

CITY OF ALBUQUERQUE



February 17, 2016

Dennis Lorenz, P.E.
Lorenz Design & Consulting
2501 Rio Grande Blvd. NW Suite A
Albuquerque, New Mexico 87107

**RE: Car Crafters
5600 Holly Ave NE
Request 30-Day Temporary C.O. – Accepted
Engineers Stamp Date 1/29/15 (C18D044)
Certification Dated: 2/1/156**

Dear Mr. Lorenz,

Based on the Certification received 2/9/2016, the site is released for a 30-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- On the east side of the building define swale to ensure that it does not discharge water to the adjacent site.
- Remove portion of stoop on east side of building so that it does not extend underneath the fence on to the adjacent site.
- Starting north of the above mention stoop, water draining north is blocked by the stoop. The swale does not exist from the stoop all the way to the NE corner and turning west at the fence corner. The swale must be defined so that water does not discharge to the adjacent site or the sidewalk north of the site. Overflow must be routed thru a sidewalk culvert.
- Provide new drainage calculations for 3'-7" channel on key note #27. The drawing calls out 4'-0".

If you have any questions please contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.,
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: e-mail, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

Elliott, Stanice

From: Abiel X. Carrillo
Sent: Wednesday, February 17, 2016 4:17 PM
To: Dennis Lorenz; Elliott, Stanice
Subject: RE: 5600 Holly Ave

Mr. Lorenz,

Yes, we can do a 30-day temp CO, can we talk about the needed improvements tomorrow morning over the phone? I have been swamped today so I haven't been able to sit down and go over the proposal.

Thanks,

Abiel Carrillo, P.E.

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102

From: Dennis Lorenz [<mailto:DennisL@lorenznm.com>]
Sent: Wednesday, February 17, 2016 2:54 PM
To: Abiel X. Carrillo; Elliott, Stanice
Subject: RE: 5600 Holly Ave

Abiel:

Is it possible to get a 30 day temporary CO? Hydrology is the only department not to approve. Let me know. Thanks.

Dennis A. Lorenz, PE
Lorenz Design & Consulting LLC
Office 505-888-6088
Mobile 505-220-0869

From: Abiel X. Carrillo [<mailto:acarrillo@cabq.gov>]
Sent: Friday, February 12, 2016 3:45 PM
To: Elliott, Stanice
Cc: Dennis Lorenz
Subject: RE: 5600 Holly Ave

I'll review the proposal as soon as I have a chance.

Thanks,

Abiel Carrillo, P.E.

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102

From: Elliott, Stanice
Sent: Friday, February 12, 2016 3:29 PM
To: Abiel X. Carrillo
Subject: FW: 5600 Holly Ave

FYI

Stanice 'Totten' Elliott
Planning Department
Hydrology Section
City of Albuquerque
505-924-3982
505-924-3864 fax

From: Dennis Lorenz [<mailto:DennisL@lorenznm.com>]
Sent: Friday, February 12, 2016 3:21 PM
To: Elliott, Stanice
Cc: rick@obsidiancontractors.com
Subject: RE: 5600 Holly Ave

Ms Elliott:

Your comments dated 2-11-2016 are addressed as follows:

1. The bigger issue here is the unmanaged runoff that enters our property from the undeveloped property to the east. The property is littered with trash and construction debris, not to mention the large dirt stockpile that becomes airborne when the wind blows. Field conditions and differences in the topographic survey along the property line have made it impossible to construct the swale that we recommended within the landscape area along the east property line. The best we can do is maintain a swale along the fence line then build a curb and gutter section (see attached) to capture as much runoff as possible and drain it to the parking lot. When the adjoining property develops this drainage issue will be permanently remedied, but for now we are doing the best practical thing we can.
2. The existing stoop is not a drainage improvement and will be trimmed if required by Zoning.
3. The existing 8-inch storm drain will be cleaned and the swale re-graded to drain the area south of the stoop.
4. Calculations are provided demonstrating capacity of the channel that was built narrower than recommended.

Please review our proposal to remedy the conditions along the east property line with Mr. Carrillo. To avoid difficulties later we request your approval prior to construction. The owner and his new employees are scheduled to move in on February 22, 2016. Your timely assistance is greatly appreciated. Please call me with any questions. Thank you.

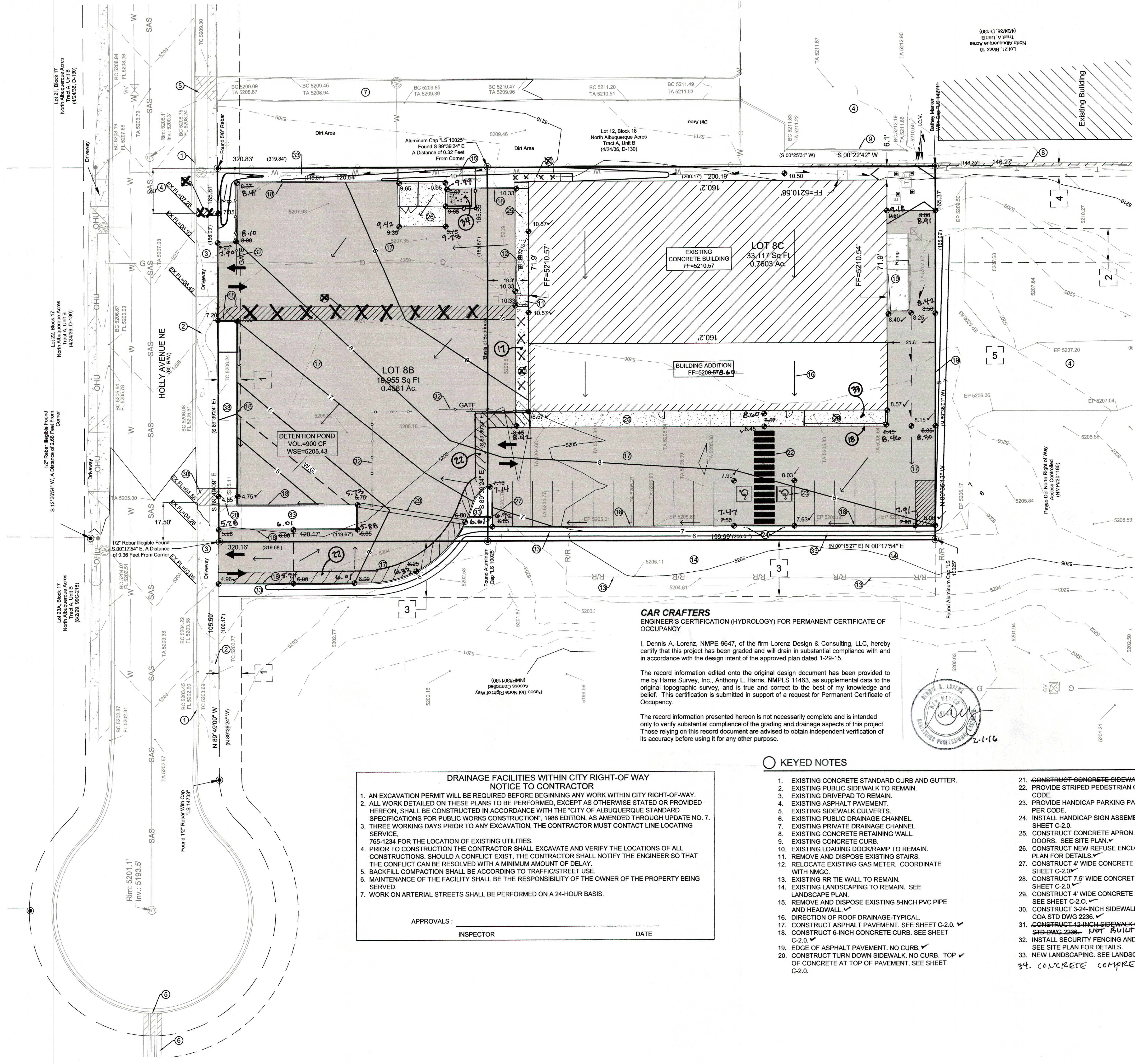
Dennis A. Lorenz, PE
Lorenz Design & Consulting LLC
Office 505-888-6088
Mobile 505-220-0869

From: Elliott, Stanice [<mailto:staniceelliott@cabq.gov>]
Sent: Thursday, February 11, 2016 3:24 PM
To: Dennis Lorenz
Cc: rick@obsidiancontractors.com
Subject: 5600 Holly Ave

Dennis

The Car Crafters submittal for CO PERM cannot be approved. I will send pics in a separate e-mail from site visit today.

Stanice 'Totten' Elliott
Planning Department
Hydrology Section
City of Albuquerque
505-924-3982
505-924-3864 fax



CAR CRAFTERS
ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 1-29-15.

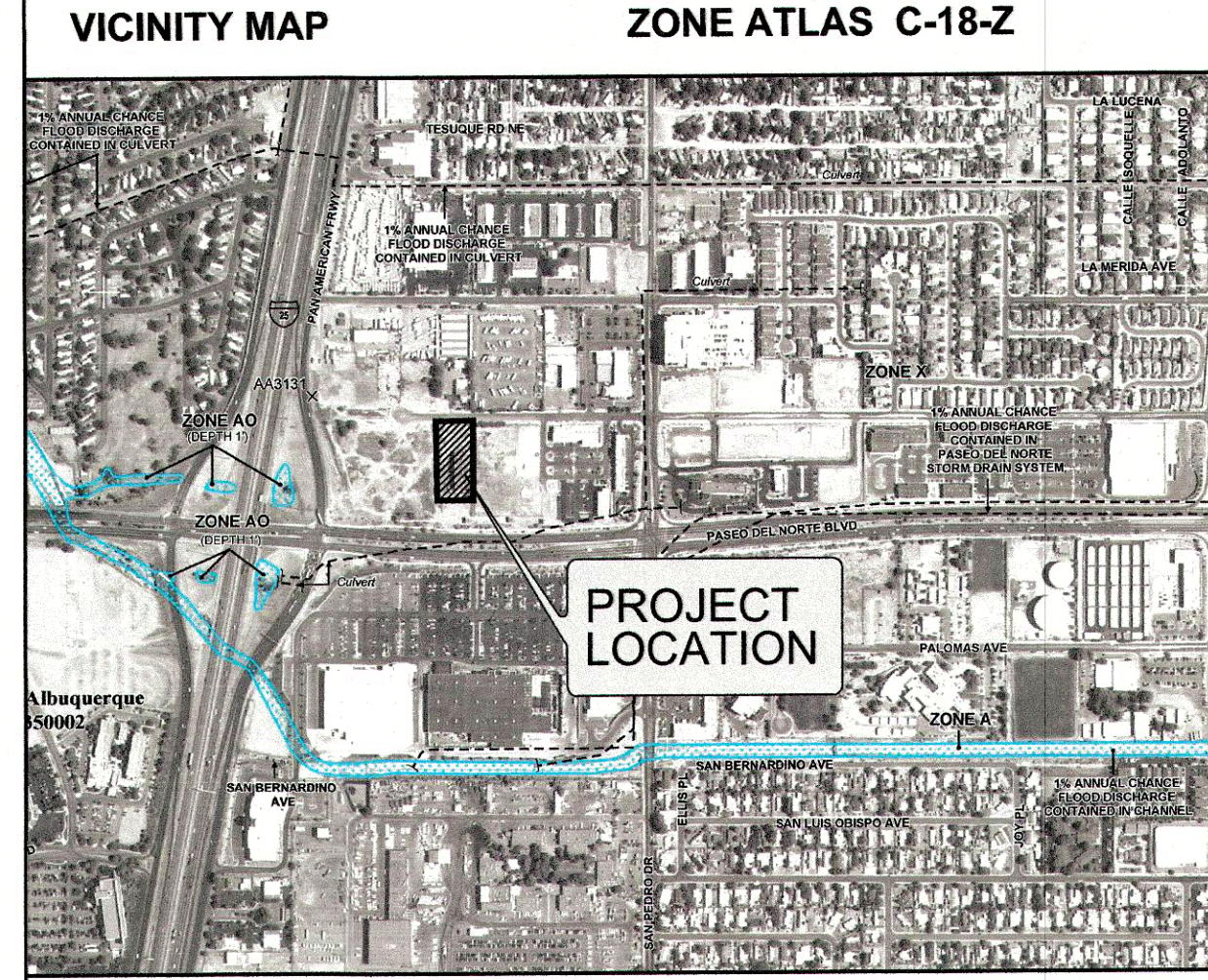
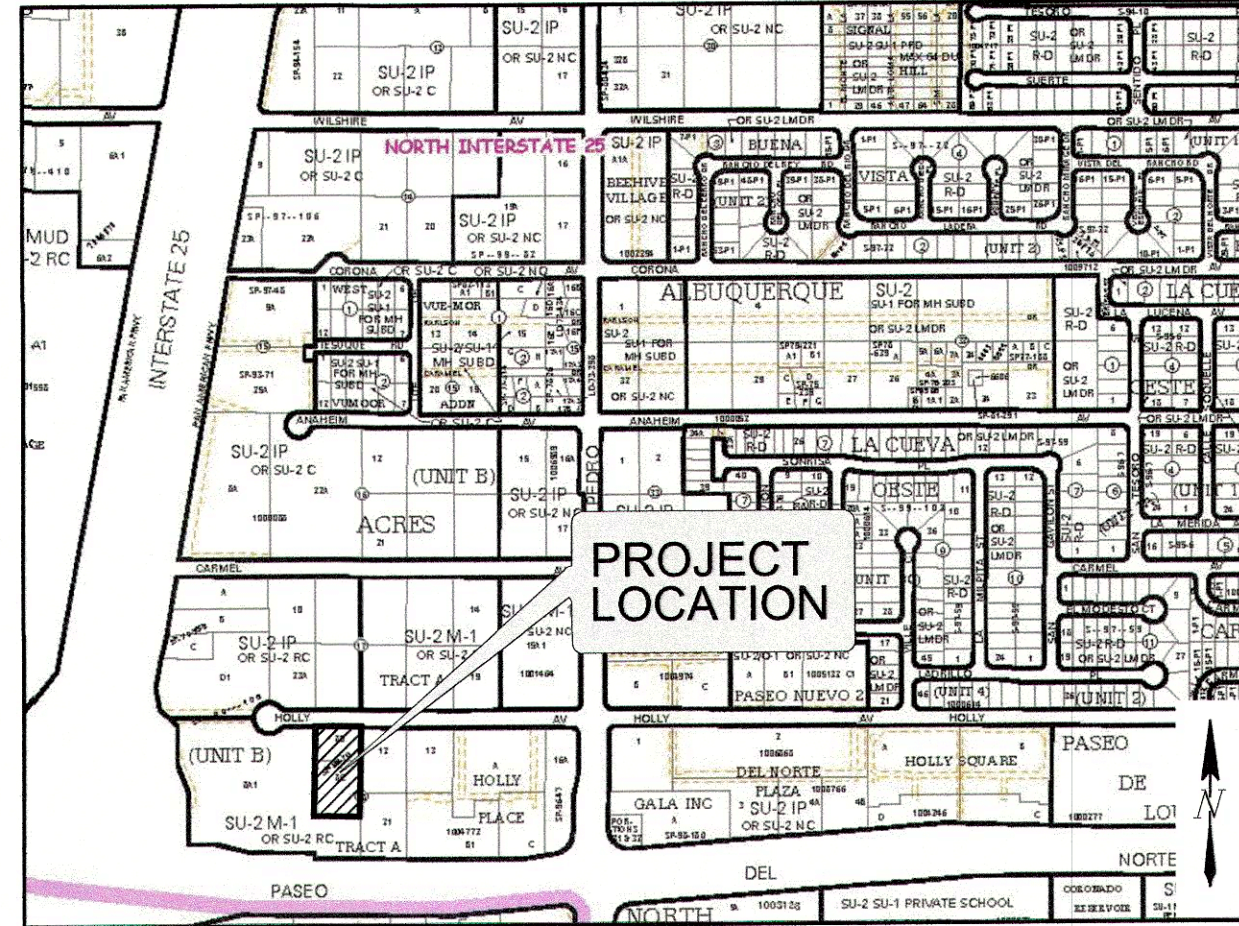
The record information edited onto the original design document has been provided to me by Harris Survey, Inc., Anthony L. Harris, NMPLS 11463, as supplemental data to the original topographic survey, and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

- DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR**
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
 3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE.
 4. 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
 5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 8. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

KEYED NOTES

1. EXISTING CONCRETE STANDARD CURB AND GUTTER.
2. EXISTING PUBLIC SIDEWALK TO REMAIN.
3. EXISTING ASPHALT PAVEMENT.
4. EXISTING DRIVEPAD TO REMAIN.
5. EXISTING SIDEWALK CULVERTS.
6. EXISTING PUBLIC DRAINAGE CHANNEL.
7. EXISTING PRIVATE DRAINAGE CHANNEL.
8. EXISTING CONCRETE RETAINING WALL.
9. EXISTING CONCRETE CURB.
10. EXISTING LOADING DOCK/RAMP TO REMAIN.
11. REMOVE AND DISPOSE EXISTING STAIRS.
12. RELOCATE EXISTING GAS METER. COORDINATE WITH NMGC.
13. EXISTING RR TIE WALL TO REMAIN.
14. EXISTING LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN.
15. REMOVE AND DISPOSE EXISTING 8-INCH PVC PIPE AND HEADWALL.
16. DIRECTION OF ROOF DRAINAGE-TYPICAL.
17. CONSTRUCT ASPHALT PAVEMENT. SEE SHEET C-2.0.
18. CONSTRUCT 6-INCH CONCRETE CURB. SEE SHEET C-2.0.
19. EDGE OF ASPHALT PAVEMENT. NO CURB.
20. CONSTRUCT TURN DOWN SIDEWALK. NO CURB. TOP OF CONCRETE AT TOP OF PAVEMENT. SEE SHEET C-2.0.
21. ~~CONSTRUCT CONCRETE SIDEWALK SEE SITE PLAN NOT BUILT~~
22. PROVIDE STRIPED PEDESTRIAN CROSSING PER CODE.
23. PROVIDE HANDICAP PARKING PAVEMENT MARKINGS PER CODE.
24. INSTALL HANDICAP SIGN ASSEMBLY PER CODE. SEE SHEET C-2.0.
25. CONSTRUCT CONCRETE APRON AT NEW OVERHEAD DOORS. SEE SITE PLAN.
26. CONSTRUCT NEW REFUSE ENCLOSURE. SEE SITE PLAN FOR DETAILS.
27. CONSTRUCT 4' WIDE CONCRETE CHANNEL. SEE SHEET C-2.0.
28. CONSTRUCT 7.5' WIDE CONCRETE CHANNEL. SEE SHEET C-2.0.
29. CONSTRUCT 4' WIDE CONCRETE VALLEY GUTTER. SEE SHEET C-2.0.
30. CONSTRUCT 3-24-INCH SIDEWALK CULVERTS PER COA STD DWG 2236.
31. ~~CONSTRUCT 12-INCH SIDEWALK CULVERT PER COA STD DWG 2236. NOT BUILT PER ENGINEER D.L.~~
32. INSTALL SECURITY FENCING AND ACCESS GATES. SEE SITE PLAN FOR DETAILS.
33. NEW LANDSCAPING. SEE LANDSCAPE PLAN.
34. CONCRETE COMPRESSOR PLOT.



FIRM PANEL 35001C0137H

LEGEND		
ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
6" CONCRETE CURB		
CURB ELEVATIONS		
SPOT ELEV. - VERTICAL CURB		
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.		
FLOWLINE ELEV		
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
STORM INLET		
STORM DRAIN PIPE		

- EASEMENT NOTES**
1. EXISTING 10' P.U.E. (4/5/99, 99C-71)
 2. EXISTING 15' PRIVATE WATER & SANITARY SEWER EASEMENT (04/5/99, 99C-71)
 3. EXISTING 25' PRIVATE ACCESS & PRIVATE DRAINAGE EASEMENT (04/5/99, 99C-71)
 4. EXISTING 5' P.U.E. (8/2/99, 99C-218)
 5. OFF-SITE GRADING PER NMDOT AGREEMENT.

PROJECT DATA
SURVEY:
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY CARTISIAN SURVEYS, INC., P.O. BOX 44414 RIO RANCHO, NEW MEXICO DECEMBER 2014.
PROPERTY ADDRESS:
5600 HOLLY AVENUE NE, ALBUQUERQUE, NEW MEXICO
LEGAL DESCRIPTION:
LOTS 8-B AND 8-C, BLOCK 18, NORTH ALBUQUERQUE ACRE, TRACTS A, UNIT B
PROJECT BENCHMARK
ACS MONUMENT "ZAB-B" HAVING AN ELEVATION OF 5195.090.

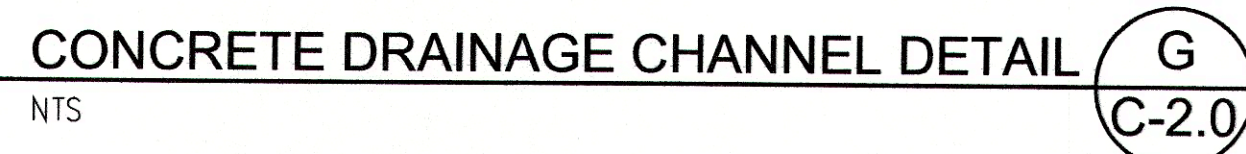
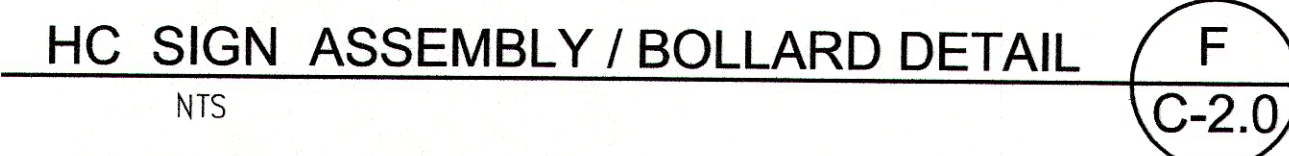
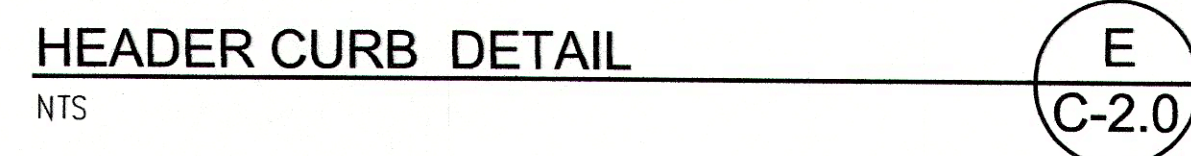
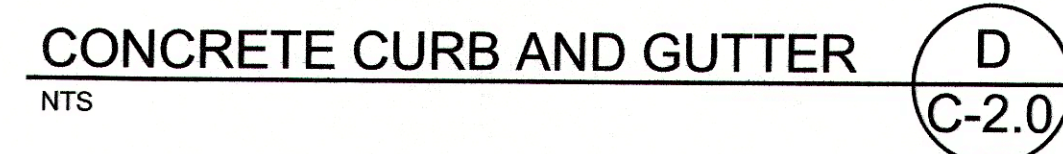
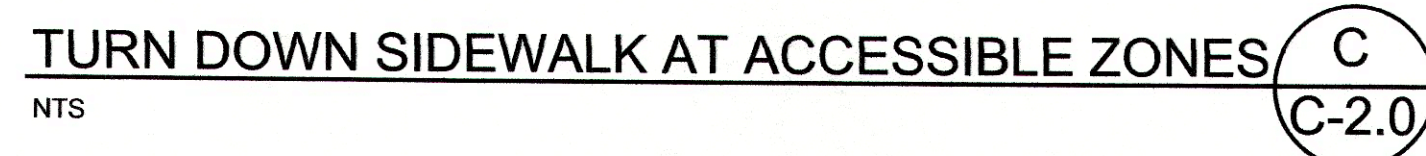
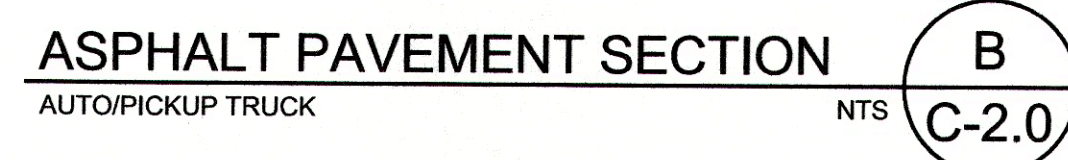
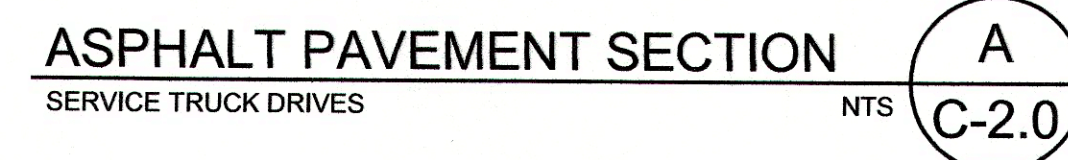
CAR CRAFTERS
GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NM
PROJECT #14-032

REVISION DATE
REVISION PER CITY
CERT 2.1.16

RBA
REGISTERED PROFESSIONAL ENGINEER
ALBUQUERQUE, NM
www.rba-nm.com

DATE
01/29/2015

SHEET NUMBER
C-1.0



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: CAR CRAFTERS ZONE MAP: C-18/D044
DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: LOTS 8-B AND 8-C, BLOCK 18, TRACT A, UNIT B, NAA

CITY ADDRESS: 5600 HOLLY AVENUE NE

ENGINEERING FIRM: LORENZ DESIGN & CONSULTING CONTACT: DENNIS LORENZ
ADDRESS: 2501 RIO GRANDE BLVD. NW SUITE A PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87104

OWNER: CAR CRAFTERS CONTACT: JIM GUTHRIE
ADDRESS: 600 MONTANO NE PHONE: 881-8889
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

ARCHITECT: RICK BENNETT ARCHITECTS CONTACT: R. BENNETT
ADDRESS: 1104 PARK AVENUE SW PHONE: 242-1859
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87103

SURVEYOR: CARTESIAN SURVEYS CONTACT: W. PLOTNER
ADDRESS: PO BOX 44414 PHONE: 896-3050
CITY, STATE: RIO RANCHO, NEW MEXICO ZIP CODE: 87174

CONTRACTOR: GLOBAL STRUCTURES, LLC CONTACT: UNKNOWN
ADDRESS: 510 CANDELARIA NE PHONE: 343-0990
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 02-09-2016 BY: 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.