

# CITY OF ALBUQUERQUE



March 5, 2016

Dennis Lorenz, P.E.  
Lorenz Design & Consulting  
2501 Rio Grande Blvd. NW Suite A  
Albuquerque, New Mexico 87107

RE: **Car Crafters**  
**5600 Holly Ave NE**  
**Request Permanent C.O. – Accepted**  
**Engineers Stamp Date 1/29/15 (C18D044)**  
**Certification Dated: 3/30/16**

Dear Mr. Lorenz,

Based on the Certification received 3/31/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions please contact me at 924-3986 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.,  
Principal Engineer, Planning Department  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)

TE/AC

C: e-mail, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

March 30, 2016

Abiel Carrillo, PE  
Principal Engineer - Hydrology Section  
Development and Building Services  
City of Albuquerque  
Plaza Del Sol  
Albuquerque, New Mexico 87102

**SUBJECT: CAR CRAFTERS (C23/D044)**  
***Engineer's Certification of Grading & Drainage for Permanent Certificate of Occupancy***

Dear Abiel:

Submitted herewith in support of Permanent Certificate of Occupancy approval is one copy of the Engineer's Certification of the Grading and Drainage Plan for the subject site. The certification has been amended to add as-constructed information describing the drainage swale along the east property line. The following improvements were made:

1. The concrete pad and drainage line have been removed at the northeast building corner.
2. A railroad tie retaining wall, approximately 2 courses high, with a 6' chain link fence was constructed along the east property line.
3. The roof over the compressor pad is equipped with a gutter and downspout draining roof water to the yard swale.
4. A swale was constructed behind the building draining north to the compressor pad. Swale flows drain through the compressor pad and are directed west to the paved parking lot by the refuse enclosure wall. This situation is not ideal, but excess runoff is expected to be minor since the swale only drains flow from the swale itself and the compressor roof.
5. The swale north of the refuse enclosure drains to a rip rap erosion control pad before existing to the paved parking lot.

All on-site drainage flows are now managed by the constructed improvements. Off-site flows between the property line and the drainage channel to the east will drain north to Holly Avenue until the property develops. Upon development these flows will drain to a proposed retention pond.

We respectfully request Permanent Certificate of Occupancy approval. If you have any questions regarding this request, please call me.

Sincerely,

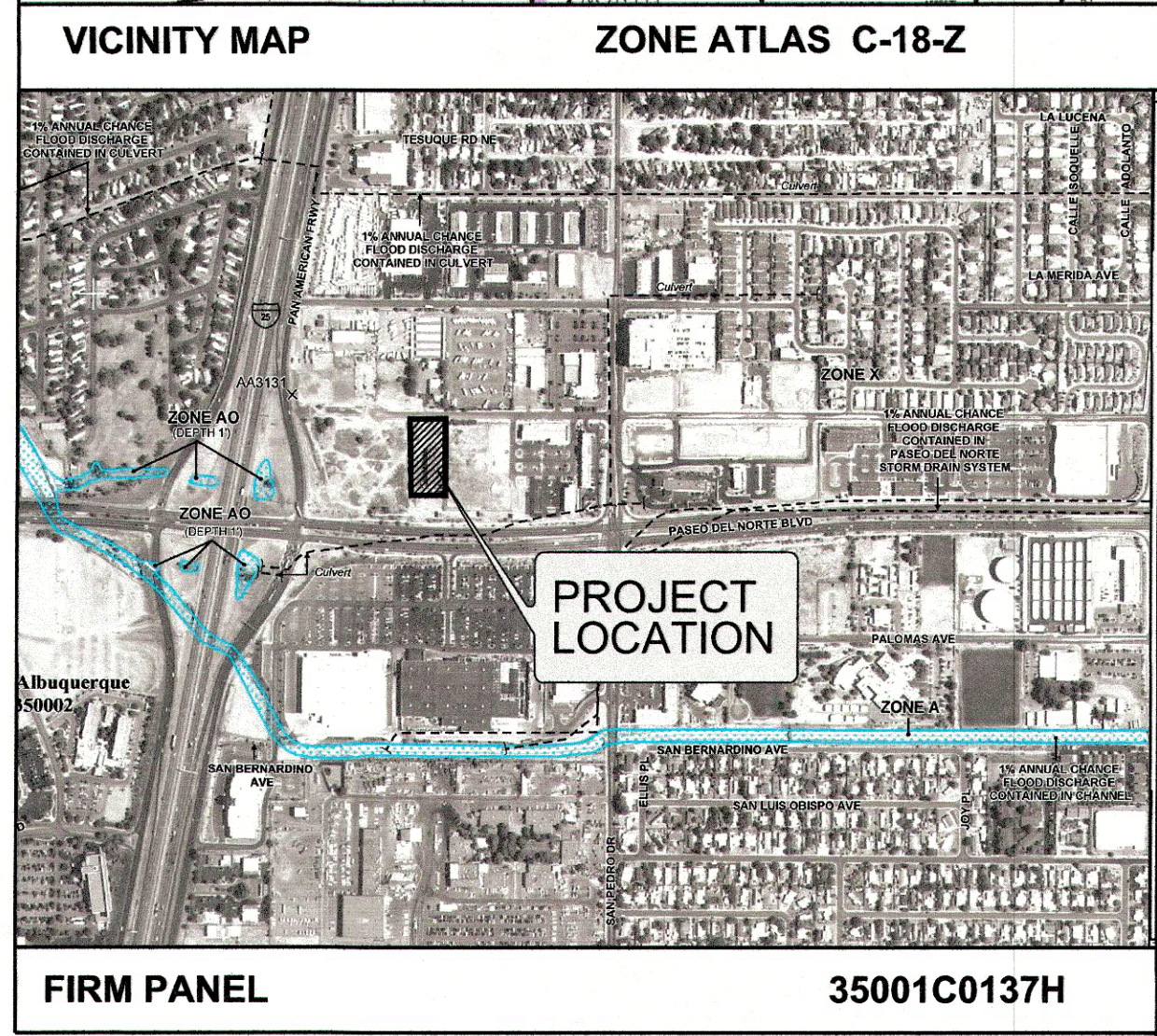
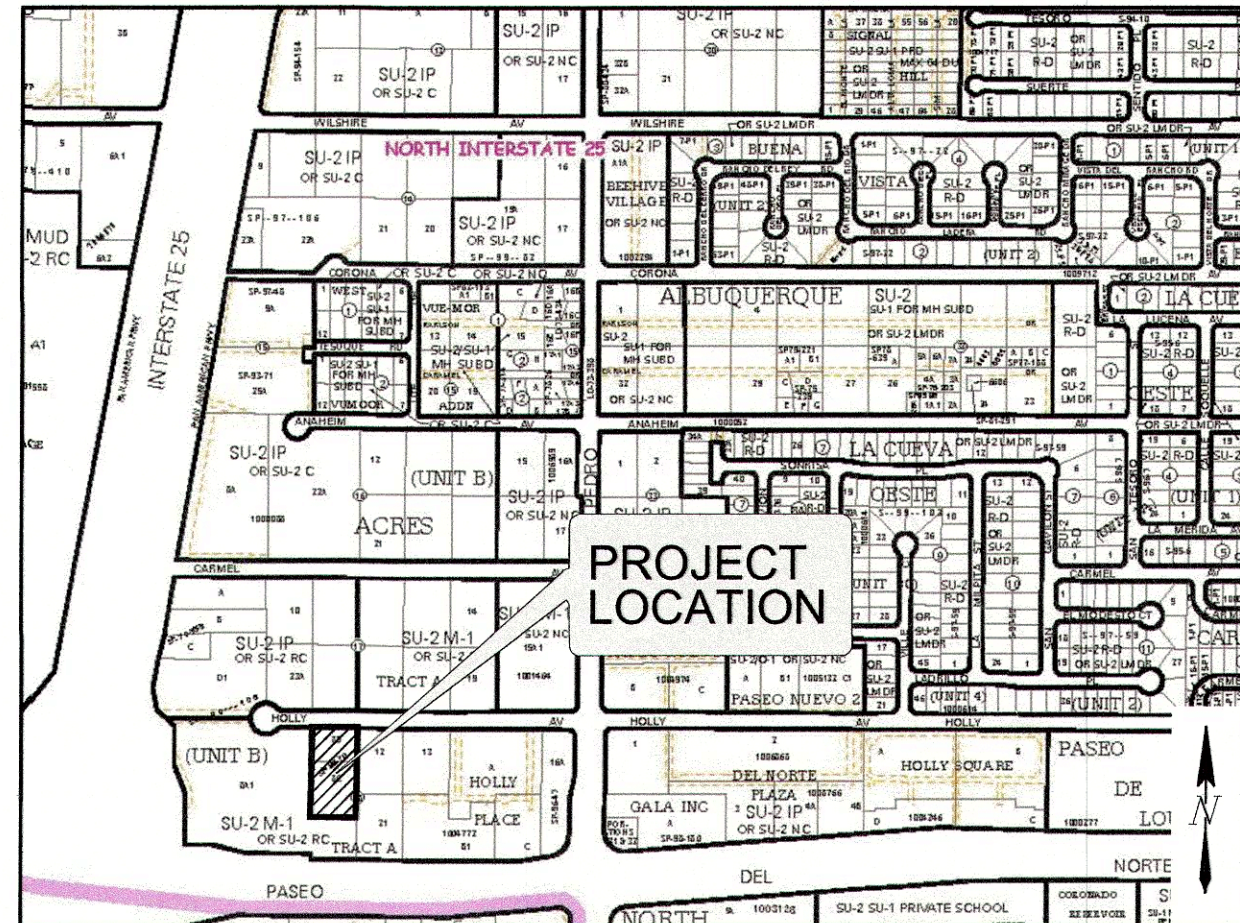
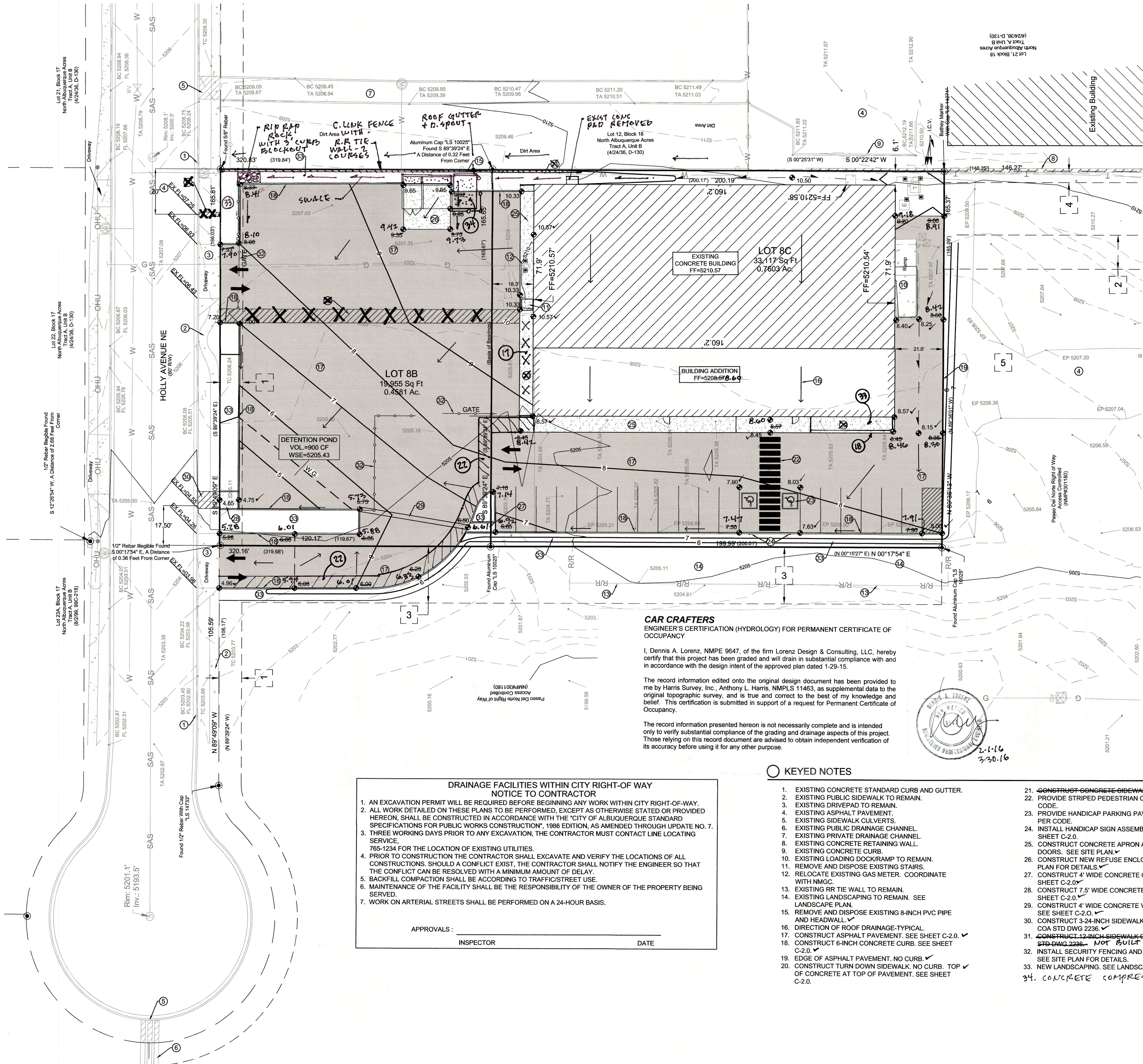
**LORENZ DESIGN & CONSULTING, LLC**



Dennis A. Lorenz, PE

PI14-032\AC03302016





LEGEND		
ITEM	EXISTING	PROPOSED
CURB AND GUTTER 6" CONCRETE CURB		
CURB ELEVATIONS SPOT ELEV. - VERIFIED		
RIGHT OF WAY EASEMENT		
CENTERLINE RETAINING WALL		
TOP OF ASPHALT ELEV.		
FLOWLINE ELEV		
NEW PAVING		
DRAINAGE SWALE DIRECTION OF FLOW		
STORM INLET STORM DRAIN PIPE		

- EASEMENT NOTES**
- EXISTING 10' P.U.E. (4/5/99, 99C-71)
  - EXISTING 15' PRIVATE WATER & SANITARY SEWER EASEMENT (04/5/99, 99C-71)
  - EXISTING 25' PRIVATE ACCESS & PRIVATE DRAINAGE EASEMENT (04/5/99, 99C-71)
  - EXISTING 5' P.U.E. (8/2/99, 99C-218)
  - OFF-SITE GRADING PER NMDOT AGREEMENT.

**PROJECT DATA**  
SURVEY:  
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY  
CARTISIAN SURVEYS, INC., P.O. BOX 44414 RIO RANCHO, NEW  
MEXICO DECEMBER 2014.  
PROPERTY ADDRESS:  
5600 HOLLY AVENUE NE, ALBUQUERQUE, NEW MEXICO  
**LEGAL DESCRIPTION:**  
LOTS 8-B AND 8-C, BLOCK 18, NORTH ALBUQUERQUE ACRE,  
TRACTS A, UNIT B  
**PROJECT BENCHMARK**  
ACS MONUMENT "ZAB-B" HAVING AN ELEVATION OF 5195.090.

**CAR CRAFTERS**  
ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 1-29-15.

The record information edited onto the original design document has been provided to me by Harris Survey, Inc., Anthony L. Harris, NMPLS 11463, as supplemental data to the original topographic survey, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

**KEYED NOTES**

- EXISTING CONCRETE STANDARD CURB AND GUTTER.
- EXISTING PUBLIC SIDEWALK TO REMAIN.
- EXISTING DRIVEPAD TO REMAIN.
- EXISTING ASPHALT PAVEMENT.
- EXISTING SIDEWALK CULVERTS.
- EXISTING PUBLIC DRAINAGE CHANNEL.
- EXISTING PRIVATE DRAINAGE CHANNEL.
- EXISTING CONCRETE RETAINING WALL.
- EXISTING CONCRETE CURB.
- EXISTING LOADING DOCK/RAMP TO REMAIN.
- REMOVE AND DISPOSE EXISTING STAIRS.
- RELOCATE EXISTING GAS METER. COORDINATE WITH NMGC.
- EXISTING RR TIE WALL TO REMAIN.
- EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN.
- REMOVE AND DISPOSE EXISTING 8-INCH PVC PIPE AND HEADWALL.
- DIRECTION OF ROOF DRAINAGE-TYPICAL.
- CONSTRUCT ASPHALT PAVEMENT. SEE SHEET C-2.0.
- CONSTRUCT 6-INCH CONCRETE CURB. SEE SHEET C-2.0.
- EDGE OF ASPHALT PAVEMENT. NO CURB.
- CONSTRUCT TURN DOWN SIDEWALK. NO CURB. TOP OF CONCRETE AT TOP OF PAVEMENT. SEE SHEET C-2.0.
- CONSTRUCT CONCRETE SIDEWALK. SEE SITE PLAN. NOT BUILT.
- PROVIDE STRIPED PEDESTRIAN CROSSING PER CODE.
- PROVIDE HANDICAP PARKING PAVEMENT MARKINGS PER CODE.
- INSTALL HANDICAP SIGN ASSEMBLY PER CODE. SEE SHEET C-2.0.
- CONSTRUCT CONCRETE APRON AT NEW OVERHEAD DOORS. SEE SITE PLAN.
- CONSTRUCT NEW REFUSE ENCLOSURE. SEE SITE PLAN FOR DETAILS.
- CONSTRUCT 4' WIDE CONCRETE CHANNEL. SEE SHEET C-2.0.
- CONSTRUCT 7.5' WIDE CONCRETE CHANNEL. SEE SHEET C-2.0.
- CONSTRUCT 4' WIDE CONCRETE VALLEY GUTTER. SEE SHEET C-2.0.
- CONSTRUCT 3-24-INCH SIDEWALK CULVERTS PER COA STD DWG 2236.
- CONSTRUCT 12-INCH SIDEWALK CULVERT PER COA STD DWG 2236. NOT BUILT PER ENGINEER D.L.
- INSTALL SECURITY FENCING AND ACCESS GATES. SEE SITE PLAN FOR DETAILS.
- NEW LANDSCAPING. SEE LANDSCAPE PLAN.
- CONCRETE COMPRESSOR PAD.

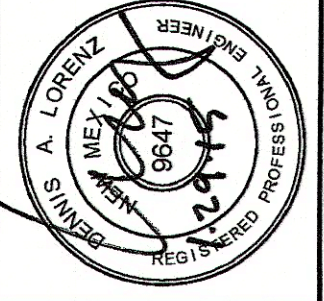
**DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY  
NOTICE TO CONTRACTOR**

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE.
- 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS: \_\_\_\_\_  
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

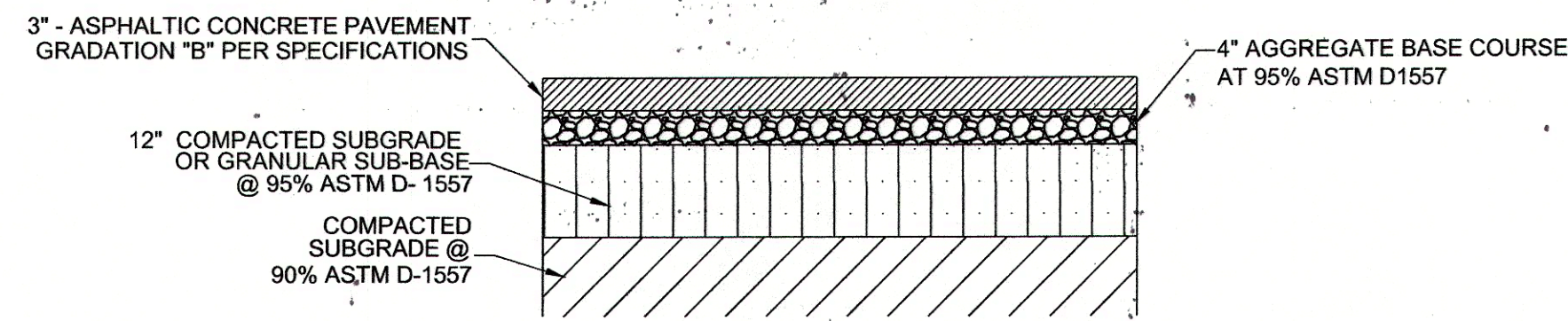
**CAR CRAFTERS  
GRADING AND DRAINAGE PLAN  
ALBUQUERQUE, NM  
PROJECT #14-032**

REVISION DATE  
REVISION PER CITY  
2-1-16

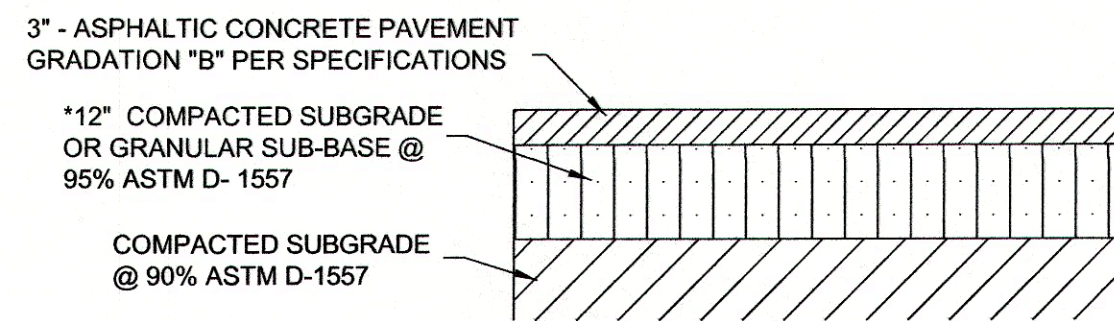


DATE  
01/29/2015  
SHEET NUMBER  
C-1.0

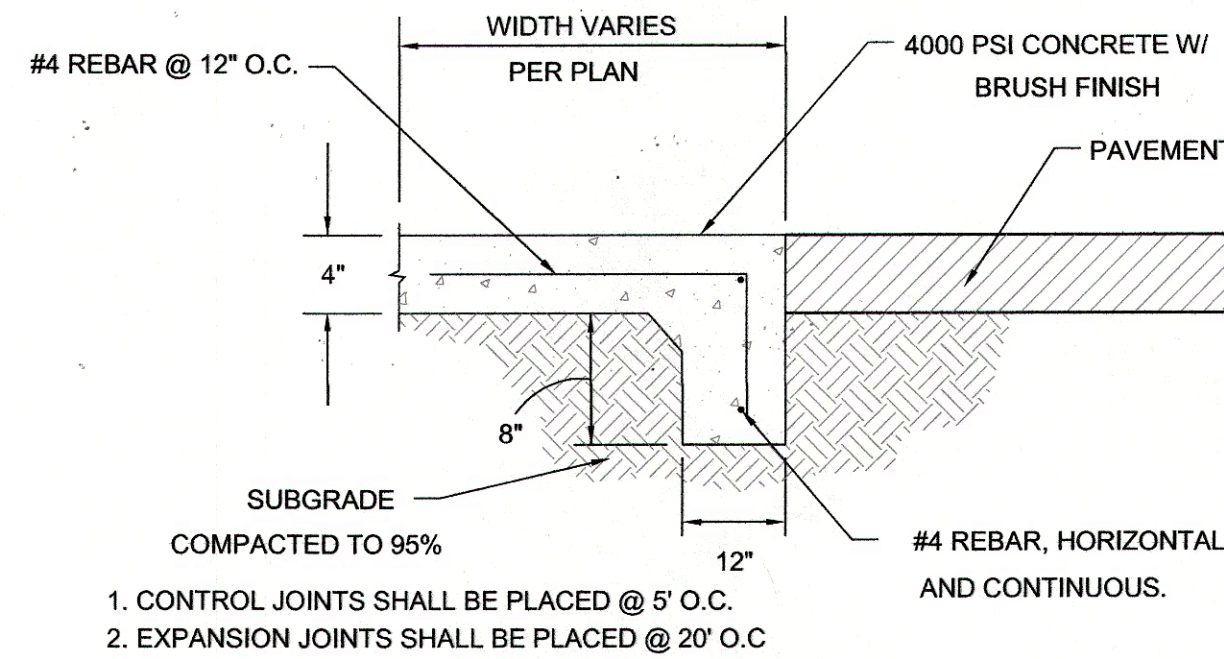




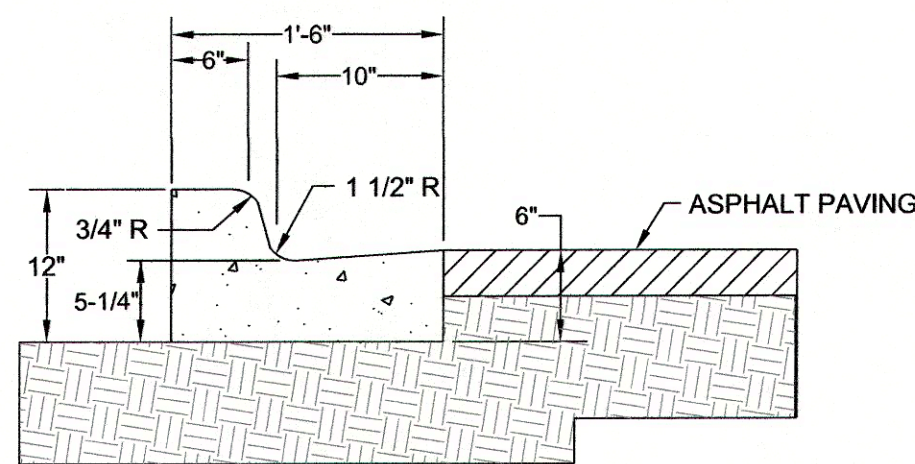
**ASPHALT PAVEMENT SECTION A**  
SERVICE TRUCK DRIVES  
NTS  
C-2.0



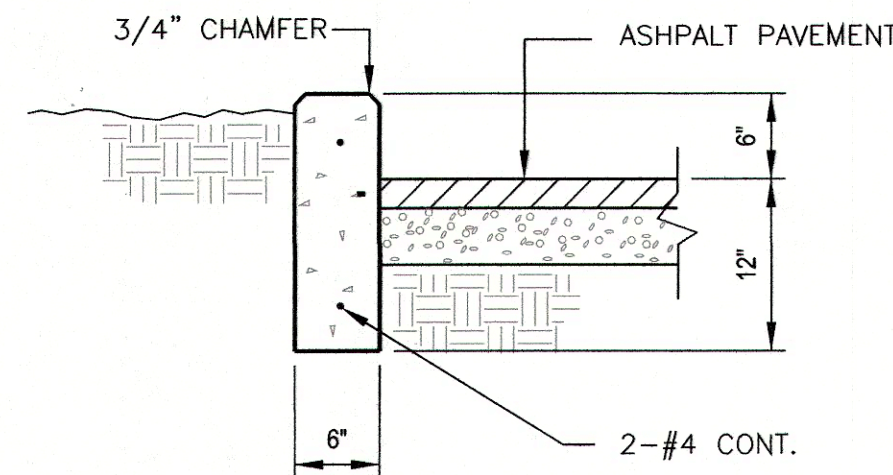
**ASPHALT PAVEMENT SECTION B**  
AUTO/PICKUP TRUCK  
NTS  
C-2.0



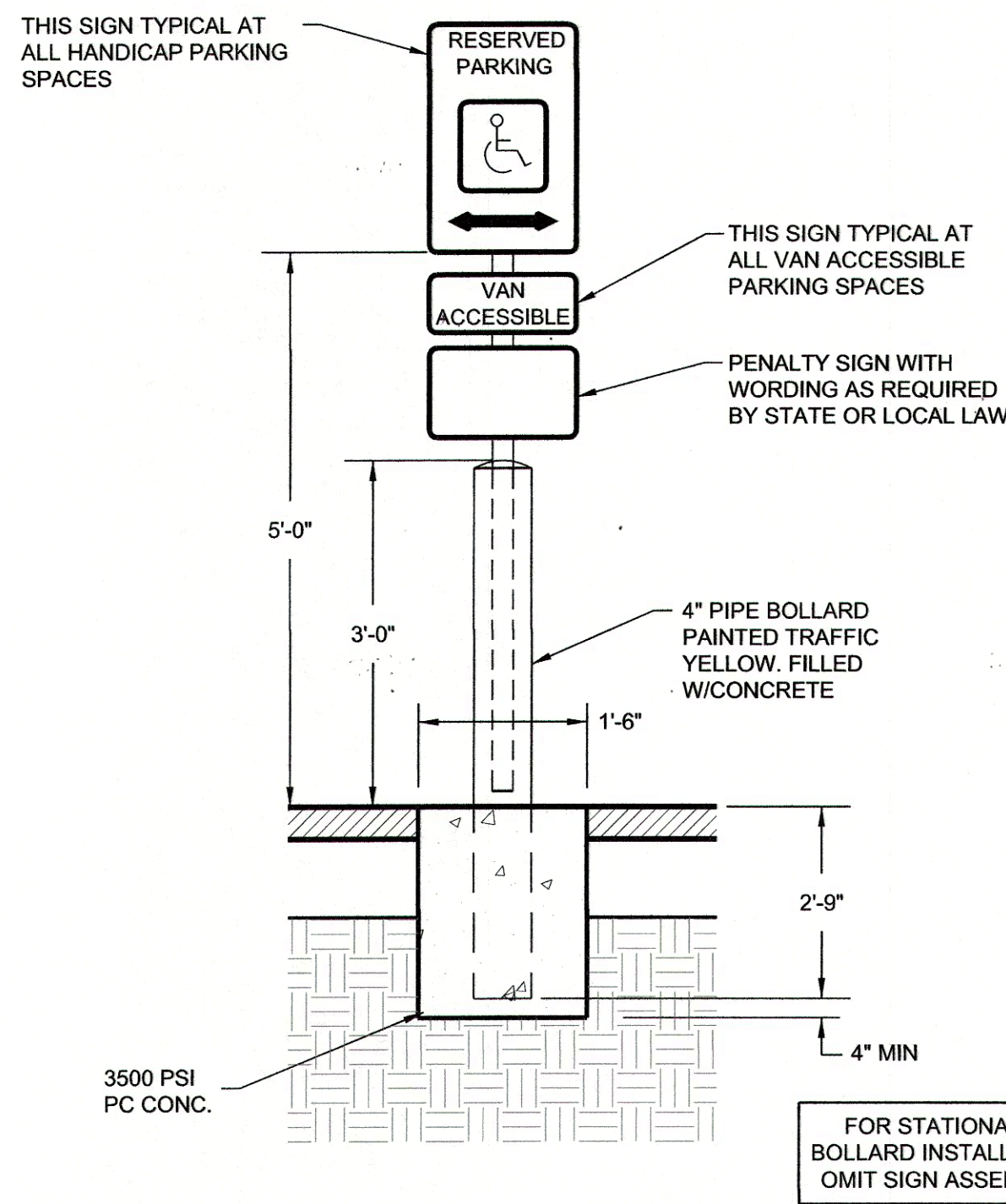
**TURN DOWN SIDEWALK AT ACCESSIBLE ZONES C**  
NTS  
C-2.0



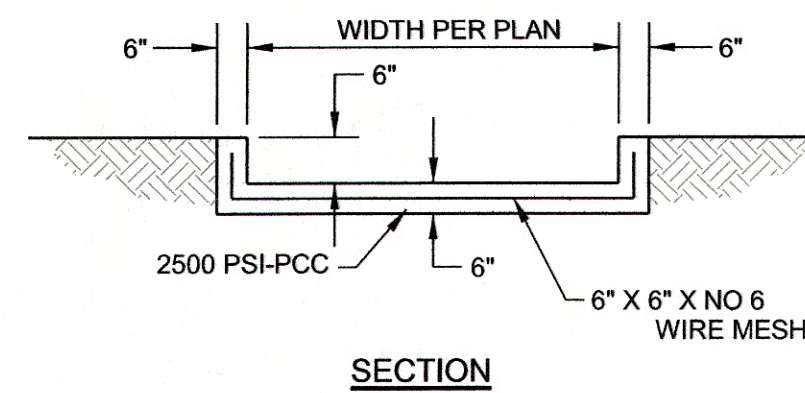
**CONCRETE CURB AND GUTTER D**  
NTS  
C-2.0



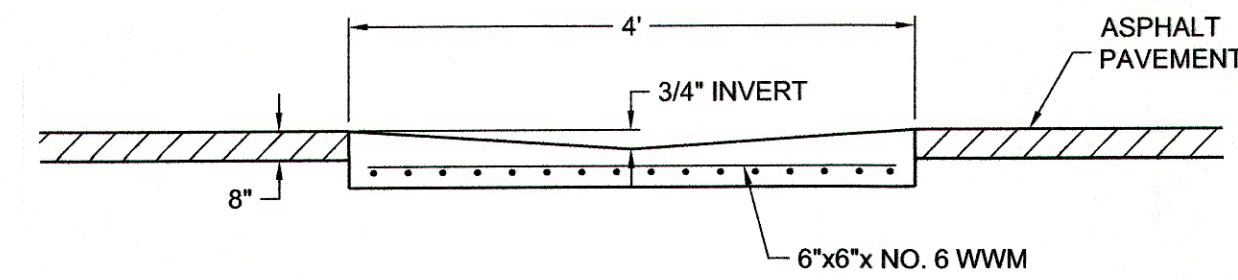
**HEADER CURB DETAIL E**  
NTS  
C-2.0



**HC SIGN ASSEMBLY / BOLLARD DETAIL F**  
NTS  
C-2.0



**CONCRETE DRAINAGE CHANNEL DETAIL G**  
NTS  
C-2.0



**VALLEY GUTTER H**  
NTS  
C-2.0

**CAR CRAFTERS**  
ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

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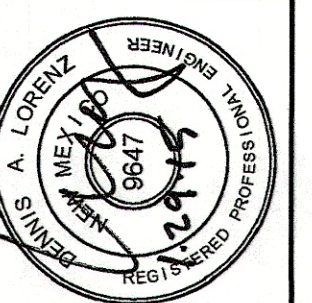
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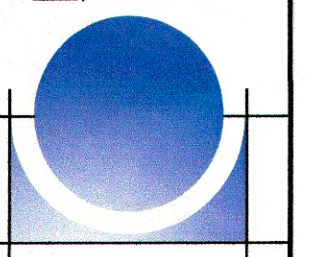
*[Signature]*  
2.1.16  
2.30.16

CAR CRAFTERS  
SITE DETAILS  
ALBUQUERQUE, NM  
PROJECT #14-032

REVISION DATE  
CERT 2.1.16



RBA  
REGISTERED  
PLANNING  
DESIGN  
ARCHITECTURE  
LANDSCAPE  
www.rba.com



DATE  
01/29/2015

SHEET NUMBER  
C-2.0

2801 Rio Grande Blvd NW, Suite A Albuquerque, New Mexico 87104  
Ph: 505-884-8988 Fax: 505-242-6965