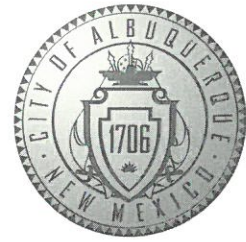


# CITY OF ALBUQUERQUE



October 17, 2017

Darby Miera  
RBA Architecture Planning Design  
1104 Park Ave SW  
Albuquerque, NM 87102

**Re: Holly Shopping Center BPs 88506 & 15056**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 03-03-16 (C18-D042D)  
Certification dated 10-04-17

Dear Ms. Miera,

Based upon the information provided in your submittal received 10-04-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

LWP via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

**Project Title:** Holly Shopping Center - Wax the City - Suite C **Building Permit #:** BP-2017-88506 **Hydrology File #:** \_\_\_\_\_

**DRB#:** 16DRB-70330 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** Lot 2-A, Del Norte Plaza Subdivision

**City Address:** 6400 Holly Ave NE, Albuquerque, NM 87113

**Applicant:** Holly Partner's LLC **Contact:** Jayesh Patel

**Address:** 904 Copperhead Ct NE, Albuquerque, NM 87113

**Phone#:** 505-275-9667 **Fax#:** \_\_\_\_\_ **E-mail:** jayesh@tnjgroup.com

**Other Contact:** RBA Architecture Planning Design **Contact:** Darby Miera

**Address:** 1104 Park Ave SW

**Phone#:** 505-242-1859 **Fax#:** \_\_\_\_\_ **E-mail:** darby@rba81.com

Check all that Apply:

**DEPARTMENT:**

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) \_\_\_\_\_

☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 10/04/2017 **By:** Darby Miera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



October 4, 2017

Re: Holly Shopping Center  
6400 Holly Ave, NE, Alb. NM  
Wax the City, T.I. in Bldg. 1, Suite C – BP-2017-88506  
Engineer's/Architect's stamp dated: 3/3/2017

## TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA # 1240, of The Firm of Rick Bennett Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved DRB Site Development Plan with Architect's stamp dated 03/03/2017.

The record information edited onto the original design document has been obtained by **Rick Bennett Architect**, of the firm. I further certify that I have personally visited the project site on October 2, 2017 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Wax the City located in Building 1, Suite C at Holly Shopping Center, 6400 Holly Ave. NE 87111, Lot 2-A, Del Norte Plaza Subdivision, Bernalillo County, Albuquerque, New Mexico.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Date: 10/04/2017

Sincerely,

Rick Bennett, Architect





# City of Albuquerque

Planning Department

Development & Building Services Division

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☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 10/04/2017 **By:** Darby Miera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



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Date: 10/04/2017

Sincerely,

Rick Bennett, Architect





# HOLLY SHOPPING CENTER

## SITE PLAN FOR BUILDING PERMIT

### INDEX OF DRAWINGS

C-1.0	SITE PLAN, INDEX, COVER
C-2.0	SITE DETAILS
CG-101	GRADING & DRAINAGE PLAN
CG-501	GRADING DETAILS
CU-101	UTILITY PLAN
LS-1	LANDSCAPING PLAN
A-3.0	EXTERIOR ELEVATIONS

### GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMISE IDENTIFICATION - SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE I.D.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

### PARKING REQUIREMENTS:

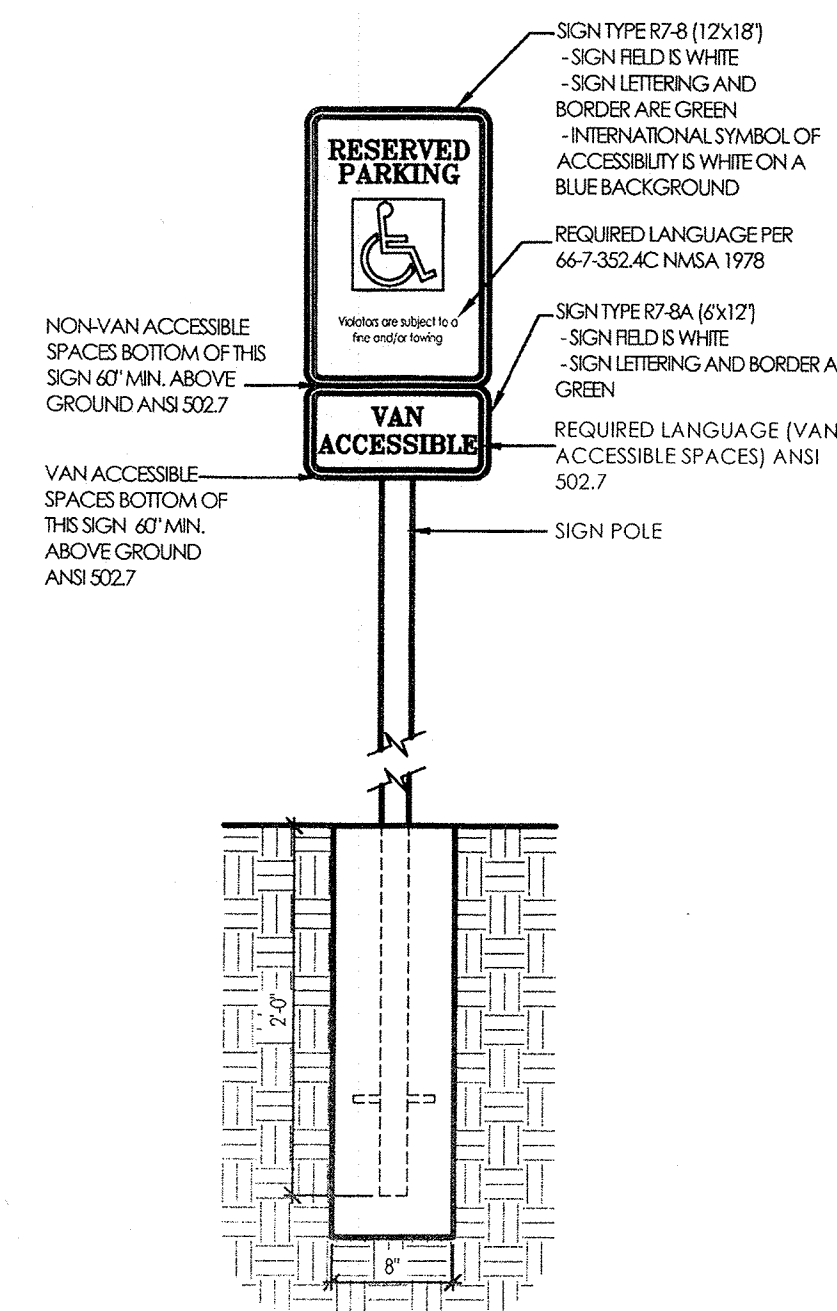
REQUIRED:	TOTAL BUILDING SQ. FT. = 24,100 S.F.
	1 SPACE PER 200 SQ. FT. = 121 SPACES REQUIRED
TOTAL PARKING PROVIDED	= 145 SPACES PROVIDED (INCLUDING 8 HC SPACES)
HANDICAPPED SPACES REQUIRED =	8 HANDICAPPED SPACES
HANDICAPPED SPACES PROVIDED =	INCLUDING (2) VAN ACCESSIBLE 8 TOTAL (2 VAN ACCESSIBLE)

### KEYED NOTES

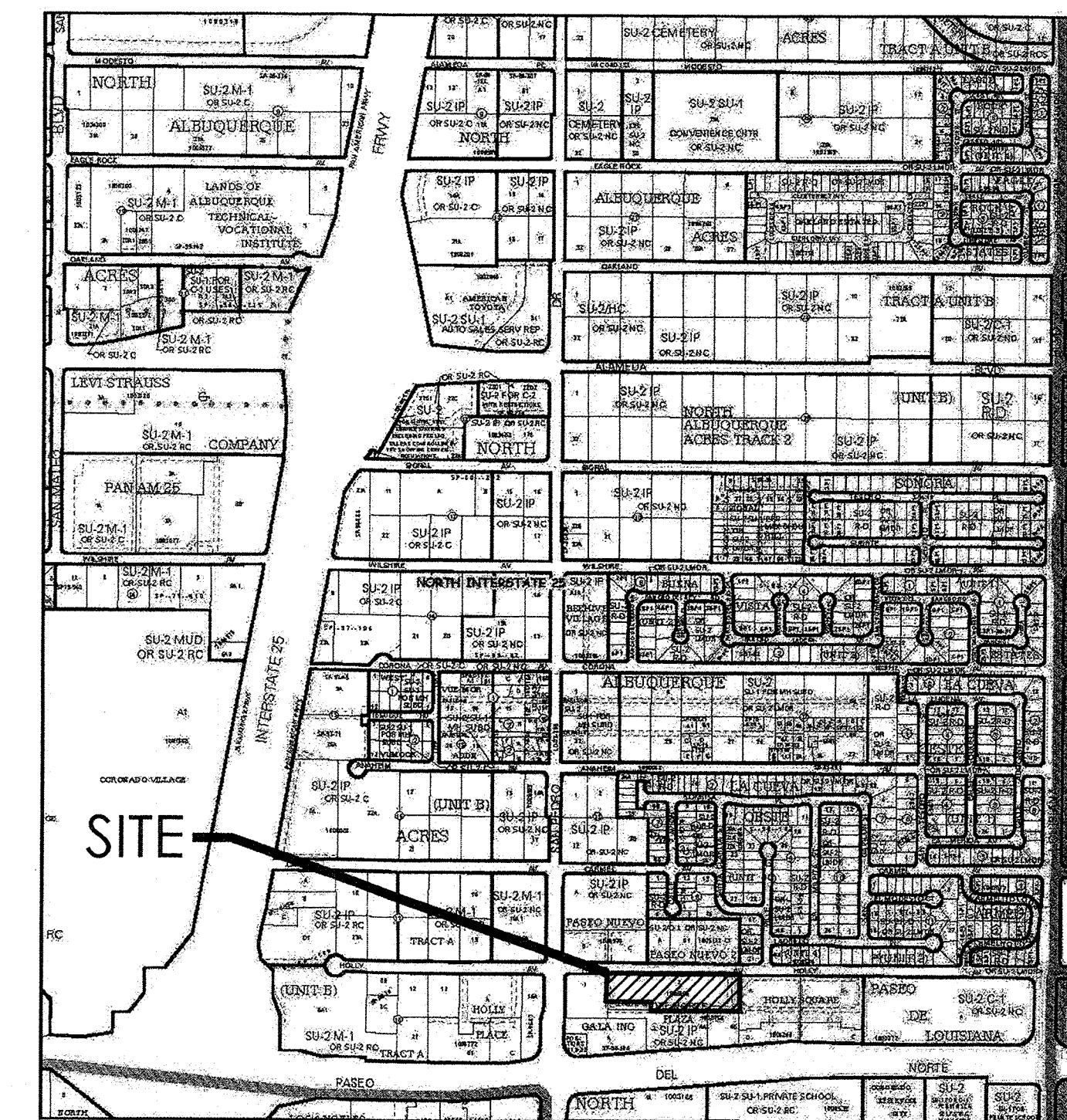
- CONSTRUCT 6" CONCRETE CURB AND GUTTER. SEE DETAIL: 06/C-2
- ASPHALT PAVEMENT ON BASE COURSE. SEE DETAIL: 05/C-2
- 2'-0" RADIUS.
- CONSTRUCT CONCRETE SIDEWALK.
- 4" WIDE WHITE PARKING STRIPE AS SHOWN. PER LOCAL CITY CODE AND STANDARDS.
- 6'-0" WIDE MINIMUM HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
- ASPHALT PAVING & H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS. SEE DETAIL: 5/C-2
- INSTALL CONCRETE WHEEL STOP.
- INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL: 2/C-1
- DUMPSTER INCLOSURE. REF: DETAIL: 08/C-2
- FIRE HYDRANT.
- EXISTING SITE LIGHT WITH CONCRETE BASE. REF: ELECTRICAL FOR DETAILS.
- C.M.U. RETAINING WALL. SEE CIVIL FOR DETAIL.
- CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING SIGHT LIGHTING TO BE RELOCATED TO THIS LOCATION.
- 6'x7' TRANSFORMER CONCRETE PAD, BUILD PER PNM DRAWING.

### DESIGN CRITERIA

BUILDING CONSTRUCTION TYPE: 2-B NON-COMBUSTIBLE  
MAXIMUM BUILDING SIZE: 9,000 SQ. FT.  
FIRE SEPARATION: 2-HOUR SEPARATION WALLS BETWEEN SPACES  
MAXIMUM BUILDING HT: 24'-0" (NOT TO EXCEED 30'-0")



2 H.C. ACCESSIBLE SIGN DETAIL  
C-1 1" = 25'-0"



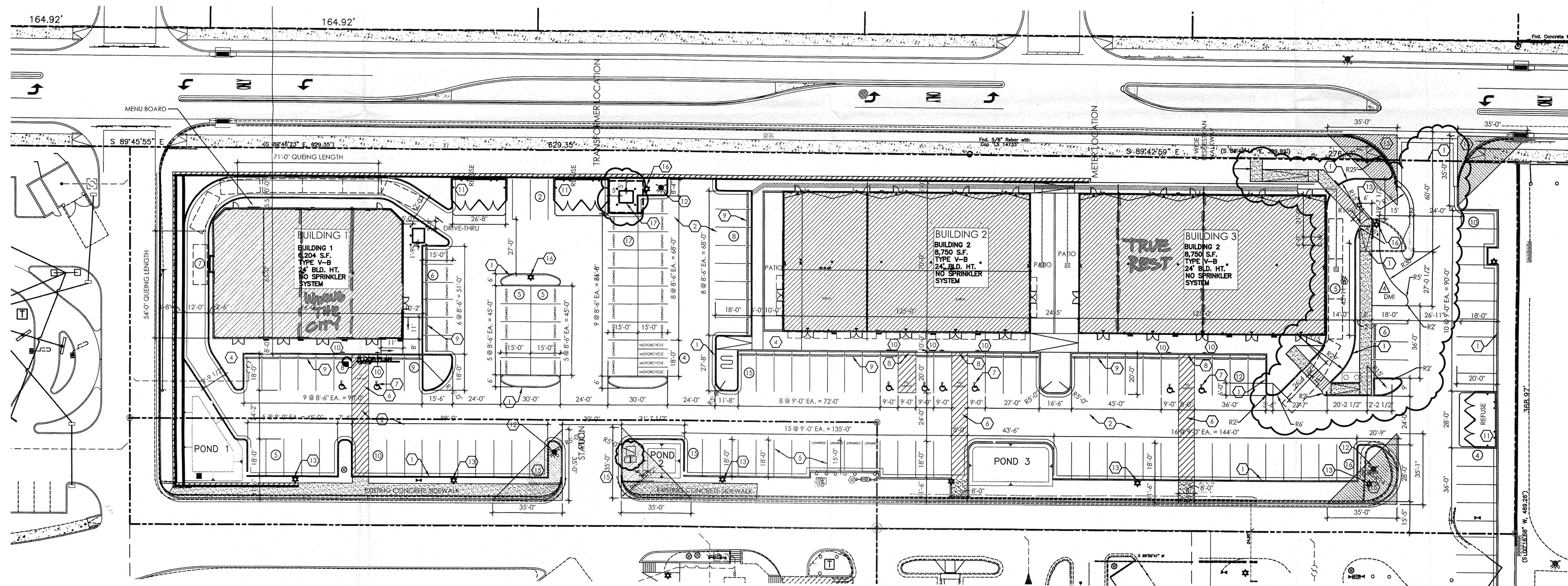
VICINITY MAP - C-18-Z  
N.T.S.

PROJECT NUMBER: 1006868  
APPLICATION NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.  
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.

### DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Rogers</i>	4/12/17
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Thurley</i>	05-22-17
ABQ WUA	DATE
<i>Coandora</i>	4/12/17
PARKS AND RECREATION DEPARTMENT	DATE
<i>Kenee</i>	4/12/17
CITE ENGINEER	DATE
<i>M</i>	5-22-17
*ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>M</i>	5-22-17
SOLID WASTE MANAGEMENT	DATE
<i>Chavez</i>	5-22-17
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



1 OVERALL SITE PLAN  
C-1 1" = 25'-0"

25' 12.5' 0 50' 100'  
BAR SCALE (IN FEET)

HOLLY SHOPPING CENTER  
SITE PLAN  
8136 HOLLY AVE. NW, Albuquerque, NM 87106  
PROJECT # 1547

REVISION DATE	03-04-2016 08-25-2016 03-07-2017
SITE OF NEW MEXICO	
RICHARD P. BONNET	
No. 1240	
REGISTERED ARCHITECT	
RBA	
ARCHITECTURE	
PLANNING	
ENGINEERING	
DATE	05-09-2016
SHEET NUMBER	C-1

WAXING THE CITY



# HOLLY SHOPPING CENTER

## SITE PLAN FOR BUILDING PERMIT

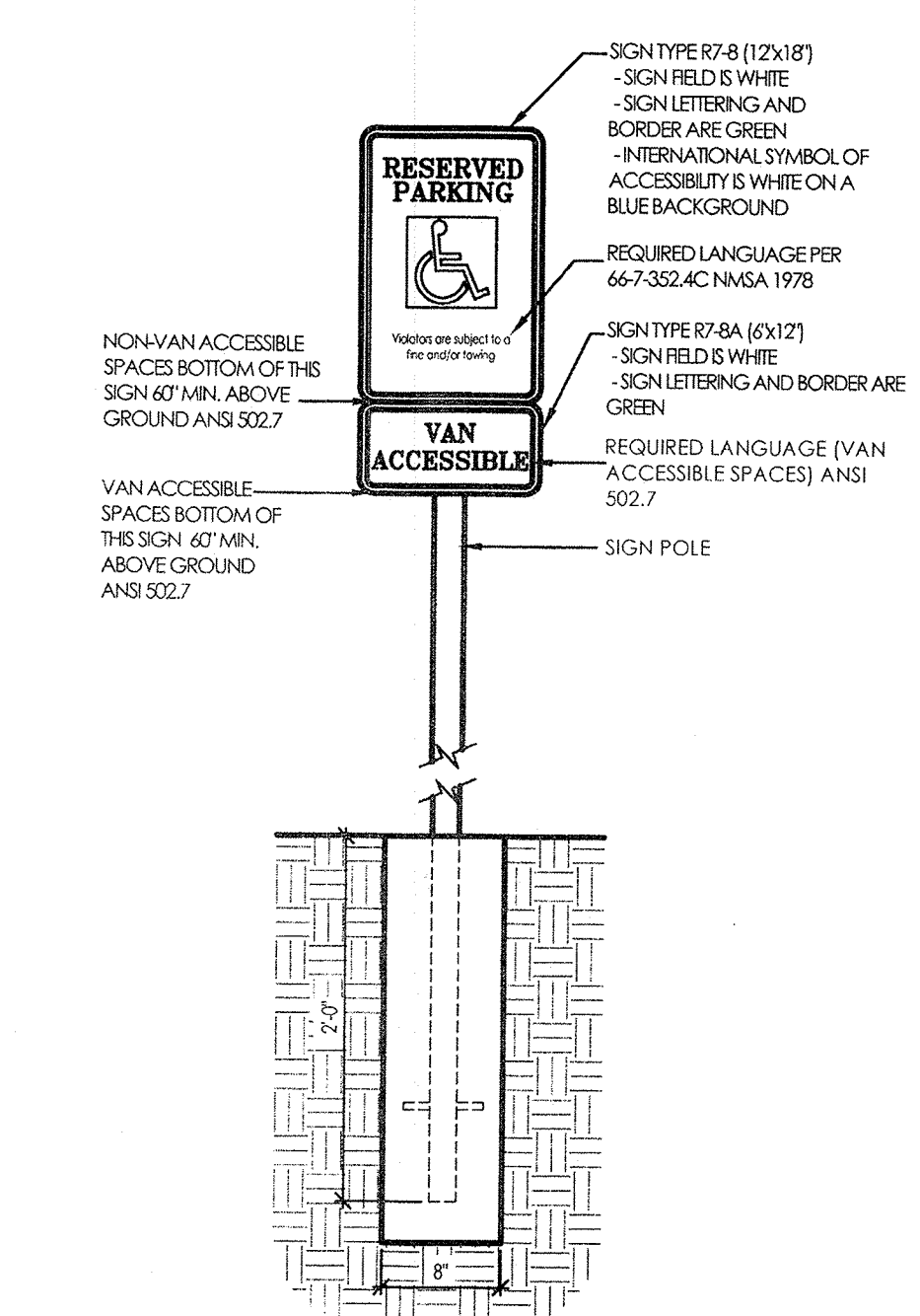
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GENERAL NOTES	
A.	PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
B.	PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
C.	PREMISE IDENTIFICATION - SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE I.D.
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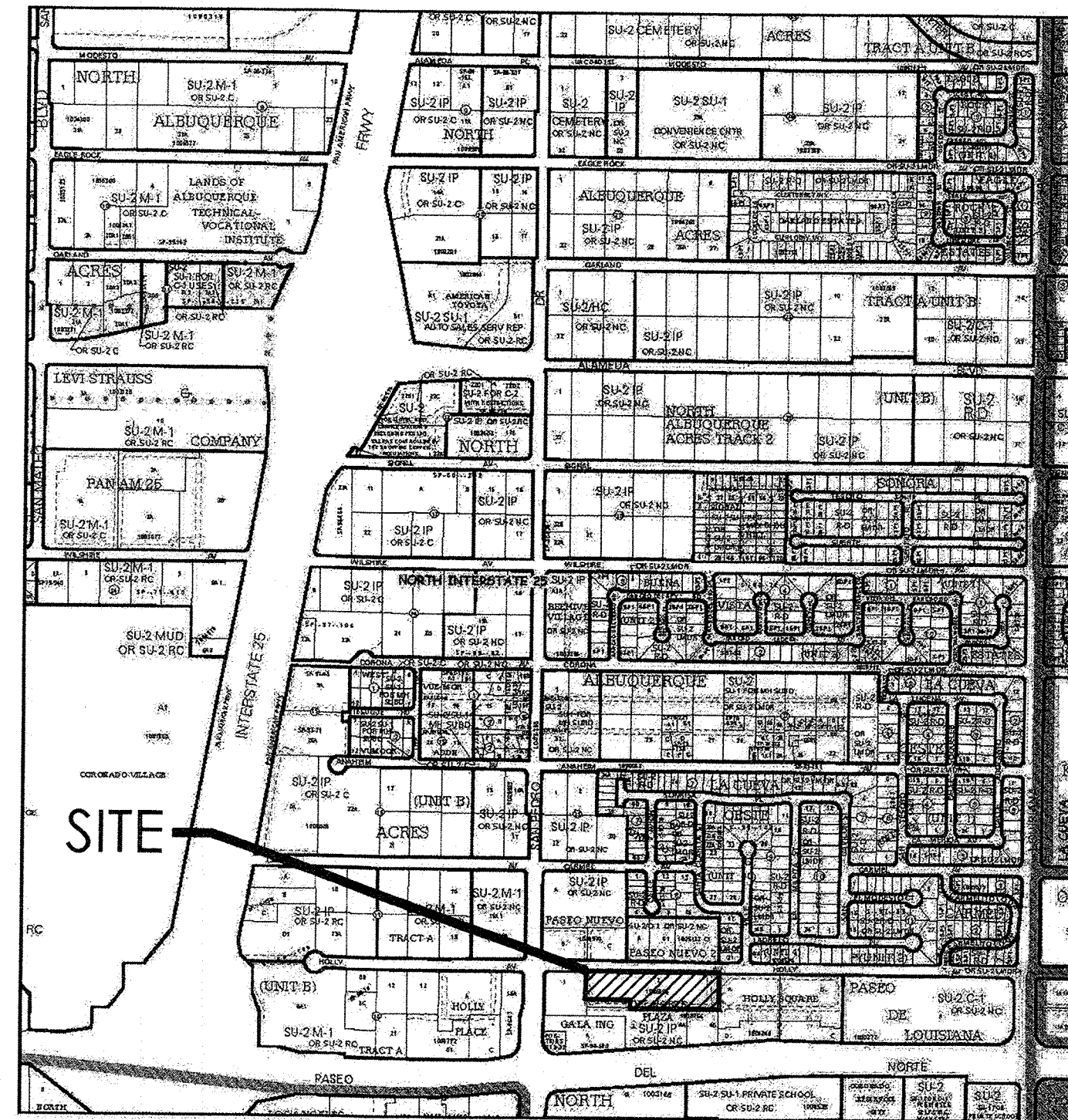
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HANDICAPPED SPACES PROVIDED =	

KEYED NOTES	
1.	CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 04/C-2
2.	ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
3.	2'-0" RADIUS
4.	CONSTRUCT CONCRETE SIDEWALK
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9.	INSTALL CONCRETE WHEEL STOP.
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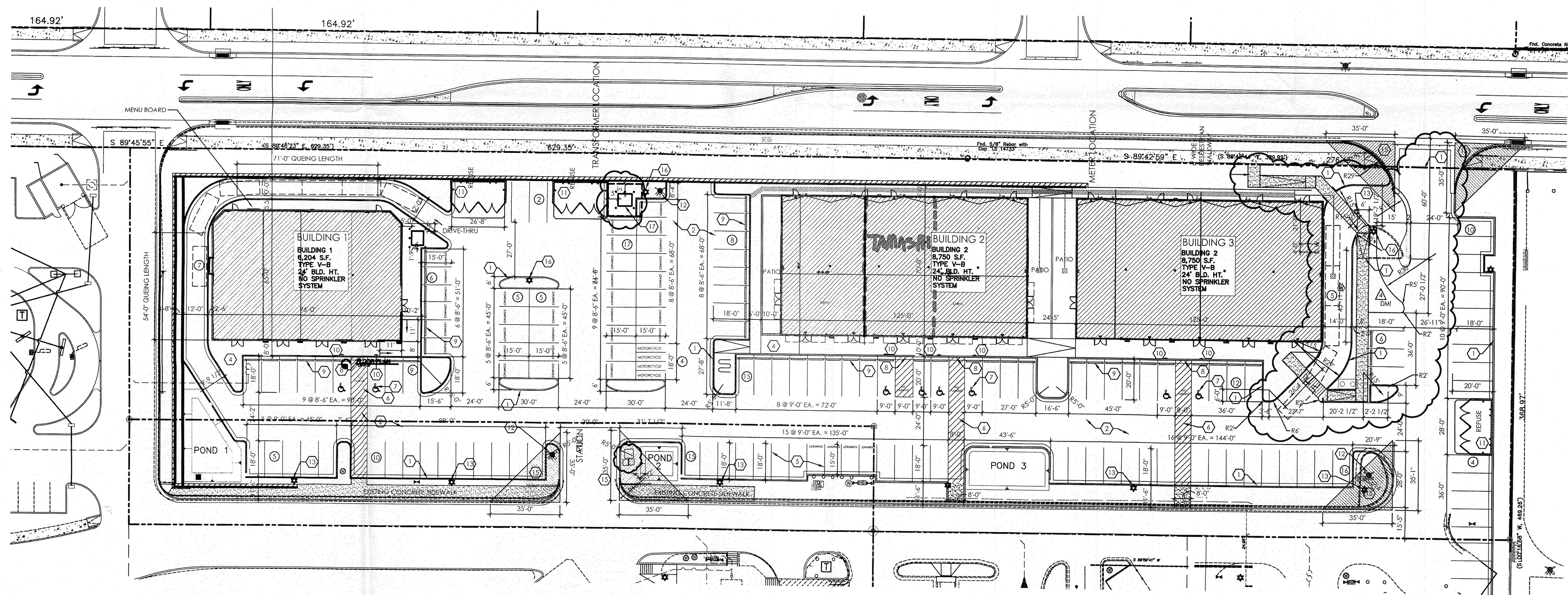
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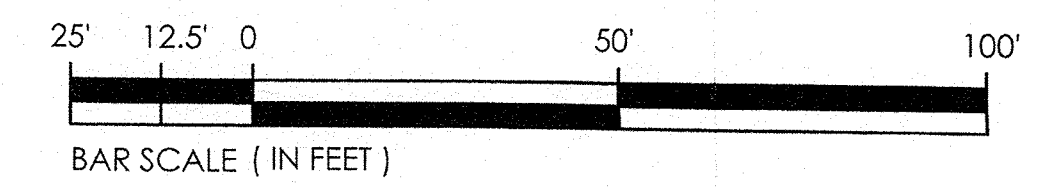
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ABCWUA	DATE
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RBA	
ARCHITECTURE	
DESIGN	
1501 PINE AVE. SW	
ALBUQUERQUE, NM 87102	
PHONE: 505.263.1100	
WWW.RBADESIGN.COM	
DATE	05-09-2016
SHEET NUMBER	C-1

TAMASHI