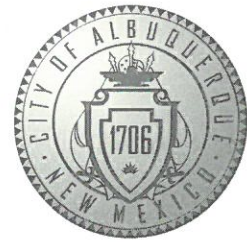


CITY OF ALBUQUERQUE



July 9, 2018

Richard Bennett, R.A.
RBA Architecture Planning Design
1104 Park Ave SW
Albuquerque, NM 87102

Re: Holly Shopping Center-Tropical Smoothie, 6400 Holly Ave NE, 87113
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 5-22-17 (C18D042D)
Certification dated 07-06-18

Dear Bennett,

Based upon the information provided in your submittal received 7-06-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

HOLLY SHOPPING CENTER

SITE PLAN FOR BUILDING PERMIT

INDEX OF DRAWINGS	
C-1.0	SITE PLAN, INDEX, COVER
C-2.0	SITE DETAILS
CG-101	GRADING & DRAINAGE PLAN
CG-501	GRADING DETAILS
CU-101	UTILITY PLAN
LS-1	LANDSCAPING PLAN
A-3.0	EXTERIOR ELEVATIONS

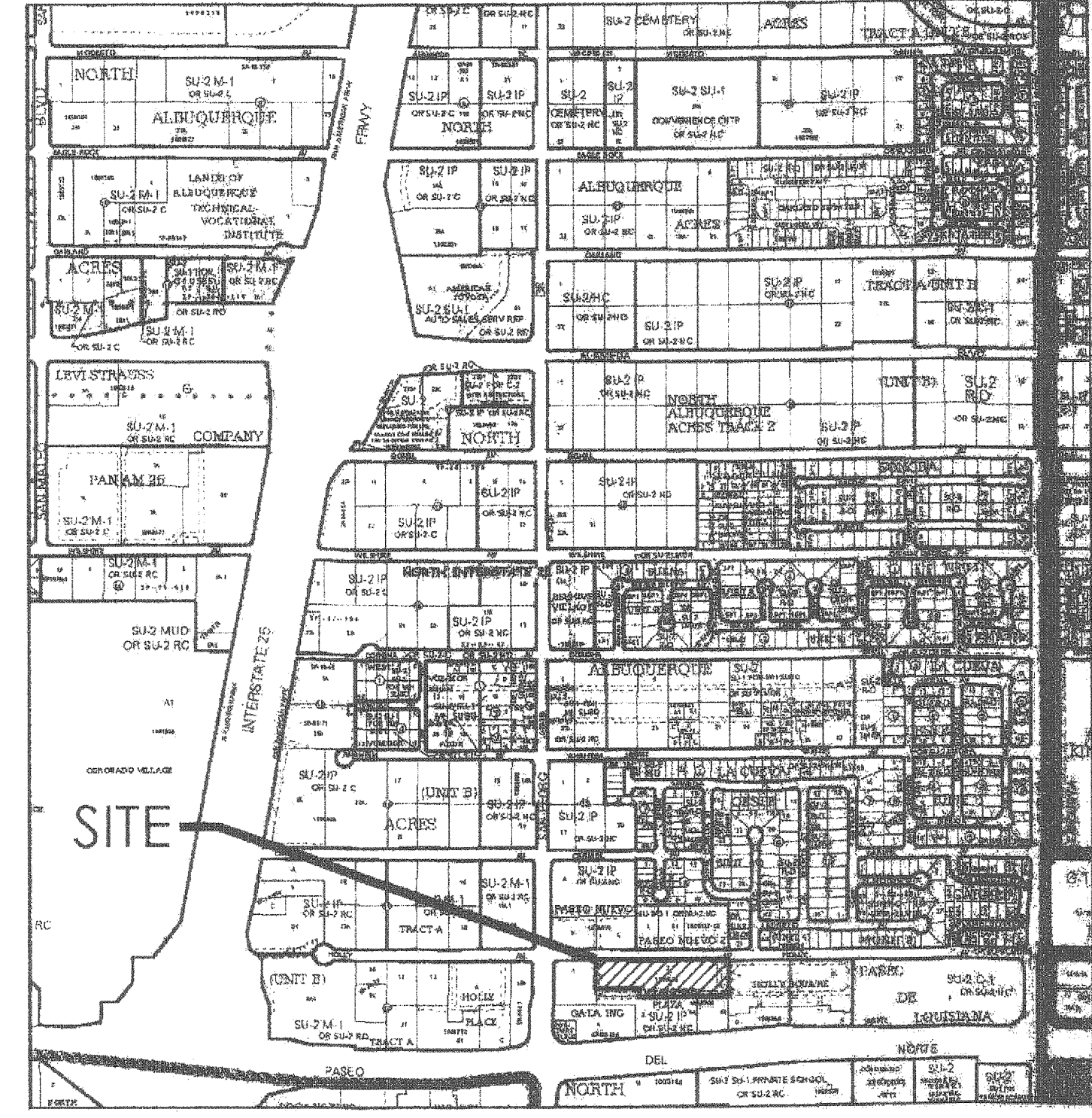
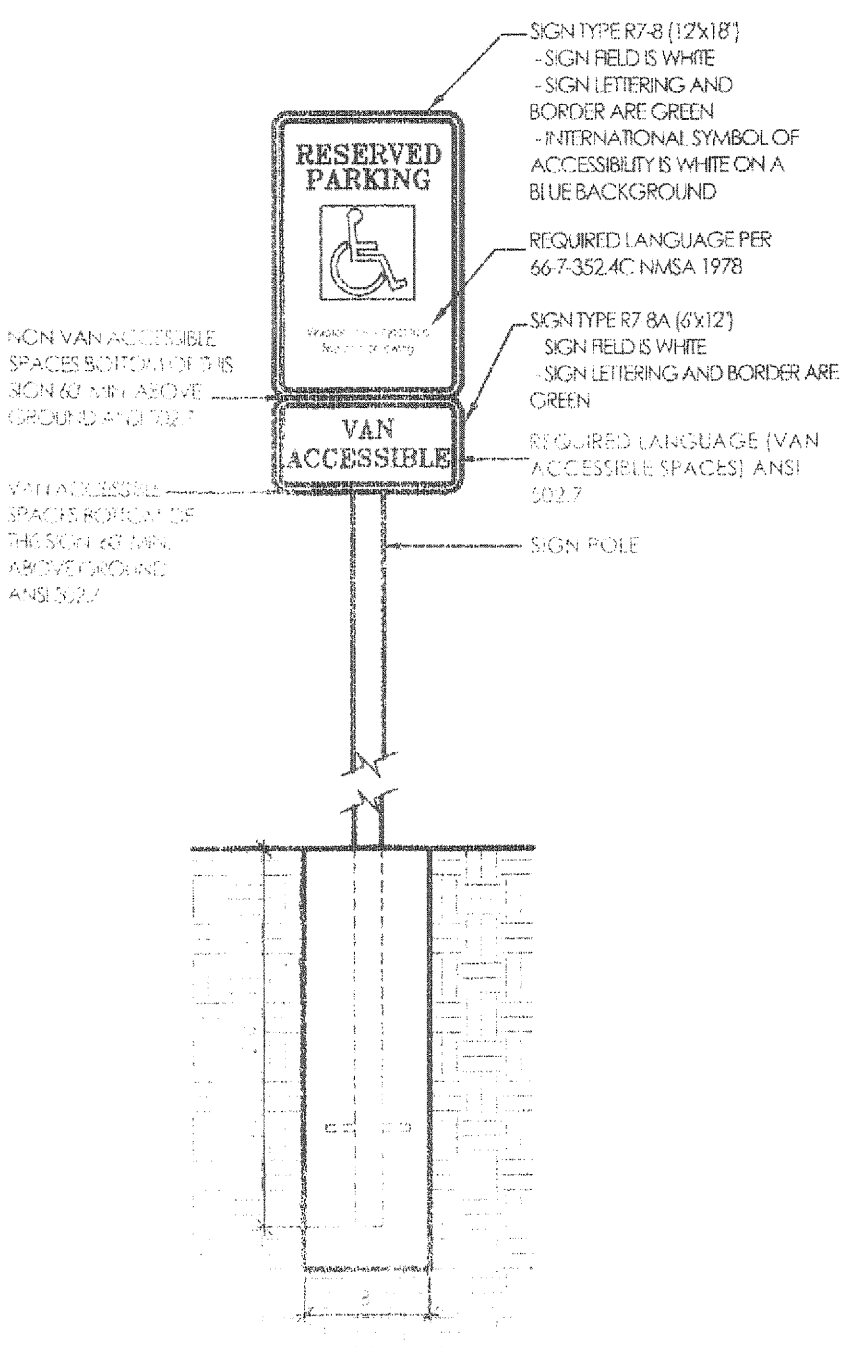
GENERAL NOTES	
A.	PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
B.	CONCRETE ABUTS THE BUILDING.
C.	PREMISE IDENTIFICATION SHALL BE MINIMUM 10" INCHES HIGH AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH BUILDING TO HAVE INDIVIDUAL PREMISE I.D.
D.	G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10 BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

PARKING REQUIREMENTS:	
REQUIRED PARKING	32 PARKING SPACES
BUILDING ONE:	66 PARKING SPACES
BUILDING TWO:	46 PARKING SPACES
BUILDING THREE:	144 PARKING SPACES
TOTAL PARKING REQUIRED:	144 PARKING SPACES
TOTAL PARKING PROVIDED:	146 SPACES PROVIDED (INCLUDING 8 HC SPACES)
HANDICAPPED SPACES REQUIRED =	8 HANDICAPPED SPACES
HANDICAPPED SPACES PROVIDED =	INCLUDING (2) VAN ACCESSIBLE
MOTORCYCLE SPACES REQUIRED =	8 TOTAL (2 VAN ACCESSIBLE)
MOTORCYCLE SPACES PROVIDED =	4 TOTAL
	4 TOTAL

- ### KEYED NOTES
- CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 06/C-2
 - ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
 - 2'-0" RADIUS
 - CONSTRUCT CONCRETE SIDEWALK
 - 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS
 - 6'-0" WIDE MINIMUM HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS
 - INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE
 - ASPHALT PAVING & H.C. ACCESSIBLE AISLE TO BE FLUSH WITH CONCRETE SIDEWALK AT ALL LOCATIONS, SEE DETAIL 5/C-2
 - INSTALL CONCRETE WHEEL STOP
 - INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 2/C-1
 - DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
 - FIRE HYDRANT
 - EXISTING SITE LIGHT WITH CONCRETE BASE, REF: ELECTRICAL FOR DETAILS
 - C.M.U. RETAINING WALL, SEE CIVIL FOR DETAIL
 - CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
 - EXISTING SIGHT LIGHTING TO BE RELOCATED TO THIS LOCATION
 - 6'x7' TRANSFORMER CONCRETE PAD, BUILD PER PNM DRAWING

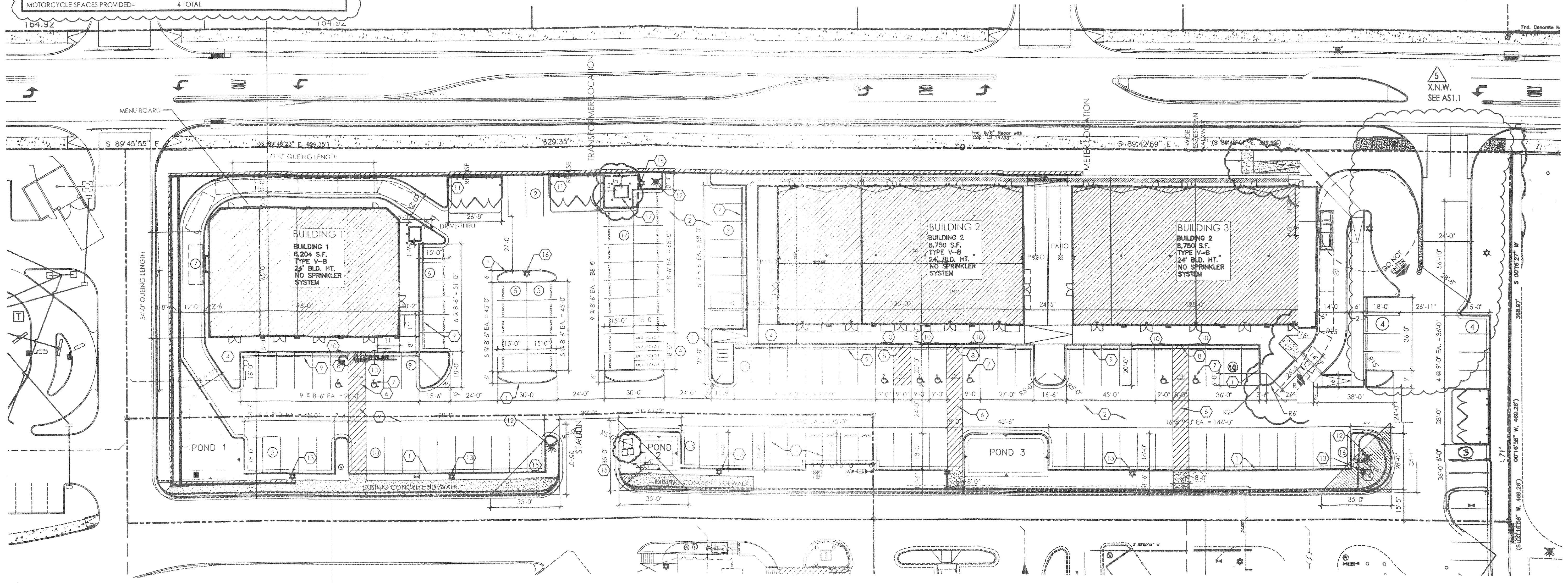
DESIGN CRITERIA	
BUILDING CONSTRUCTION TYPE:	2-B NON-COMBUSTIBLE
MAXIMUM BUILDING SIZE:	9,000 SQ. FT.
FIRE SEPARATION:	2-HOUR SEPARATION WALLS BETWEEN SPACES
MAXIMUM BUILDING HT:	24'-0" (NOT TO EXCEED 30'-0")

H.C. ACCESSIBLE SIGN DETAIL



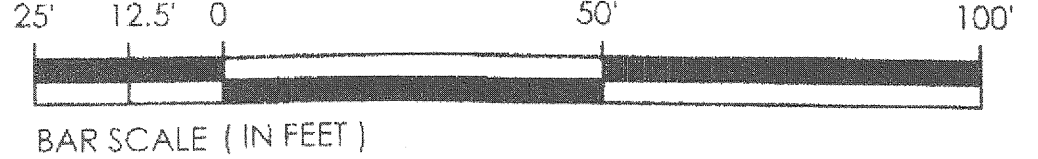
PROJECT NUMBER:	1006868
APPLICATION NUMBER:	
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OF FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
<i>Rogael M. Mail</i>	4/12/17
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Thaila Cade</i>	05-20-17
ABQWUA	DATE
<i>Chandora</i>	4/12/17
PARKS AND RECREATION DEPARTMENT	DATE
<i>Kenee Brissett</i>	4/12/17
CITE ENGINEER	DATE
<i>M</i>	5-22-17
*ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>M</i>	5-22-17
SOLID WASTE MANAGEMENT	DATE
<i>M</i>	5-22-17
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

DRB ADMINISTRATIVE SITE PLAN AMENDMENT	
PROJECT NO.	1006868
APPLICATION NO.	17-01-10596
DATE	10-25-2017
PLANNING DIRECTOR	DATE



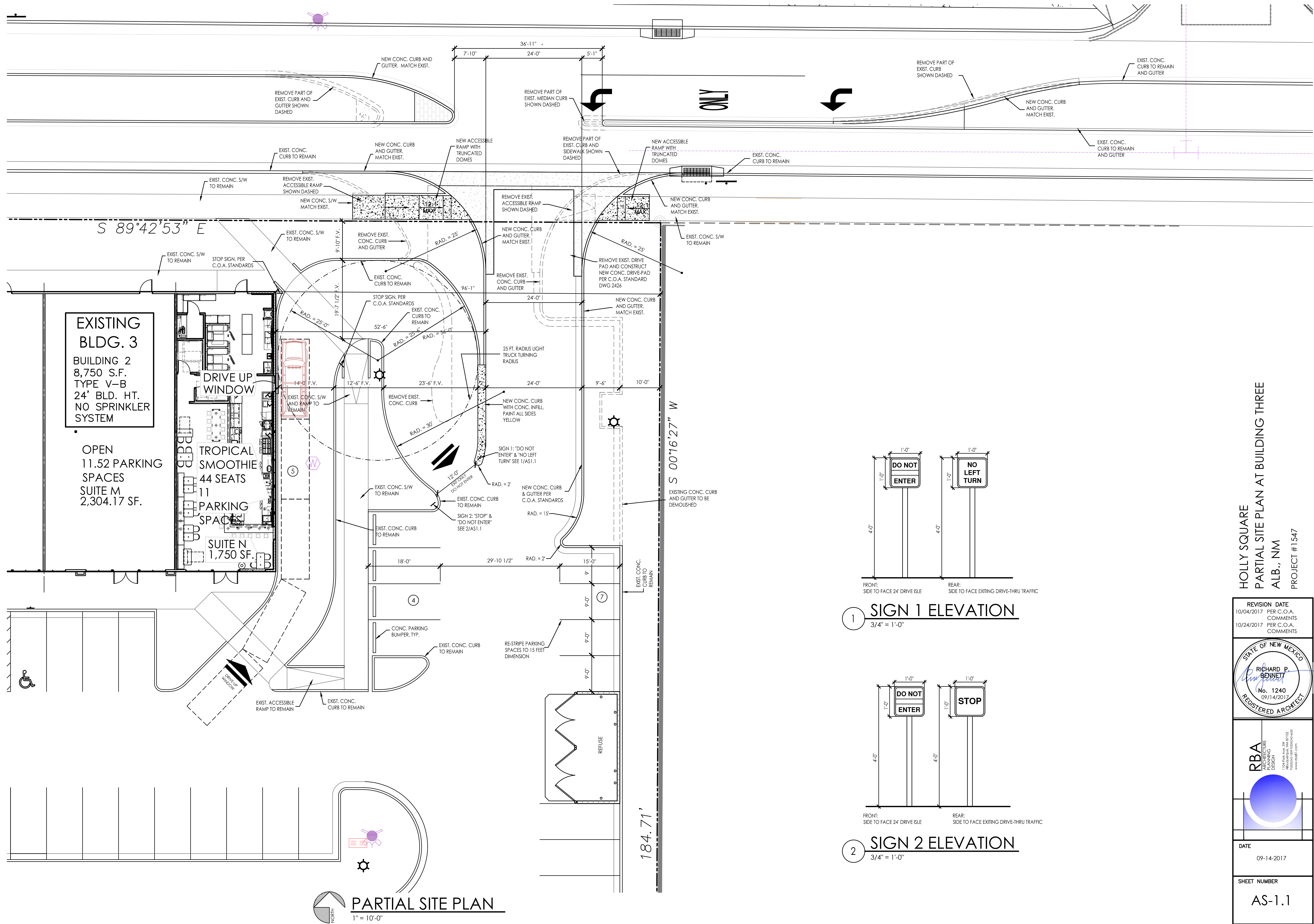
OVERALL SITE PLAN

C-1 1" = 25'-0"



HOLLY SHOPPING CENTER
SITE PLAN
8136 HOLLY AVE. NW, Albuquerque, NM 87106
PROJECT # 1547

REVISION DATE	03-04-2016
	08-25-2016
	03-07-2017
	10-25-2017
STATE OF NEW MEXICO	
RICHARD P. BENNETT	
No. 1240	
03/03/17	
REGISTERED ARCHITECT	
RBA	
ARCHITECTURE	
CONSULTING	
DESIGN	
1000 UNIVERSITY AVE. SW	
ALBUQUERQUE, NM 87102	
PHONE: (505) 243-1000	
FAX: (505) 243-1001	
WWW.RBA-ARCHITECTS.COM	
DATE	05-09-2016
SHEET NUMBER	C-1



HOLLY SQUARE
PARTIAL SITE PLAN AT BUILDING THREE
ALB., NM
PROJECT #1547

REVISION DATE 10/04/2017 PER C.O.A. COMMENTS 10/24/2017 PER C.O.A. COMMENTS
STATE OF NEW MEXICO RICHARD P. BENNETT No. 1240 09/14/2017 REGISTERED ARCHITECT
RBA RICHARD BENNETT ARCHITECTURE PLANNING DESIGN 1101 First Ave. SW, 8th Fl. Albuquerque, NM 87102 505.243.4400 www.rba1.com
DATE 09-14-2017
SHEET NUMBER AS-1.1



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Holly Shopping Center - Tropical Smoothie **Building Permit #:** 2017-24267 **Hydrology File #:** _____

DRB#: 16DRB-70330 **EPC#:** _____ **Work Order#:** _____

Legal Description: Lot 2-A, Del Norte Plaza Subdivision

City Address: 6400 Holly Ave NE, Albuquerque, NM 87113

Applicant: Holly Partner's LLC **Contact:** Jayesh Patel

Address: 904 Copperhead Ct NE, Albuquerque, NM 87113

Phone#: 505-275-9667 **Fax#:** _____ **E-mail:** jayesh@tnjgroup.com

Other Contact: RBA Architecture Planning Design **Contact:** Darby Miera

Address: 1104 Park Ave SW

Phone#: 505-242-1859 **Fax#:** _____ **E-mail:** darby@rba81.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 7/06/2018 **By:** Darby Miera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



July 6, 2018

Re: Holly Shopping Center
6400 Holly Ave, NE, Alb. NM
Tropical Smoothie T.I. Bldg. 3, Suite N – BP-2017-24267
Engineer's/Architect's stamp dated: 3/3/2017

TRAFFIC CERTIFICATION

I, Rick Bennett, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved DRB Site Development Plan dated 10/31/2017 and with Architect's stamp dated 03/03/2017.

The record information was edited on the original design document has been obtained by Rick Bennett | Architect, of the firm. I further certify that I have personally visited the project site on July 06, 2018 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Tropical Smoothie located in Building 3, Suite N at Holly Shopping Center, 6400 Holly Ave. NE 87111, Lot 2-A, Del Norte Plaza Subdivision, Bernalillo County in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in black ink, appearing to read "Rick Bennett", written over a horizontal line.

Rick Bennett, Architect

