

# CITY OF ALBUQUERQUE



February 8, 2018

Richard P. Bennett, RA  
RBA Architecture  
1104 Park Ave. SW  
Albuquerque, NM 87102

**Re: Holly Shopping Center- Tropical Smoothie**  
**6400 Holly Ave. NE (Bldg. 3, Suite N)**  
**90-Day Temporary Certificate of Occupancy- Transportation Development**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 5-22-17 (C18D042D)  
Certification dated 2-1-18

Dear Mr. Bennett,

Based upon the information provided in your submittal received 2-1-18, Transportation Development has no objection to the issuance of a 90-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 90-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Work order wit DRC must be completed.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

MA/RM            via: email  
C:            CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

**Project Title:** Holly Shopping Center - Tropical Smoothie **Building Permit #:** 2017-24267 **Hydrology File #:** \_\_\_\_\_

**DRB#:** 16DRB-70330 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** Lot 2-A, Del Norte Plaza Subdivision

**City Address:** 6400 Holly Ave NE, Albuquerque, NM 87113

**Applicant:** Holly Partner's LLC **Contact:** Jayesh Patel

**Address:** 904 Copperhead Ct NE, Albuquerque, NM 87113

**Phone#:** 505-275-9667 **Fax#:** \_\_\_\_\_ **E-mail:** jayesh@tnjgroup.com

**Other Contact:** RBA Architecture Planning Design **Contact:** Darby Miera

**Address:** 1104 Park Ave SW

**Phone#:** 505-242-1859 **Fax#:** \_\_\_\_\_ **E-mail:** darby@rba81.com

Check all that Apply:

**DEPARTMENT:**

\_\_\_\_ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

☒ ENGINEER/ARCHITECT CERTIFICATION

\_\_\_\_ CONCEPTUAL G & D PLAN

\_\_\_\_ GRADING PLAN

\_\_\_\_ DRAINAGE MASTER PLAN

\_\_\_\_ DRAINAGE REPORT

\_\_\_\_ CLOMR/LOMR

\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)

\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)

\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

\_\_\_\_ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

\_\_\_\_ PRELIMINARY PLAT APPROVAL

\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL

\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL

\_\_\_\_ FINAL PLAT APPROVAL

\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE

\_\_\_\_ FOUNDATION PERMIT APPROVAL

\_\_\_\_ GRADING PERMIT APPROVAL

\_\_\_\_ SO-19 APPROVAL

\_\_\_\_ PAVING PERMIT APPROVAL

\_\_\_\_ GRADING/ PAD CERTIFICATION

\_\_\_\_ WORK ORDER APPROVAL

\_\_\_\_ CLOMR/LOMR

\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: \_\_\_\_ Yes ☒ No

**DATE SUBMITTED:** 2/1/2018 **By:** Darby Miera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



February 1, 2018

Re: Holly Shopping Center  
6400 Holly Ave, NE, Alb. NM  
Tropical Smoothie T.I. Bldg. 3, Suite N – BP-2017-24267  
Engineer's/Architect's stamp dated: 3/3/2017

#### TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved DRB Site Development Plan dated 10/31/2017 and with Architect's stamp dated 03/03/2017.

The record information was edited on the original design document has been obtained by **Rick Bennett | Architect**, of the firm. I further certify that I have personally visited the project site on February 01, 2018 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for 30 day temporary Certificate of Occupancy for Tropical Smoothie located in Building 3, Suite n at Holly Shopping Center, 6400 Holly Ave. NE 87111, Lot 2-A, Del Norte Plaza Subdivision, Bernalillo County in Albuquerque, New Mexico.

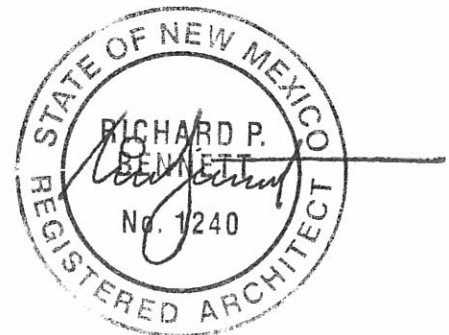
The reason for a 30 day temp C.O. is the T.I. for Suite N is almost completed and will be ready to open February 9<sup>th</sup> but the drive-up lane for Suite N and the site changes at the northeast entry to the site have not been completed and the owner wants to open without the drive-up being completed. The General contractor has installed concrete barriers at each end of the drive-up lane to prevent vehicles from entering the drive-up lane.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Bennett", written over a horizontal line.

Rick Bennett, Architect





# HOLLY SHOPPING CENTER

## SITE PLAN FOR BUILDING PERMIT

## INDEX OF DRAWINGS

|        |                         |
|--------|-------------------------|
| C-1.0  | SITE PLAN, INDEX, COVER |
| C-2.0  | SITE DETAILS            |
| CG-101 | GRADING & DRAINAGE PLAN |
| CG-501 | GRADING DETAILS         |
| CU-101 | UTILITY PLAN            |
| LS-1   | LANDSCAPING PLAN        |
| A-3.0  | EXTERIOR ELEVATIONS     |

### GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. PROVIDE EXPANSION JOINTS IN CONCRETE WALK 8' 0" O.C. AND WHERE CONCRETE ABUTS THE STREET.
- C. PRECISE IDENTIFICATION SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE ID.
- D. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., RET. FLOOR PLANS I OR QUANTITY AND LOCATIONS.

## KEYED NOTES

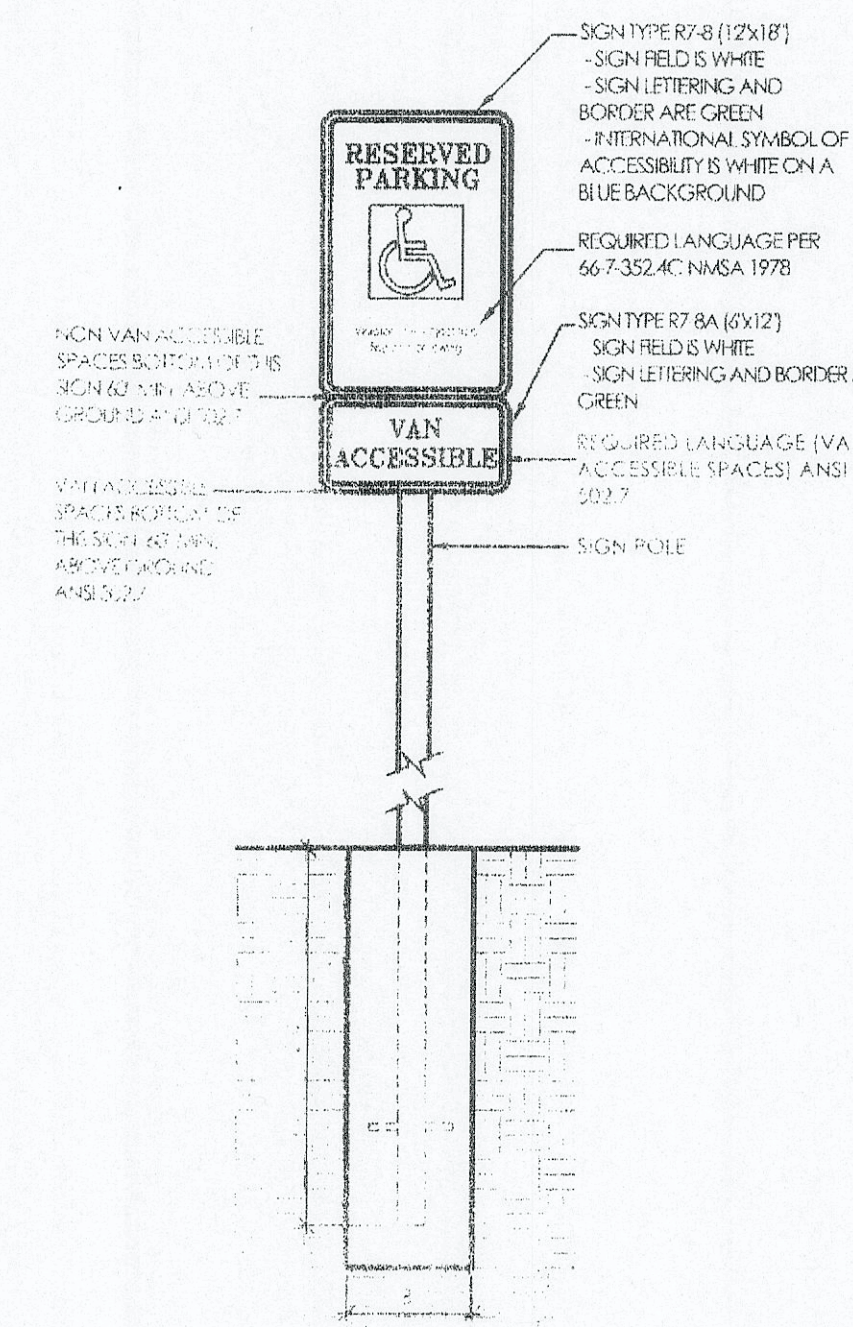
1. CONSTRUCT 6" CONCRETE CURB AND GUTTER. SEE: DETAIL: 06/C-2
2. ASPHALT PAVEMENT ON SIDEWALK. SEE DETAIL: 05/C-2
3. 2'-0" RADIUS
4. CONSTRUCT CONCRETE SIDEWALK
5. 4" WIDE WHITE PARKING STRIPS AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
6. 6'-0" WIDE MINIMUM HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
7. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
8. ASPHALT PAVING & H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS. SEE DETAIL: 51/C-2
9. INSTALL CONCRETE WHEEL STOP
10. INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES. DETAIL 21/C-1
11. DUMPSTER ENCLOSURE. REF: DETAIL 08/C-2
12. FIRE HYDRANT.
13. EXISTING SITE LIGHT WITH CONCRETE BASE. REF. ELECTRICAL FOR DETAILS.
14. C.M.U. RETAINING WALL. SEE CIVIL FOR DETAIL
15. CLEAR SIGN TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS. THEREFORE, SIGNS, WA. TREES, AND SHRUBBERY BETWEEN 8' AND 8 FEET SHALL BE ASSURED FROM THE GUTTER PAN; WILL NOT BE ACCEPTABLE IN THE CLEAR SIGN TRIANGLE
16. EXISTING SIGHT LIGHTING TO BE RELOCATED TO THIS LOCATION
17. 6X7' TRANSFORMER CONCRETE PAD. BUILD PER PMN DRAWING.

## DESIGN CRITERIA

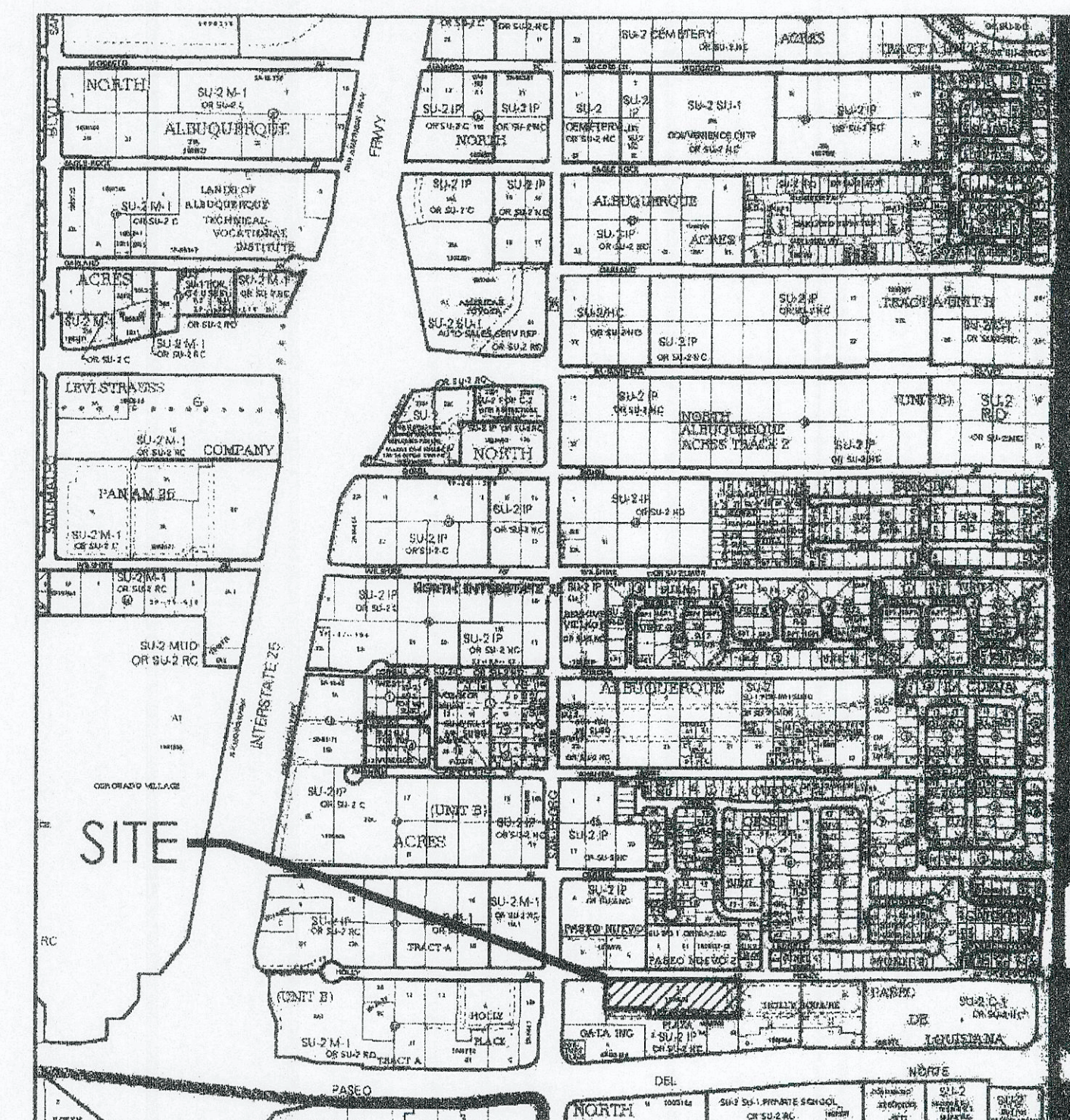
- BUILDING CONSTRUCTION TYPE: 2-B NON-COMBUSTIBLE  
MAXIMUM BUILDING SIZE: 9,000 SQ. FT.  
FIRE SEPARATION: 2-HOUR SEPARATION WALLS BETWEEN SPACES  
MAXIMUM BUILDING HT: 24'-0" (NOT TO EXCEED 30'-0")

**PARKING REQUIREMENTS:**

|                               |                                             |
|-------------------------------|---------------------------------------------|
| REQUIRED PARKING              |                                             |
| BUILDING ONE:                 | 32 PARKING SPACES                           |
| BUILDING TWO:                 | 66 PARKING SPACES                           |
| BUILDING THREE:               | 46 PARKING SPACES                           |
| TOTAL PARKING REQUIRED:       | 144 PARKING SPACES                          |
| TOTAL PARKING PROVIDED:       | 146 SPACES PROVIDED (INCLUDING 8 HC SPACES) |
| HANDICAPPED SPACES REQUIRED = | 8 HANDICAPPED SPACES                        |
| HANDICAPPED SPACES PROVIDED=  | INCLUDING (2) VAN ACCESSIBLE                |
| MOTORCYCLE SPACES REQUIRED=   | 8 TOTAL (2 VAN ACCESSIBLE)                  |
| MOTORCYCLE SPACES PROVIDED=   | 4 TOTAL                                     |
|                               | 4 TOTAL                                     |



2 H.C. ACCESSIBLE SIGN DETAIL



## VICINITY MAP - C-18-Z

N.T.S.

PROJECT NUMBER: 1006868  
APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED \_\_\_\_\_ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

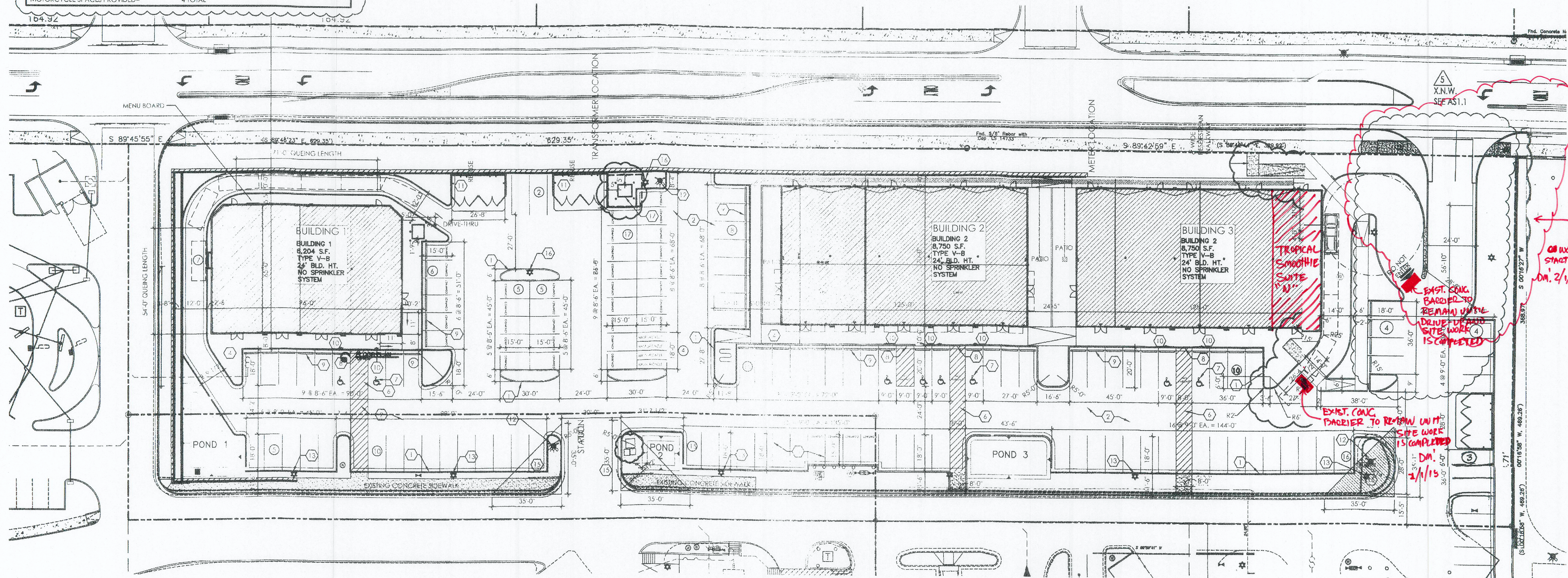
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WORK CONSIDERED A PUBLIC RIGHT OF WAY FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|                                              |          |
|----------------------------------------------|----------|
| <i>Bogdan M. Mil</i>                         | 4/12/17  |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | DATE     |
| <i>Keith Carls</i>                           | 05-20-17 |
| ABCWUA                                       | DATE     |
| <i>Coandora</i>                              | 4/12/17  |
| PARKS AND RECREATION DEPARTMENT              | DATE     |
| <i>Kenee Brissett</i>                        | 4/12/17  |
| CITE ENGINEER                                | DATE     |
| <i>M</i>                                     | 5-22-17  |
| *ENVIRONMENTAL HEALTH DEPARTMENT             | DATE     |
| <i>MxL</i>                                   | 5-22-17  |
| SOLID WASTE MANAGEMENT                       | DATE     |
| <i>John Chy</i>                              | 5-22-17  |
| DPS CHAIRPERSON, PLANNING DEPARTMENT         | DATE     |

DRB ADMINISTRATIVE  
SITE PLAN AMENDMENT

PROJECT NO. 1006868  
APPLICATION NO. 17 AA-10096  
Kaiser, Doug, Thru,  
06/21/2017  
C. J. [Signature]  
PLANNING DIRECTOR 10-31-  
DATE



## OVERALL SITE PLAN

C-1 1" = 25'-0"

1547  
 HOLLY SHOPPING CENTER  
 SITE PLAN  
 8136 HOLLY AVE. NW, ALBU  
 PROJECT #1547

REVISION DATE  
03-04-2016  
08-25-2016  
03-07-2017  
10-25-2017

STATE OF NEW MEXICO  
RICHARD P. BENNETT  
No. 1240  
03/03/17  
REGISTERED ARCHITECT

**RBA**  
ARCHITECTURE  
DESIGN &  
CONSTRUCTION

101 TOWN AVE. 19F  
NEW YORK, NY 10038  
P: 212-410-1871 F: 212-684-1160  
WWW.RBADI.COM

DATE

05-09-2016

SHEET NUMBER

C-1

25' 12.5' 0 50' 100'

BAR SCALE ( IN FEET )