3, Suite N)
60-Day Temporary Certificate of Occupancy- Transportation Development
Transportation Development Final Inspection
Engineer's Stamp dated 5-22-17 (C18D042D)
Certification dated 2-1-18

Dear Mr. Bennett,

Based upon the information provided in your submittal received 04-24-18,
Transportation Development has no objection to the issuance of a 60-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 60-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Work order with DRC must be completed.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

LP/RM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Holly Shopping Center - Tropical Smoothie **Building Permit #:** 2017-24267 **Hydrology File #:** _____

DRB#: 16DRB-70330 **EPC#:** _____ **Work Order#:** _____

Legal Description: Lot 2-A, Del Norte Plaza Subdivision

City Address: 6400 Holly Ave NE, Albuquerque, NM 87113

Applicant: Holly Partner's LLC **Contact:** Jayesh Patel

Address: 904 Copperhead Ct NE, Albuquerque, NM 87113

Phone#: 505-275-9667 **Fax#:** _____ **E-mail:** jayesh@tnjgroup.com

Other Contact: RBA Architecture Planning Design **Contact:** Darby Miera

Address: 1104 Park Ave SW

Phone#: 505-242-1859 **Fax#:** _____ **E-mail:** darby@rba81.com

Check all that Apply:

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

____ CONCEPTUAL G & D PLAN

____ GRADING PLAN

____ DRAINAGE MASTER PLAN

____ DRAINAGE REPORT

____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)

____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____

____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL

____ SITE PLAN FOR SUB'D APPROVAL

____ SITE PLAN FOR BLDG. PERMIT APPROVAL

____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE

____ FOUNDATION PERMIT APPROVAL

____ GRADING PERMIT APPROVAL

____ SO-19 APPROVAL

____ PAVING PERMIT APPROVAL

____ GRADING/ PAD CERTIFICATION

____ WORK ORDER APPROVAL

____ CLOMR/LOMR

____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ____ Yes ☒ No

DATE SUBMITTED: 2/1/2018 **By:** Darby Miera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



February 1, 2018

Re: Holly Shopping Center
6400 Holly Ave, NE, Alb. NM
Tropical Smoothie T.I. Bldg. 3, Suite N – BP-2017-24267
Engineer's/Architect's stamp dated: 3/3/2017

TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved DRB Site Development Plan dated 10/31/2017 and with Architect's stamp dated 03/03/2017.

The record information was edited on the original design document has been obtained by **Rick Bennett | Architect**, of the firm. I further certify that I have personally visited the project site on February 01, 2018 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for 30 day temporary Certificate of Occupancy for Tropical Smoothie located in Building 3, Suite n at Holly Shopping Center, 6400 Holly Ave. NE 87111, Lot 2-A, Del Norte Plaza Subdivision, Bernalillo County in Albuquerque, New Mexico.

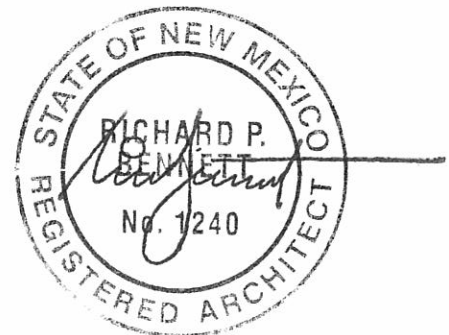
The reason for a 30 day temp C.O. is the T.I. for Suite N is almost completed and will be ready to open February 9th but the drive-up lane for Suite N and the site changes at the northeast entry to the site have not been completed and the owner wants to open without the drive-up being completed. The General contractor has installed concrete barriers at each end of the drive-up lane to prevent vehicles from entering the drive-up lane.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in black ink, appearing to read 'Rick Bennett', written over a horizontal line.

Rick Bennett, Architect



HOLLY SHOPPING CENTER

SITE PLAN FOR BUILDING PERMIT

INDEX OF DRAWINGS

C-1.0	SITE PLAN, INDEX, COVER
C-2.0	SITE DETAILS
CG-101	GRADING & DRAINAGE PLAN
CG-501	GRADING DETAILS
CU-101	UTILITY PLAN
LS-1	LANDSCAPING PLAN
A-3.0	EXTERIOR ELEVATIONS

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED;
- B. PROVIDE EXPANSION JOINTS IN CONCRETE WALK 8' @ O.C. AND WHERE CONCRETE MEETS CURB OR BUILDING;
- C. CURB IDENTIFICATION SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE ID.
- D. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10 BC, 1 PER EACH 3,000 S.F., REF. FLOOR PLANS FOR QUANTITY AND LOCATIONS

KEYED NOTES

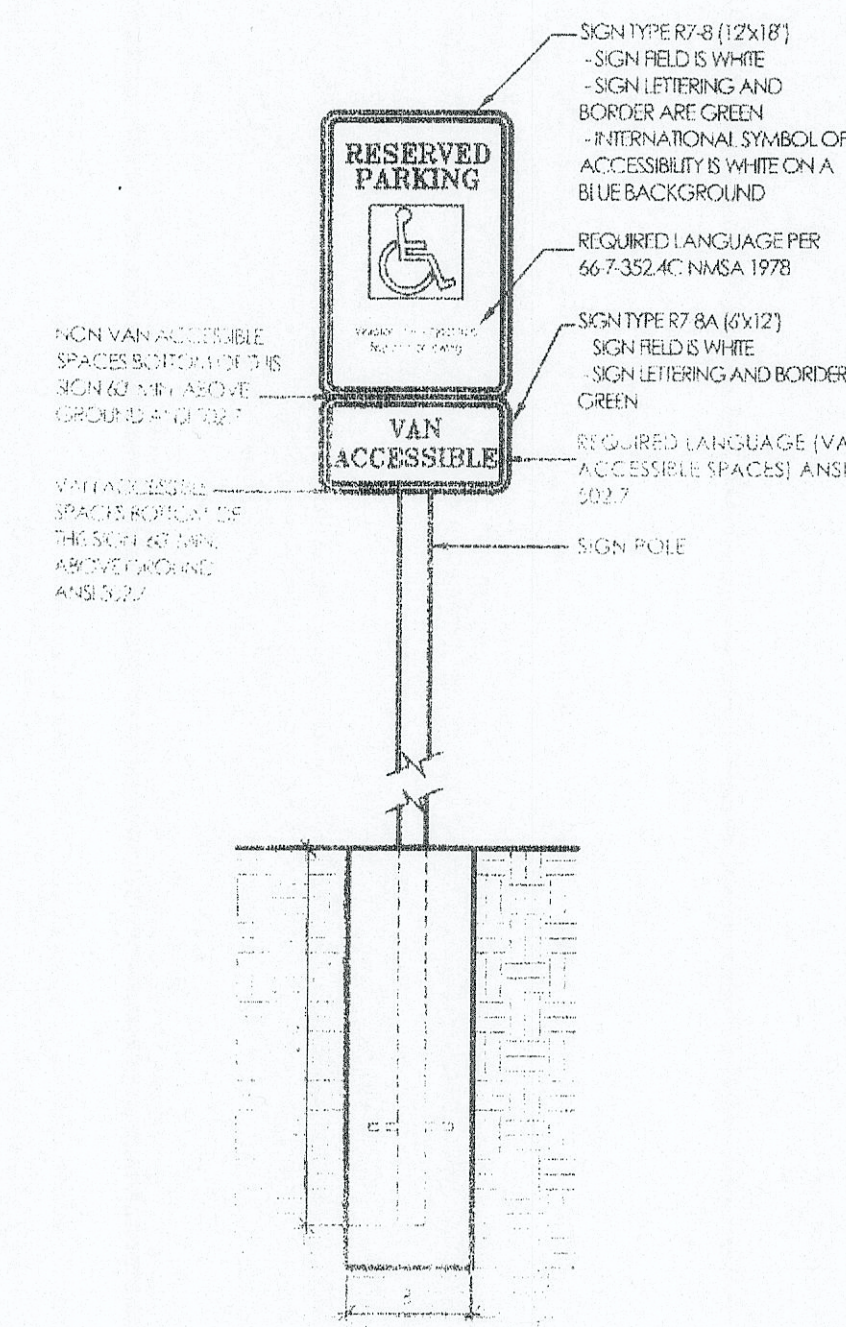
1. CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 06/C-2
2. ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
3. 2'-0" RADIUS
4. CONSTRUCT CONCRETE SIDEWALK
5. 4" WIDE WHITE PARKING STRIKE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
6. 6"-0" WIDE MINIMUM HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
7. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
8. ASPHALT PAVING & H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS, SEE DETAIL: 5/C-2
9. INSTALL CONCRETE WHITE STOP
10. INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 2/C-1
11. DUMPSITER ENCLOSURE, REF: DETAIL 08/C-2
12. FIRE HYDRANT.
13. EXISTING SITE LIGHT WITH CONCRETE BASE, REF. ELECTRICAL FOR DETAILS.
14. C.M.U. RETAINING WALL, SEE CIVIL FOR DETAIL
15. CLEAR SIGN TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 8' AND 10 FEET TALL ASSURED FROM THE GUTTER PAN, WILL NOT BE ACCEPTABLE IN THE CLEAR SIGN TRIANGLE
16. EXISTING SIGN LIGHTING TO BE RELOCATED TO THIS LOCATION
17. 6X7' TRANSFORMER CONCRETE PAD, BUILD PER PNM DRAWING.

DESIGN CRITERIA

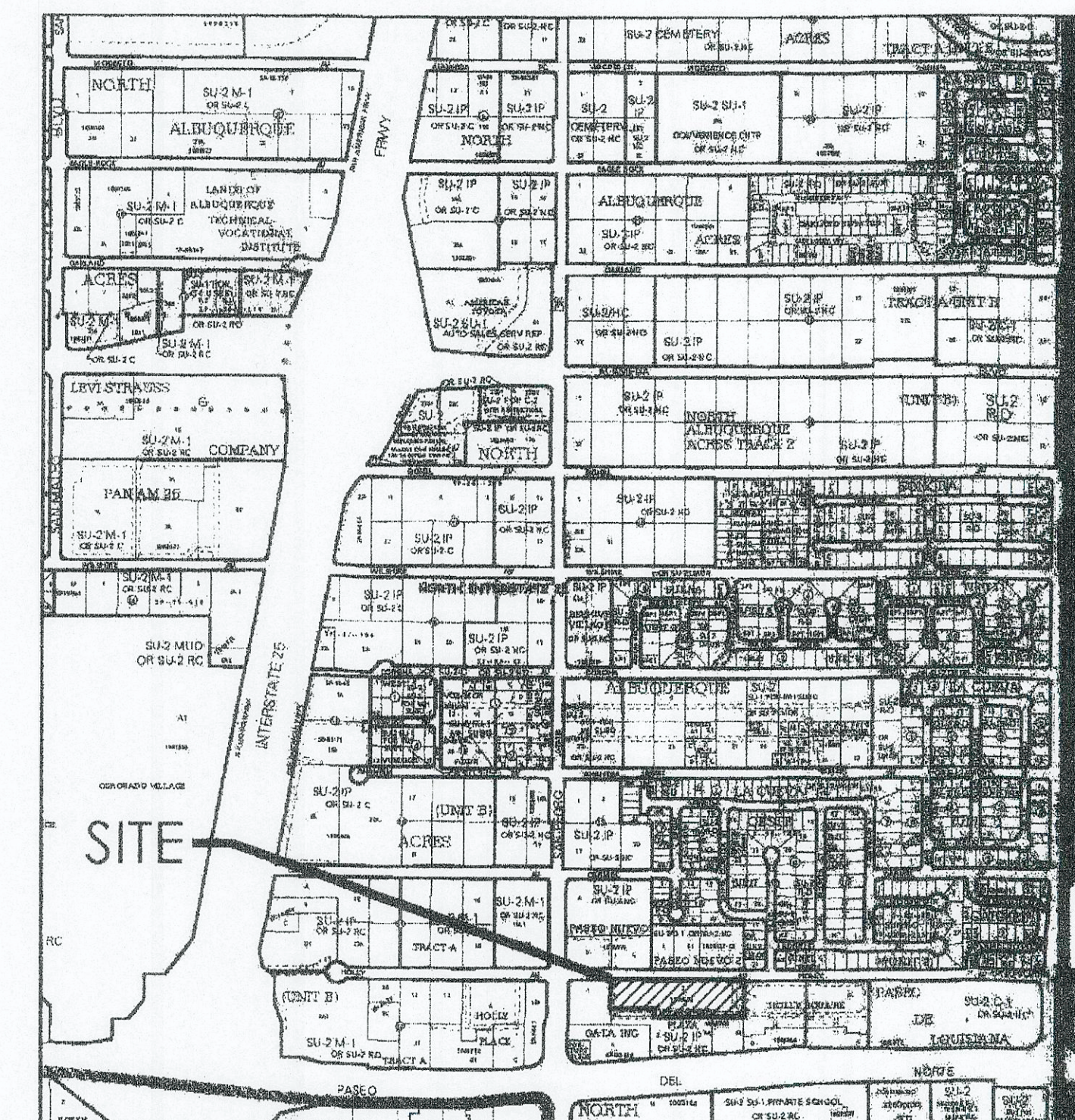
- BUILDING CONSTRUCTION TYPE: 2-B NON-COMBUSTIBLE
MAXIMUM BUILDING SIZE: 9,000 SQ. FT.
FIRE SEPARATION: 2-HOUR SEPARATION WALLS BETWEEN SPACES

PARKING REQUIREMENTS:

REQUIRED PARKING:	
BUILDING ONE:	32 PARKING SPACES
BUILDING TWO:	66 PARKING SPACES
BUILDING THREE:	46 PARKING SPACES
TOTAL PARKING REQUIRED:	144 PARKING SPACES
TOTAL PARKING PROVIDED:	146 SPACES PROVIDED (INCLUDING 8 HC SPACES)
HANDICAPPED SPACES REQUIRED =	8 HANDICAPPED SPACES
HANDICAPPED SPACES PROVIDED=	INCLUDING 12 VAN ACCESSIBLE
MOTORCYCLE SPACES REQUIRED=	8 TOTAL [2 VAN ACCESSIBLE]
MOTORCYCLE SPACES PROVIDED=	4 TOTAL
	4 TOTAL



2 H.C. ACCESSIBLE SIGN DETAIL



VICINITY MAP - C-18-Z

N.T.S.

PROJECT NUMBER: 1006868
APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ☐ YES ☐ NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OF FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.

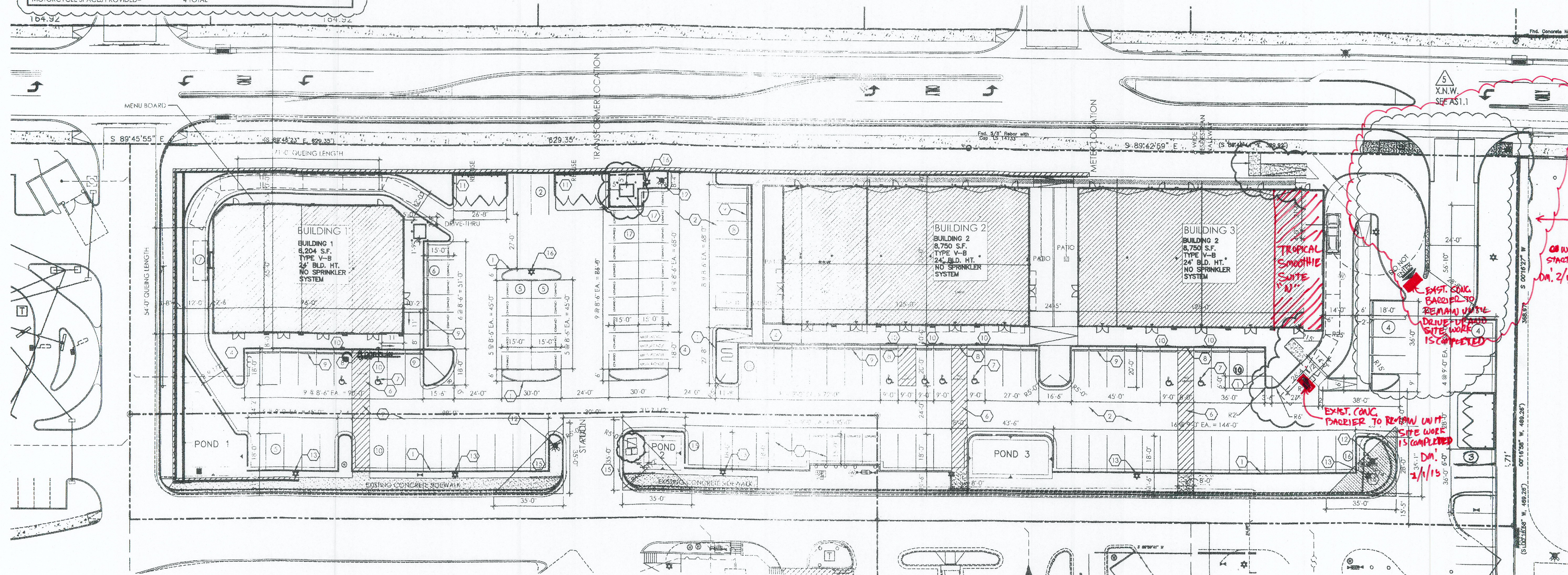
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Barry M. M. M.</i>	4/12/17
TRAIL ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Theresa Cade</i>	05-22-17
ABCWUA	DATE
<i>C. Sandoval</i>	4/12/17
PARKS AND RECREATION DEPARTMENT	DATE
<i>Conce Brunsell</i>	4/12/17
CITE ENGINEER	DATE
<i>M</i>	5-22-17
*ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>M</i>	5-22-17
SOLID WASTE MANAGEMENT	DATE
<i>M. C.</i>	5-22-17
DPS CHAIRPERSON, PLANNING DEPARTMENT	DATE

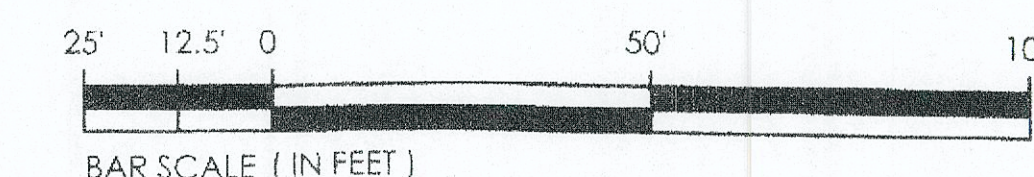
DRB ADMINISTRATIVE
SITE PLAN AMENDMENT

PROJECT NO. 1006368
APPLICATION NO. 1744-10096
Kaiser dms thru
04/21/2015

[Signature] 10-31-
PLANNING DIRECTOR DATE



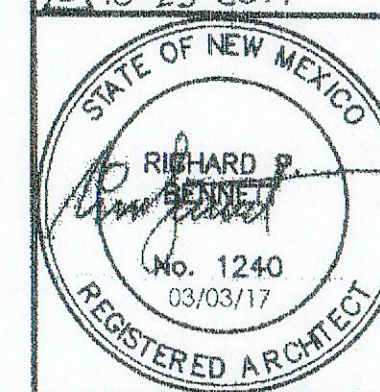
OVERALL SITE PLAN



HOLLY SHOPPING CENTER
 SITE PLAN
 8136 HOLLY AVE. NW, ALBUQUERQUE, NM 87117
 PROJECT # 1547

REVISION DATE

03-04-2016	
08-25-2016	
03-07-2017	
10-25-2017	



DATE 05-09-2016

SHEET NUMBER

C-1