

CITY OF ALBUQUERQUE



July 10, 2017

Ron Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, New Mexico 87109

**Re: Del Norte Plaza
6400 Holly Ave NE
Engineer's Certification - Accepted
Engineers Stamp Date 4/10/17 (C18D042D)
Certification Dated: 7/6/17**

Dear Mr. Bohannon,

Based on the submittal received by Hydrology 7/7/2017, the Engineer's Certification dated 7-6-17 is acceptable for release of shell completion.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

TE/JH

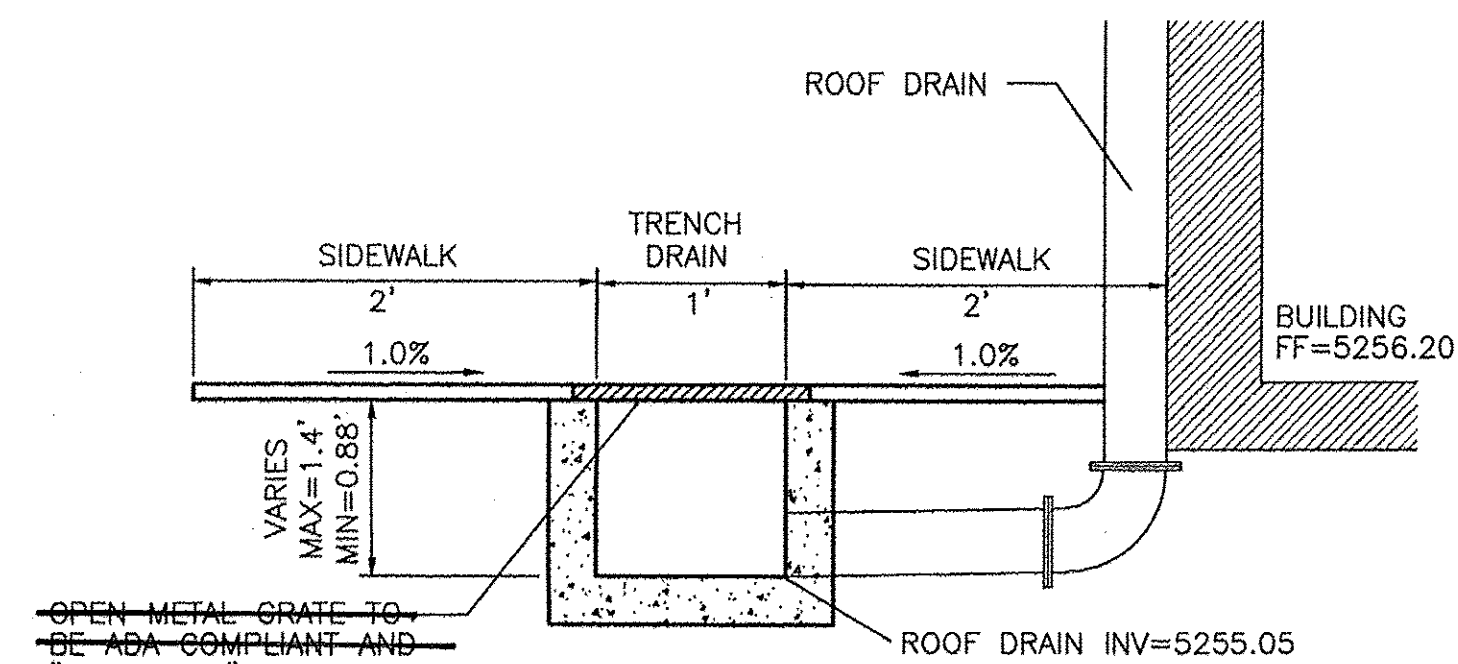
C: email Serna, Yvette M.; Fox, Debi; Tena, Victoria C.; Sandoval, Darlene M.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



SECTION A-A
NTS

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

I, RONALD R. BOHANNAN, NMPE # 7868, OF THE FIRM, TIERRA WEST LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/18/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRIS MEDINA, NMPS # 16702, OF THE FIRM, TIERRA LAND SURVEYS LLC.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/4/22, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

EXCEPTIONS:
NOONE TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNAN, NMPE # 7868

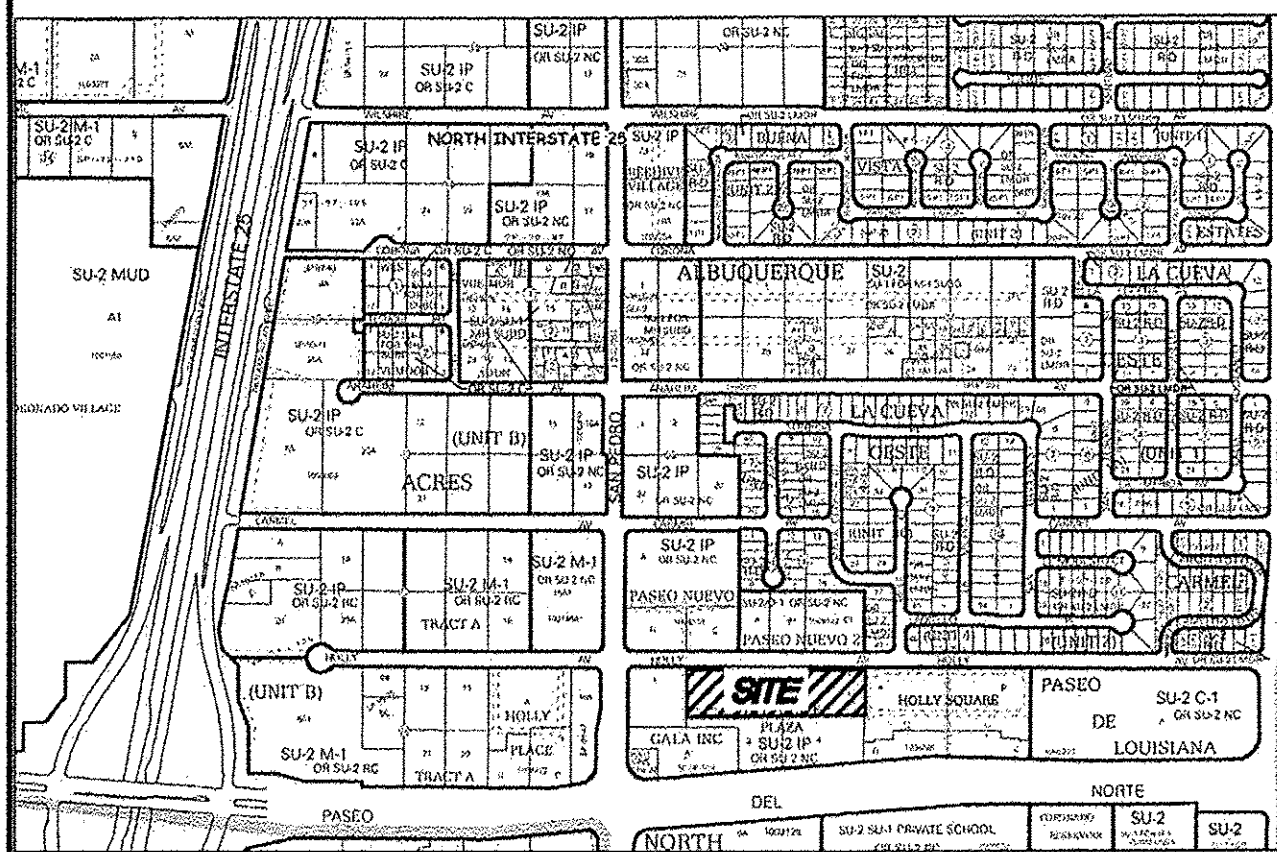
DATE 7/4/22



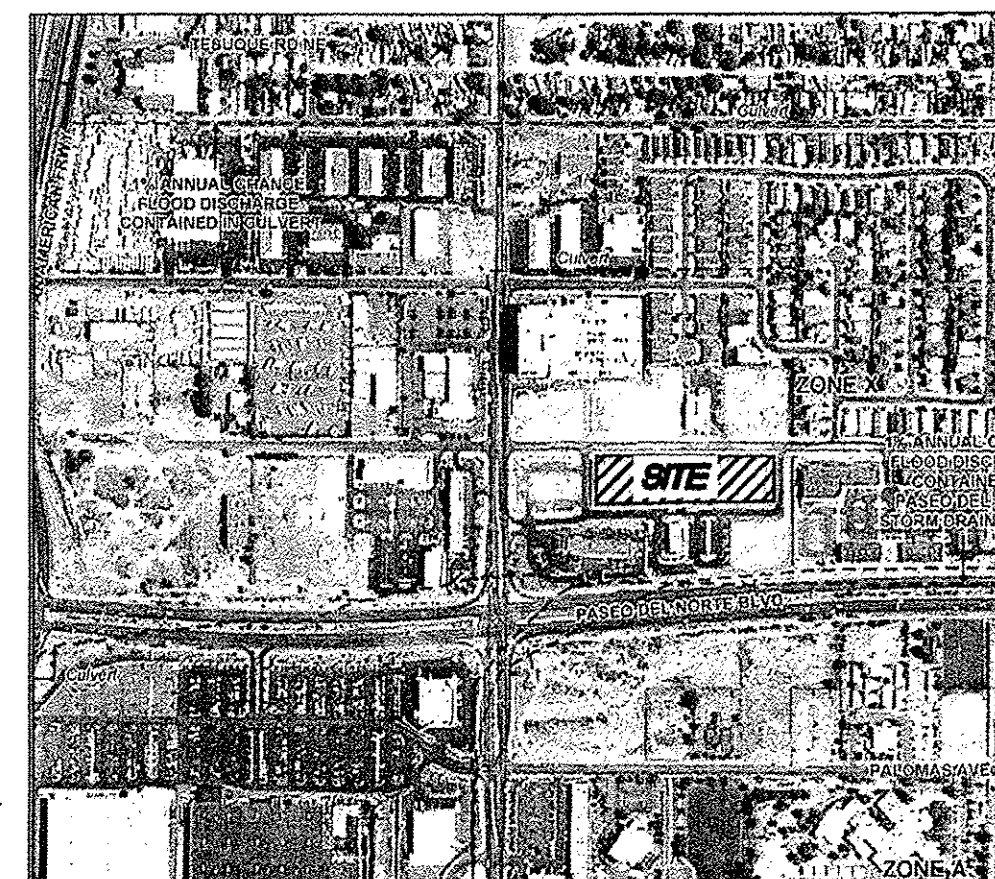
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

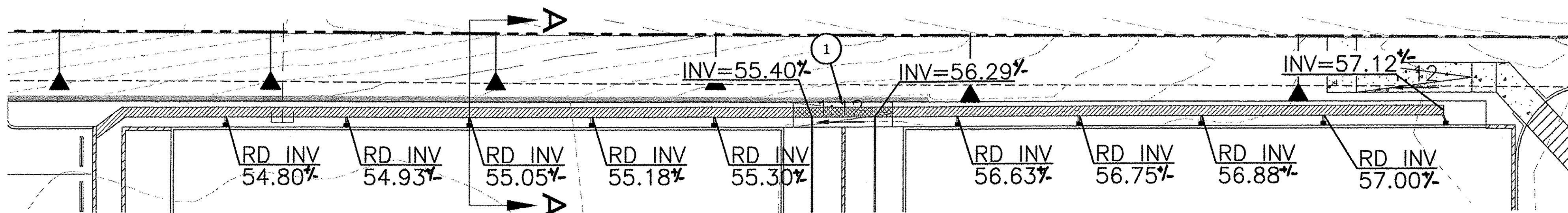
APPROVAL	NAME	DATE
INSPECTOR		



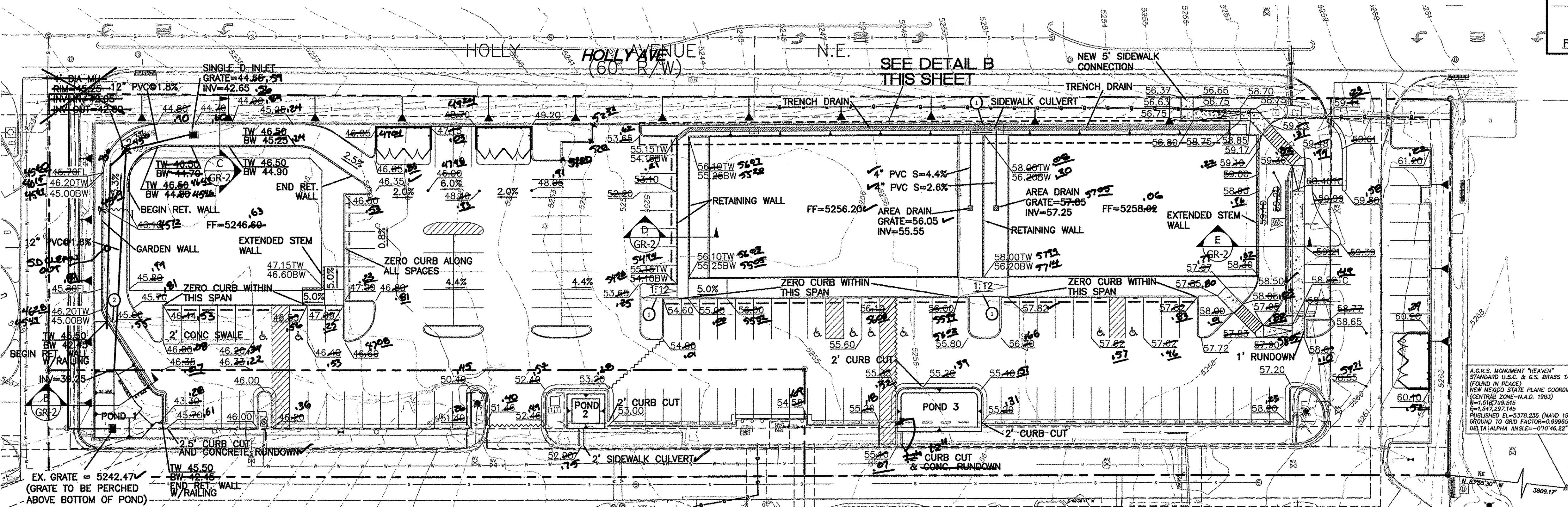
ZONE ATLAS C-18-Z



FIRM MAP 35001C0137H



DETAIL B - TRENCH DRAIN DETAIL
NTS



LEGEND

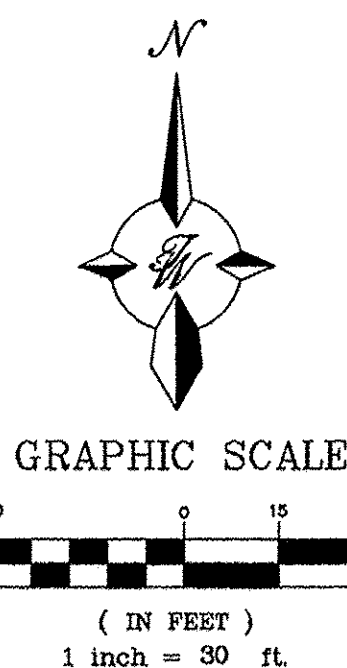
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EX. B" SAS —
- EX. WL —
- EX. RCP —
- 1900 —
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- WATER BLOCK

DET POND	VOL. REQUIRED	VOL. PROVIDED	TOP ELEV.	BOT ELEV.
1	1665.73 CF	1667.15 CF	5242.47	5239.25
2	282.93 CF	301.84 CF	5253.66	5251.20
3	734.98 CF	737.08 CF	5255.20	5254.20

NOTE - 2:1 SIDE SLOPES FROM CURB TO TOP OF POND 1
3:1 MAX SIDE SLOPES FROM TOP TO BOTTOM OF POND 1
2:1 MAX SIDE SLOPES ON PONDS 2 AND 3

KEYED NOTES

1. ADA RAMP WITH RAILING
2. 2 FT CURB CUT



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3. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
4. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
5. SOURCE OF TOPO IS ALTA/ACSM LAND TITLE SURVEY OF LOT 2 HARMS INDUSTRIAL PARK PREPARED BY PRECISION SURVEYS, INC DATED JUNE, 2014.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

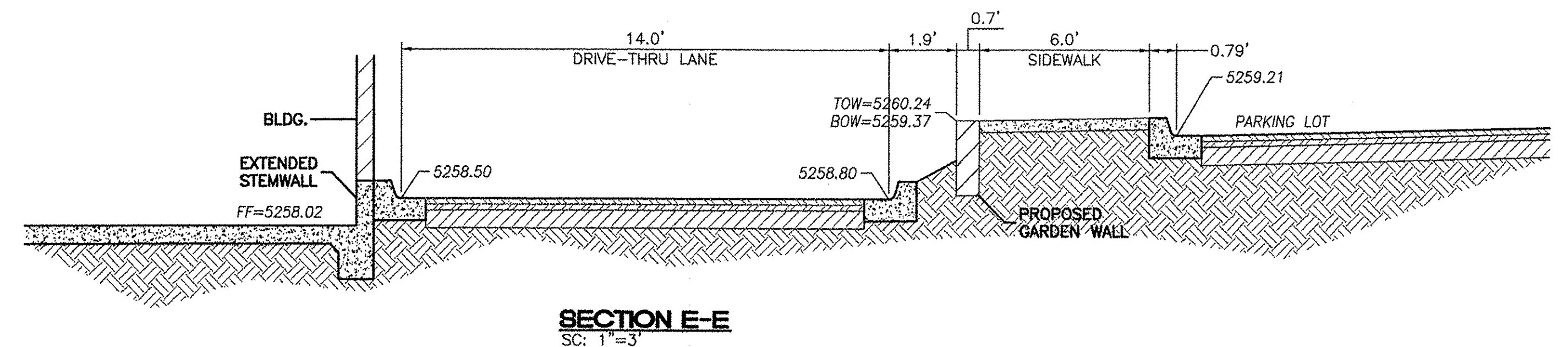
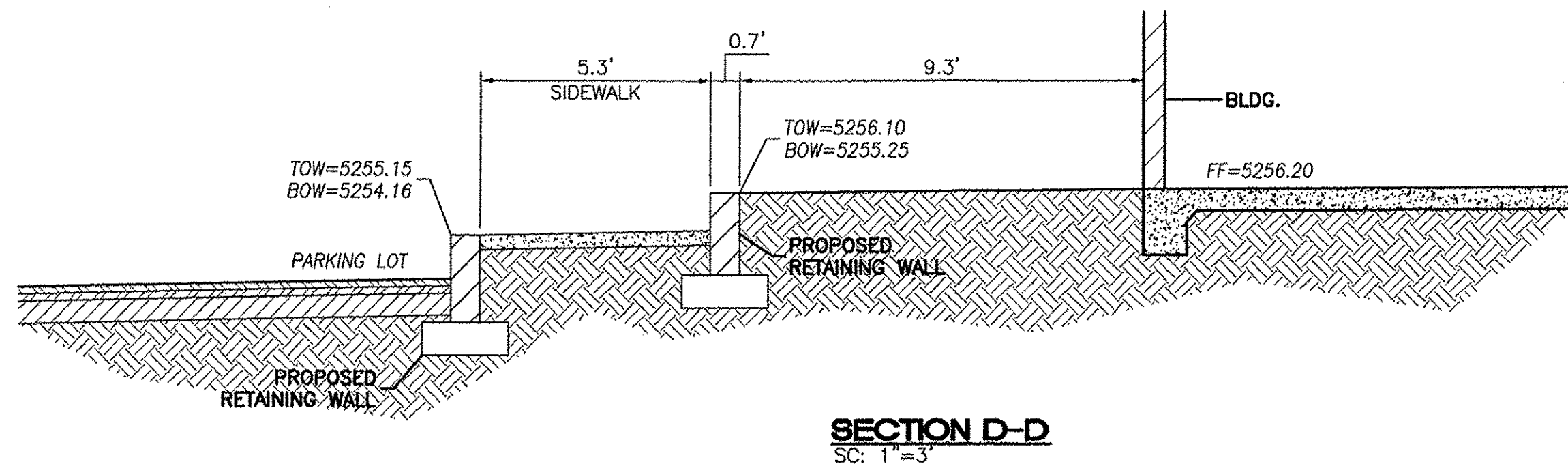
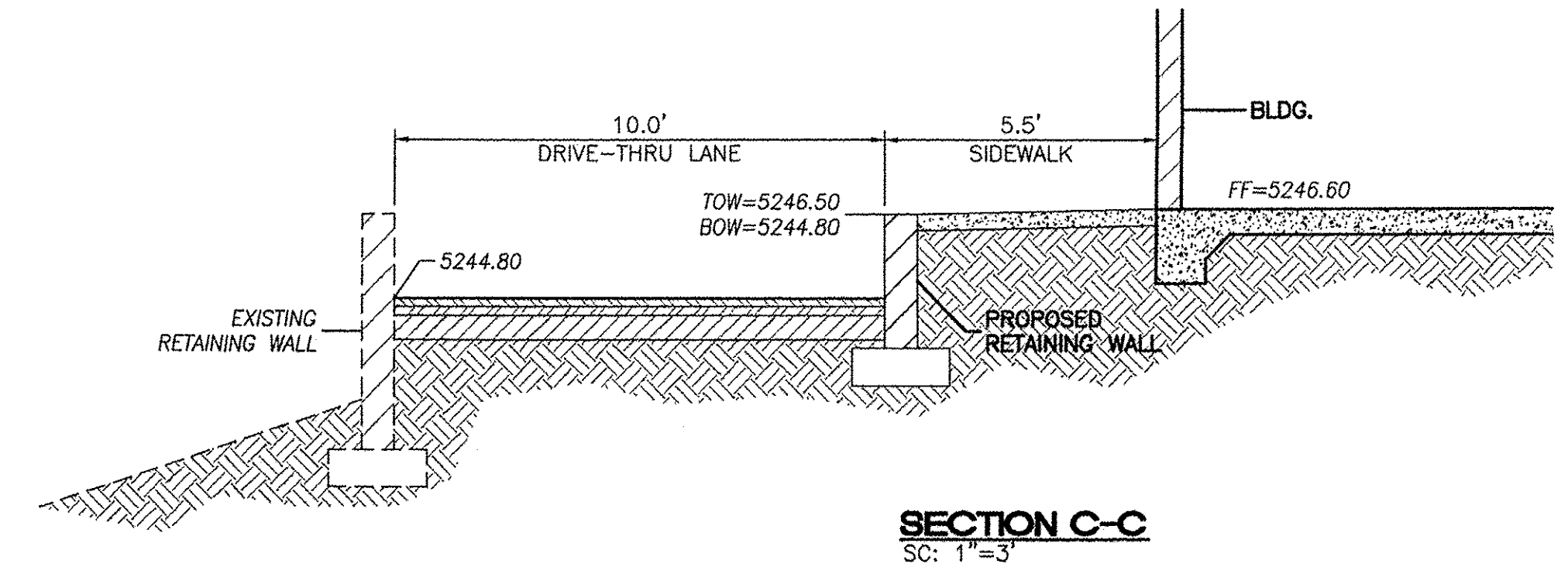
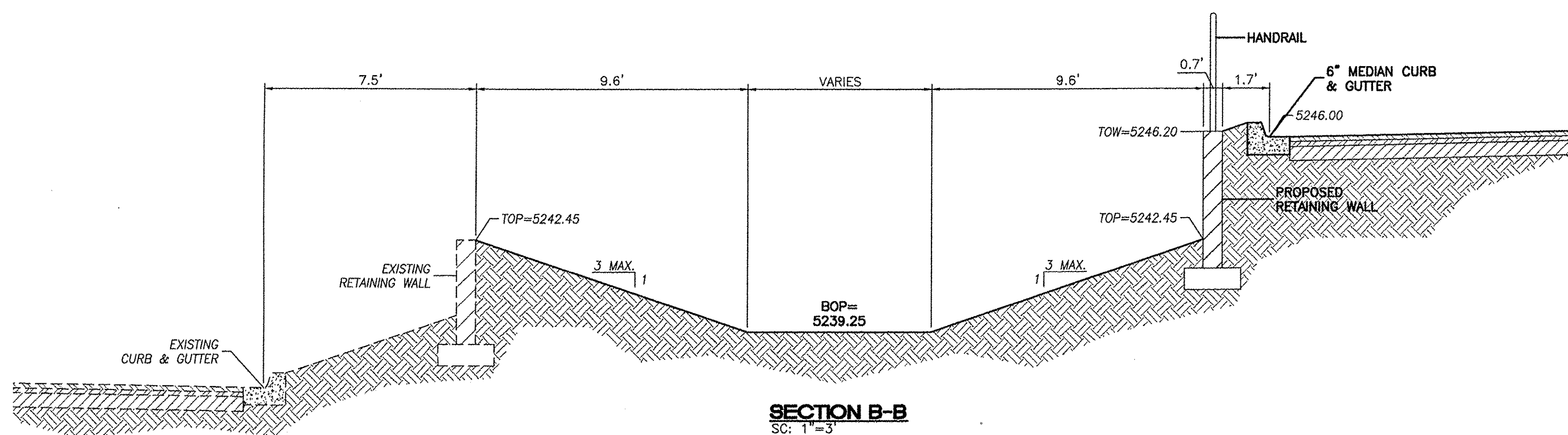
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ROUGH GRADING APPROVAL

DATE

ENGINEER'S SEAL	LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 4-10-17
		DRAWING 2015064-GR
		SHEET # GR-1
		JOB # 2015064



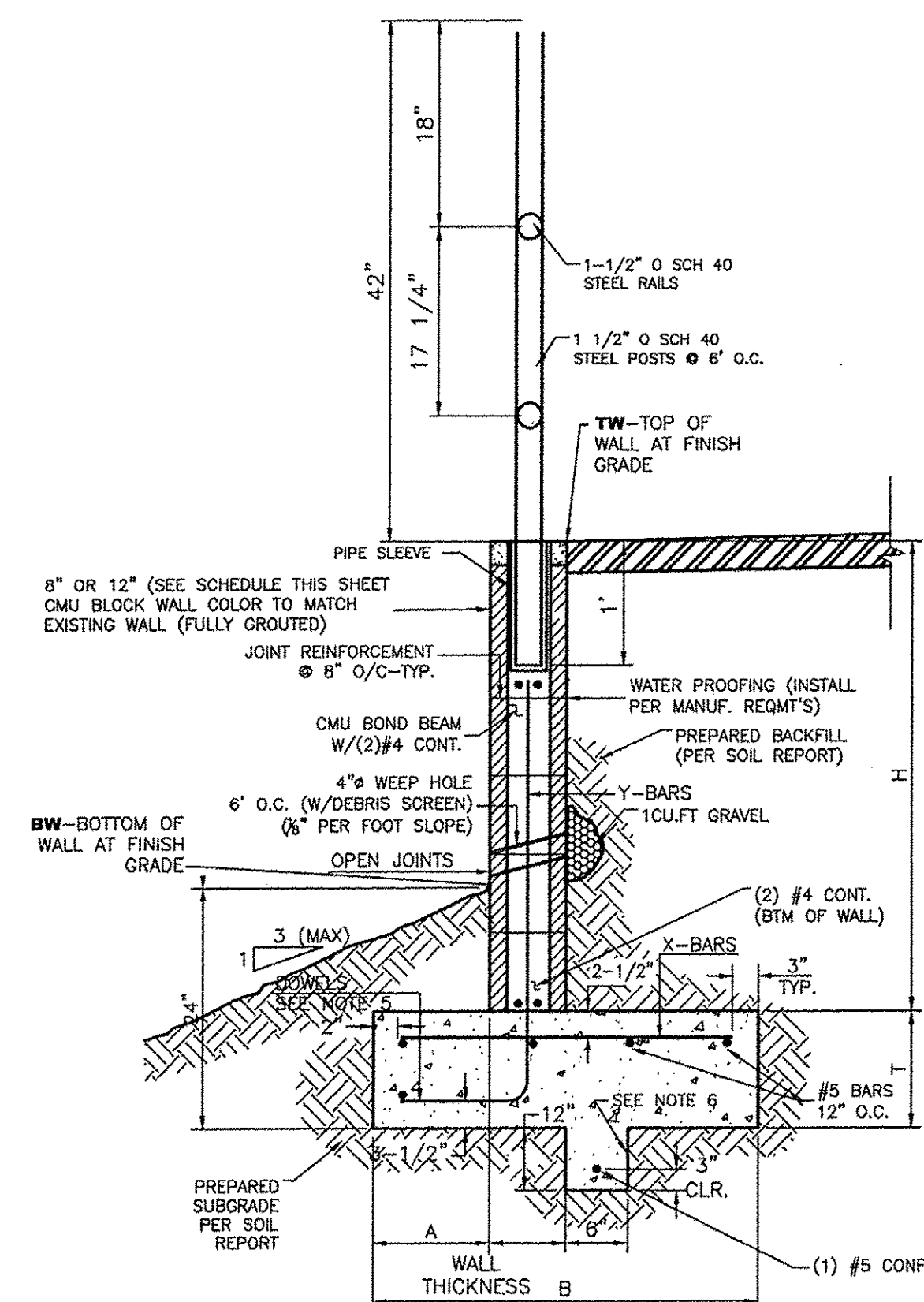
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RONALD R. BOHANNAN, NMPE # 7868
7/14/17
DATE



RETAINING WALL DETAIL

NTS

- $f_m = 1500$ PSI
- SOIL ALLOWABLE 2000 PSF (VERIFY W/SOILS REPORT)
- ACTIVE SOIL PRESSURE - 35 PSF/FT (VERIFY W/SOILS REPORT)
- PASSIVE SOIL PRESSURE - 250 PSF/FT (VERIFY W/SOILS REPORT)
- SOIL FRICTION FACTOR - 0.4 (VERIFY W/SOILS REPORT)

8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
2'-8"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
3'-4"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
4'-0"	12"	2'-8"	10"	#4 @18" O.C.	#4 @24" O.C.
4'-8"	16"	3'-4"	12"	#5 @18" O.C.	#4 @18" O.C.
5'-4"	19"	3'-10"	12"	#5 @8" O.C.	#5 @24" O.C.
6'-0"	20"	4'-8"	12"	#6 @8" O.C.	#5 @24" O.C.

Y-BARS EDGE (2 3/4") FROM RETAINING FACE

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	16"	3'-8"	12"	#5 @16" O.C.	#5 @24" O.C.
6'-0"	19"	4'-2"	12"	#5 @8" O.C.	#5 @24" O.C.
6'-8"	21"	4'-6"	12"	#5 @8" O.C.	#5 @18" O.C.
7'-4"	23"	4'-10"	12"	#6 @8" O.C.	#6 @18" O.C.
8'-0"	26"	5'-4"	12"	#6 @8" O.C.	#6 @18" O.C.
8'-8"	28"	5'-8"	12"	#6 @8" O.C.	#6 @12" O.C.

Y-BARS EDGE (3") FROM RETAINING FACE

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM, D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- DOWELS SHALL BE EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF #4-24", #5-30", #6-36" INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'.
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

ENGINEER'S SEAL	LOT 2 DEL NORTE PLAZA ALBUQUERQUE, NM	DRAWN BY pm
DATE 4-10-17	GRADING AND DRAINAGE SECTIONS	DRAWING 2015064-GR
SHEET # GR-2	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2015064
RONALD R. BOHANNAN P.E. #7868		



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09 2015)

Project Title: Lot 2A & 3A Del Norte Plaza Building Permit # City Drainage #:

DRB#: EPC#: Work Order#:

Legal Description: Lot 2A & A Portion of Lot 3A Del Norte Plaza

City Address: 8130 San Pedro Dr NE

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon

Address: 5571 Midway Park Pl. NE Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestllc.com

Owner: Pacific Paseo Land Investment LLC Contact:

Address: 6101 Moon NE Suite 4000 Albuquerque, NM 87111

Phone#: Fax#: E-mail:

Architect: Contact:

Address:

Phone#: Fax#: E-mail:

Other Contact: Contact:

Address:

Phone#: Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY)

IS THIS A RESUBMITTAL? ☒ Yes ☐ No

DATE SUBMITTED: 7/6/17 By: JG FOR RON BOHANNAN

COA STAFF ELECTRONIC SUBMITTAL RECEIVED