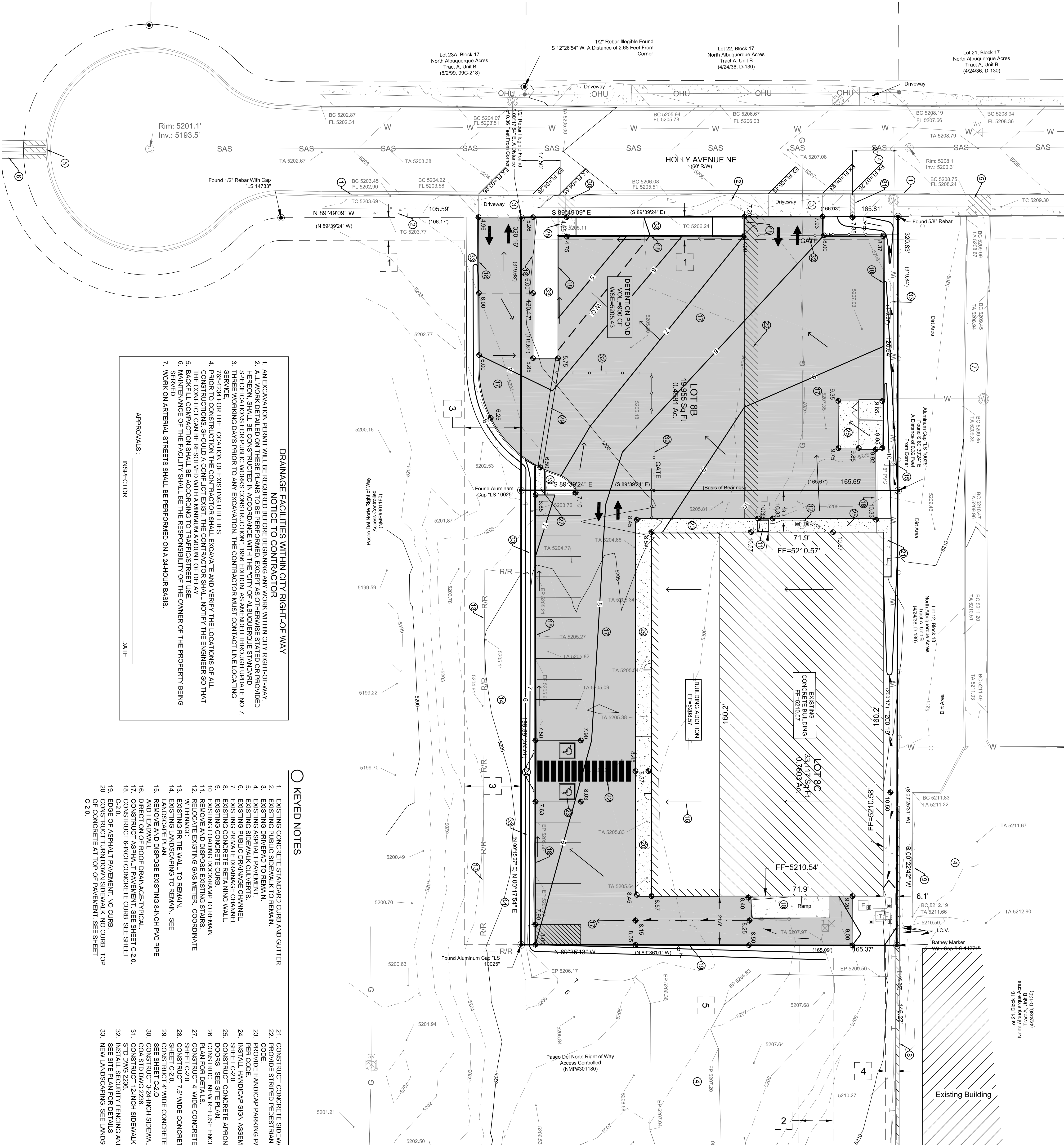




DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL CITY, STATE, AND FEDERAL REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL CITY, STATE, AND FEDERAL REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL CITY, STATE, AND FEDERAL REGULATIONS AND ORDINANCES.

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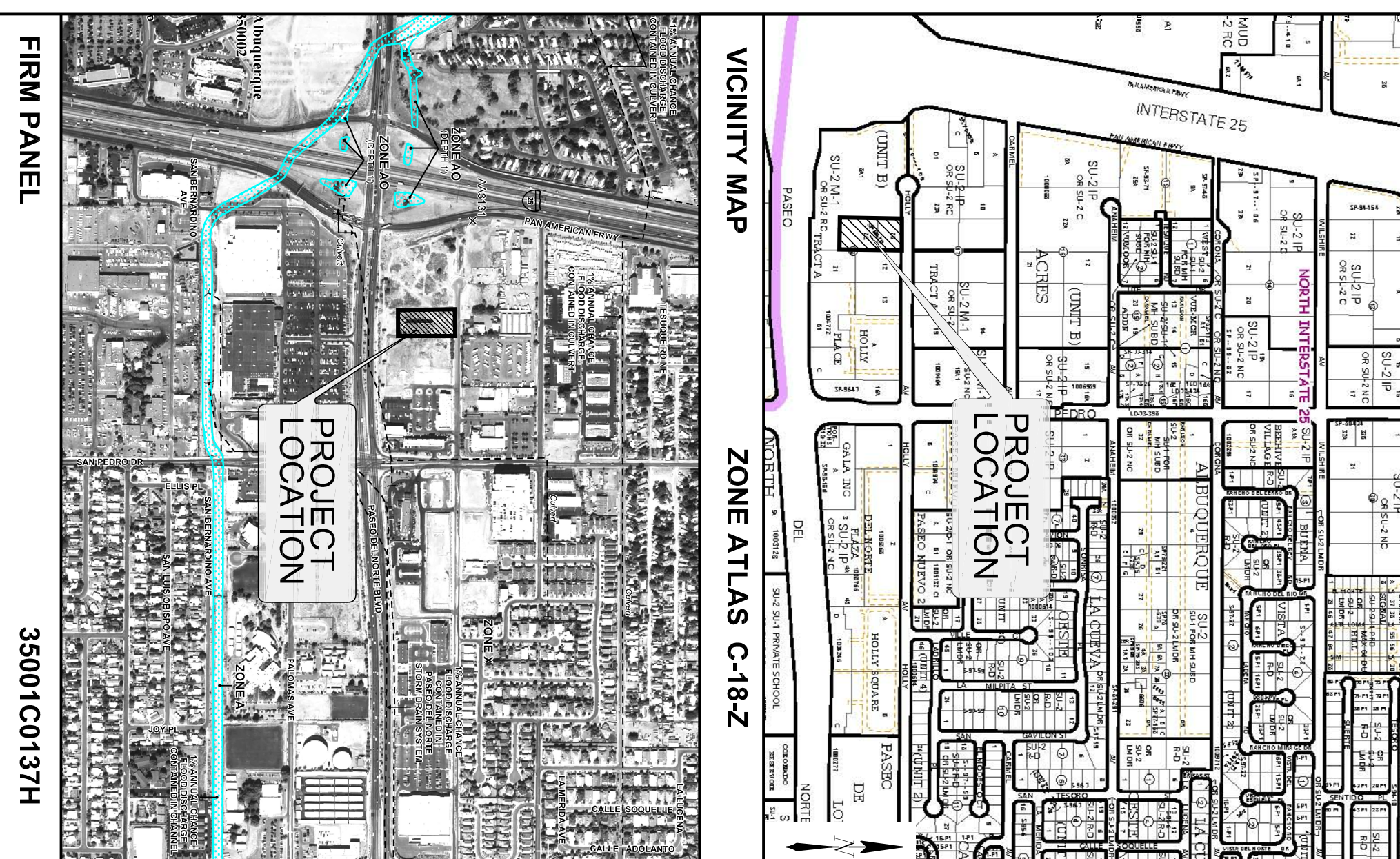
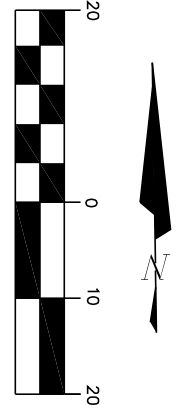
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL CITY, STATE, AND FEDERAL REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL CITY, STATE, AND FEDERAL REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL CITY, STATE, AND FEDERAL REGULATIONS AND ORDINANCES.

APPROVALS:

INSPECTOR _____ DATE _____

KEYED NOTES

1. EXISTING CONCRETE STANDARD CURB AND GUTTER.
2. EXISTING PUBLIC SIDEWALK TO REMAIN.
3. EXISTING ASPHALT PAVEMENT.
4. EXISTING ASPHALT PAVEMENT.
5. EXISTING PUBLIC DRAINAGE CHANNEL.
6. EXISTING PRIVATE DRAINAGE CHANNEL.
7. EXISTING CONCRETE RETAINING WALL.
8. EXISTING CONCRETE CURB.
9. EXISTING CONCRETE CURB.
10. EXISTING LOADING DOCKRAMP TO REMAIN.
11. REMOVE AND DISPOSE EXISTING STRIPS.
12. RELOCATE EXISTING GAS METER. COORDINATE WITH MISC.
13. EXISTING R/R TIE WALL TO REMAIN.
14. LANDSCAPE PLAN. SEE SHEET C-2.0.
15. REMOVE AND DISPOSE EXISTING 8-INCH PVC PIPE AND HEADWALL.
16. DIRECTION OF ROOF DRAINAGE-TYPICAL. SEE SHEET C-2.0.
17. CONSTRUCT ASPHALT PAVEMENT. SEE SHEET C-2.0.
18. CONSTRUCT 6-INCH CONCRETE CURB. SEE SHEET C-2.0.
19. EDGE OF ASPHALT PAVEMENT. NO CURB.
20. CONSTRUCT TURN DOWN SIDEWALK. NO CURB. TOP CONCRETE AT TOP OF PAVEMENT. SEE SHEET C-2.0.
21. CONSTRUCT CONCRETE SIDEWALK. SEE SITE PLAN.
22. PROVIDE STRIPED PEDESTRIAN CROSSING PER CODE.
23. PROVIDE HANDICAP PARKING PAVEMENT MARKINGS PER CODE.
24. INSTALL HANDICAP SIGN ASSEMBLY PER CODE. SEE SHEET C-2.0.
25. CONSTRUCT CONCRETE APRON AT NEW OVERHEAD DOORS. SEE SITE PLAN.
26. CONSTRUCT NEW REFUSE ENCLOSURE. SEE SITE PLAN FOR DETAILS.
27. CONSTRUCT 4" WIDE CONCRETE CHANNEL. SEE SHEET C-2.0.
28. CONSTRUCT 7.5" WIDE CONCRETE CHANNEL. SEE SHEET C-2.0.
29. CONSTRUCT 4" WIDE CONCRETE VALLEY GUTTER. SEE SHEET C-2.0.
30. CONSTRUCT 3.24-INCH SIDEWALK CULVERTS PER COA STD DWG 2236.
31. CONSTRUCT 12-INCH SIDEWALK CULVERT PER COA STD DWG 2236.
32. INSTALL SECURITY FENCING AND ACCESS GATES. SEE SITE PLAN FOR DETAILS.
33. NEW LANDSCAPING. SEE LANDSCAPE PLAN.



LEGEND

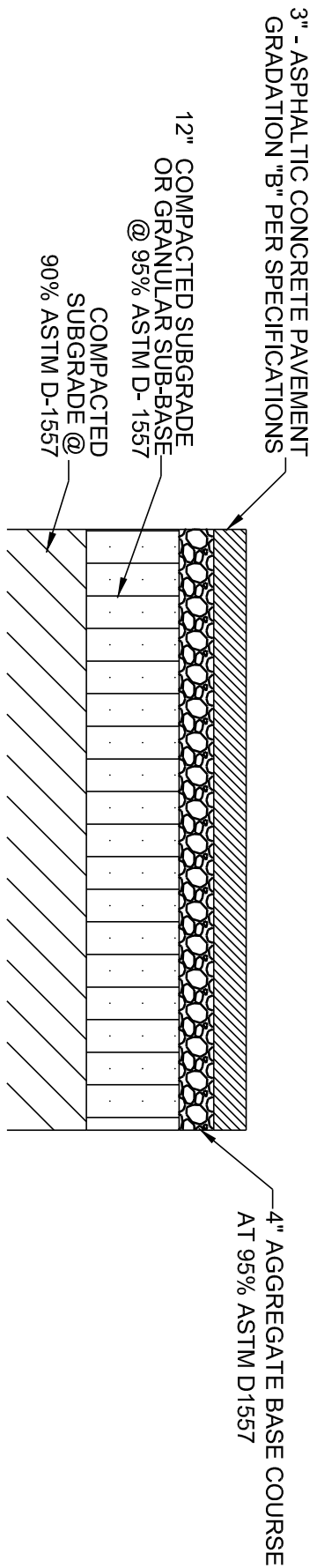
ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
6" CONCRETE CURB		
CURB ELEVATIONS		
SPOT ELEV.		
RIGHT OF WAY		
EASEMENT		
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.		
FLOWLINE ELEV		
NEW PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
STORM INLET		
STORM DRAIN PIPE		

EASEMENT NOTES

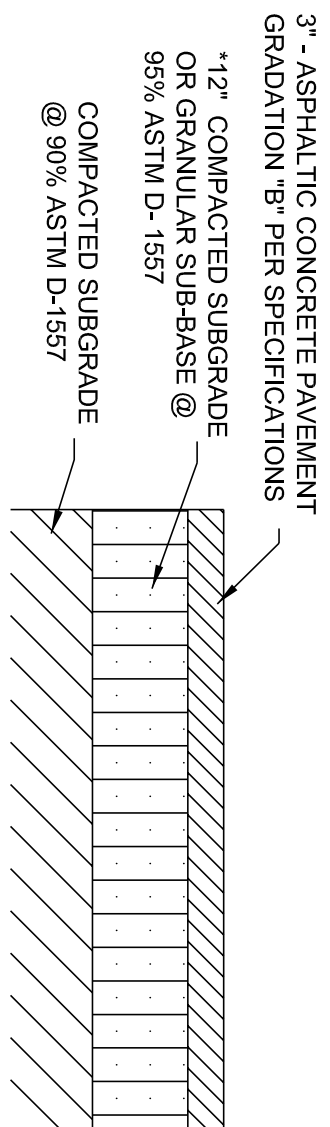
1. EXISTING 10' P.U.E. (4/5/99, 99C-71)
2. EXISTING 16' PRIVATE WATER & SANITARY SEWER EASEMENT (4/5/99, 99C-71)
3. EXISTING 25' PRIVATE ACCESS & PRIVATE DRAINAGE EASEMENT (4/5/99, 99C-71)
4. EXISTING 5' P.U.E. (6/2/99, 99C-218)
5. OFF-SITE GRADING PER NMDOT AGREEMENT.

PROJECT DATA

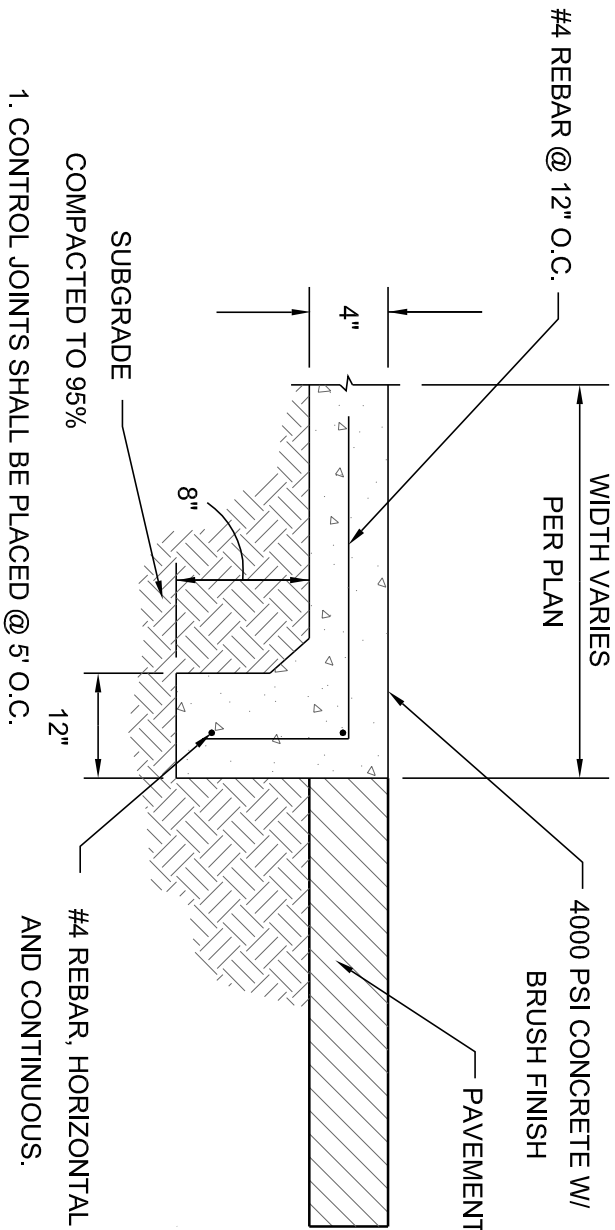
SURVEY:
TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY
KARTISAN SURVEYS, INC., P.O. BOX 44414 RIO RANCHO, NEW
MEXICO 80629-4414
PROPERTY ADDRESS:
5600 HOLLY AVENUE NE, ALBUQUERQUE, NEW MEXICO
LEGAL DESCRIPTION:
LOTS 8-B AND 8-C, BLOCK 18, NORTH ALBUQUERQUE ACRES,
TRACTS A, UNIT B
PROJECT BENCHMARK
ACS MONUMENT "ZAB-8" HAVING AN ELEVATION OF 5195.090.



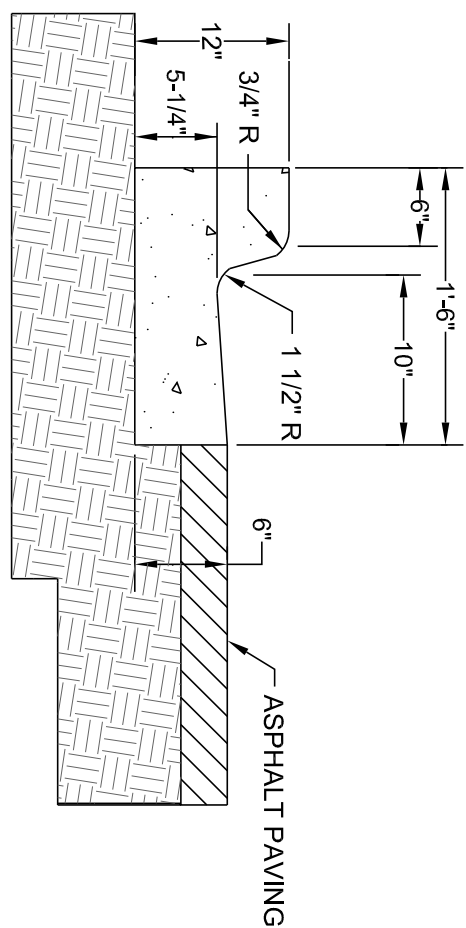
ASPHALT PAVEMENT SECTION
SERVICE TRUCK DRIVES
NTS
A
C-2.0



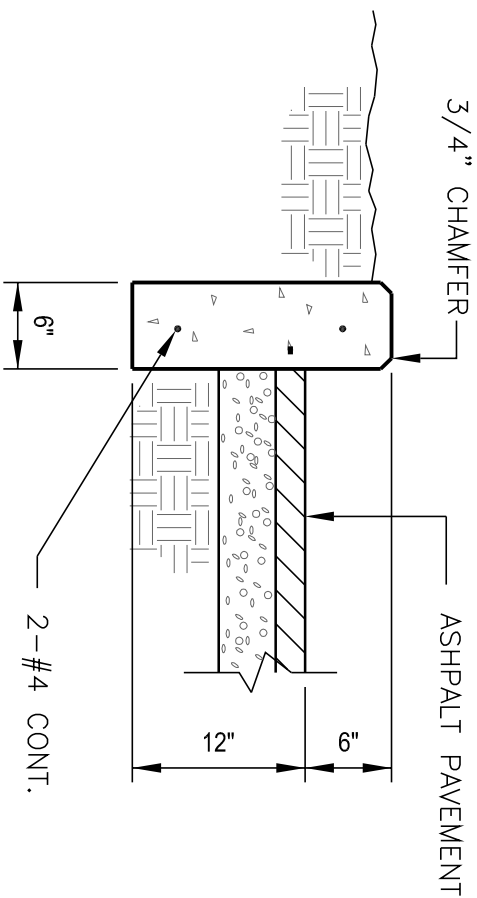
ASPHALT PAVEMENT SECTION
AUTO/PICKUP TRUCK
NTS
B
C-2.0



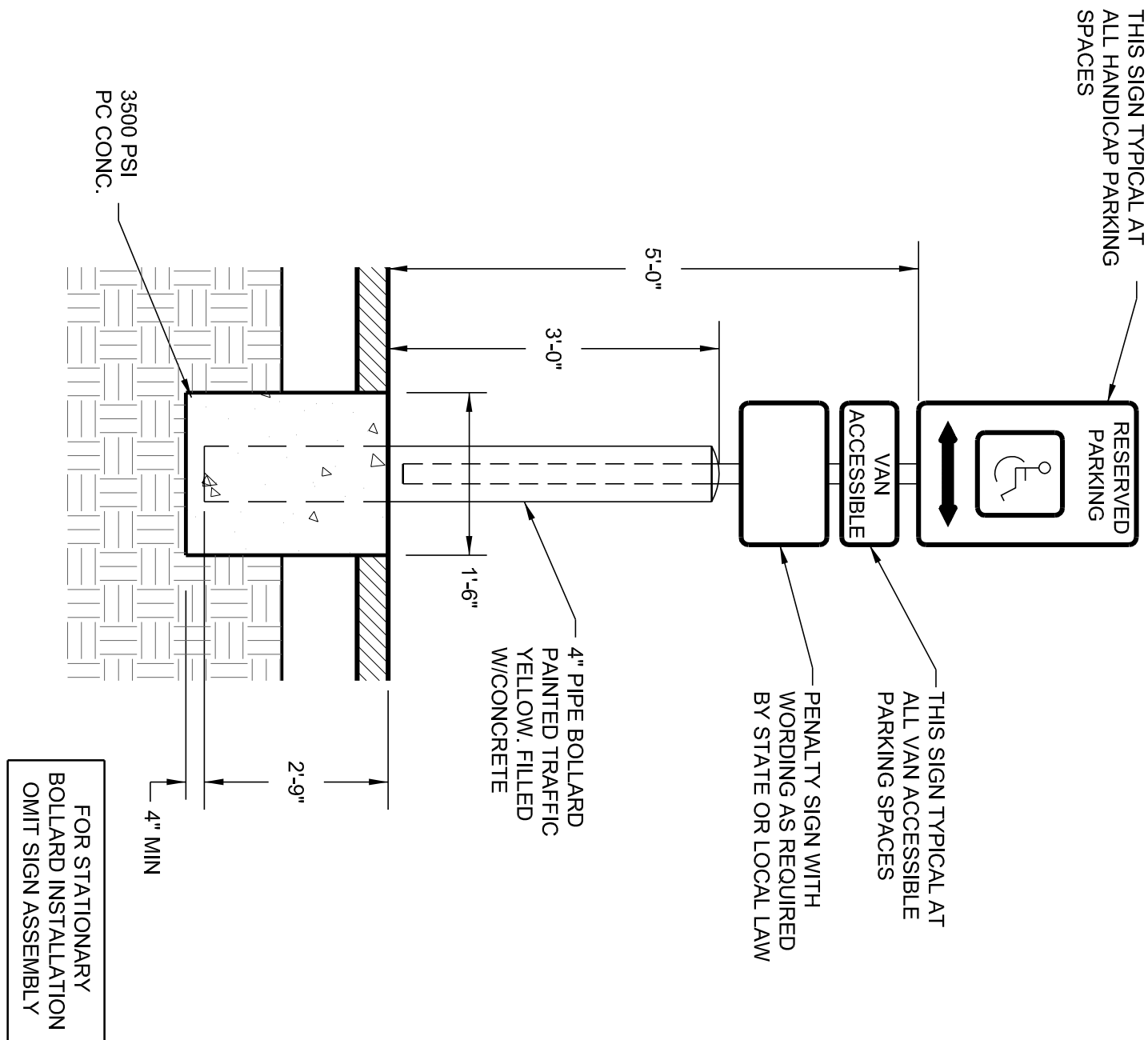
TURN DOWN SIDEWALK AT ACCESSIBLE ZONES
NTS
C
C-2.0



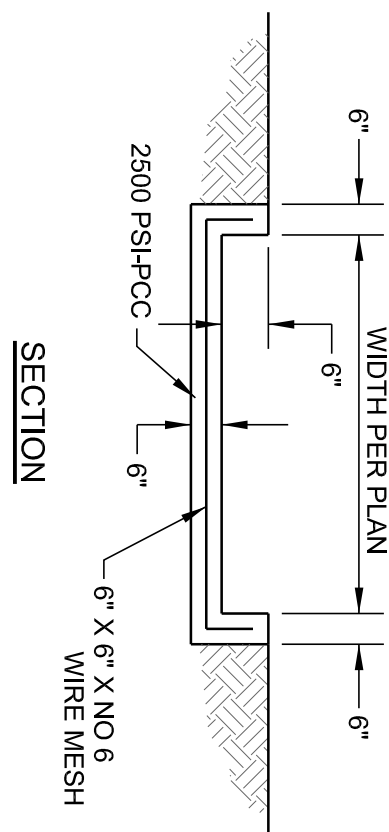
CONCRETE CURB AND GUTTER
NTS
D
C-2.0



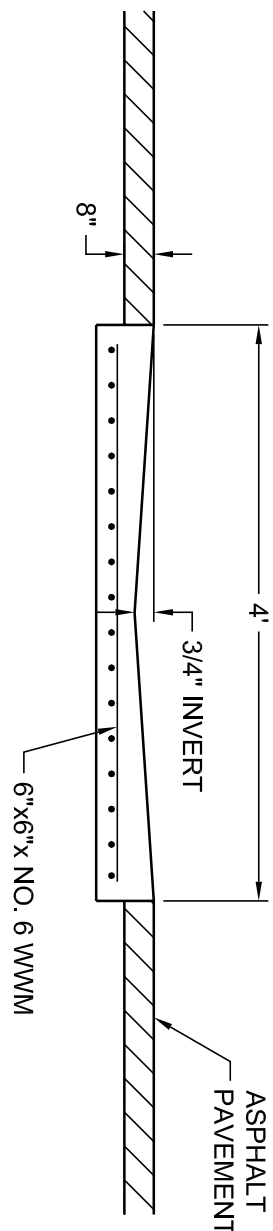
HEADER CURB DETAIL
NTS
E
C-2.0



HC SIGN ASSEMBLY / BOLLARD DETAIL
NTS
F
C-2.0



CONCRETE DRAINAGE CHANNEL DETAIL
NTS
G
C-2.0



VALLEY GUTTER
NTS
H
C-2.0

CITY OF ALBUQUERQUE



February 5, 2015

Dennis Lorenz, P.E.
Lorenz Design & Consulting
2501 Rio Grande Blvd. NW Suite A
Albuquerque, New Mexico 87107

**RE: Car Crafters
Grading and Drainage Plan
Engineers Stamp Date 1/29/15 (C18-D044)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 1/29/2015, the above referenced Grading and Drainage Plan is accepted for Grading Permit and Building Permit. Attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation or barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order. To obtain a permanent CO the sidewalk culvert must be inspected and accepted. Please contact Jason Rodriguez, 235-8016, to schedule an inspection.

In the future if lots 8B and 8C are sold separately, a cross lot drainage agreement should be obtained.

If you have any questions please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Department
Development and Review Services

RR/CC
C: File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: CAR CRAFTERS ZONE MAP: C-18/D044
DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: LOTS 8-B AND 8-C, BLOCK 18, TRACT A, UNIT B, NAA

CITY ADDRESS: 5600 HOLLY AVENUE NE

ENGINEERING FIRM: LORENZ DESIGN & CONSULTING CONTACT: DENNIS LORENZ
ADDRESS: 2501 RIO GRANDE BLVD. NW SUITE A PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87104

OWNER: CAR CRAFTERS CONTACT: JIM GUTHRIE
ADDRESS: 600 MONTANO NE PHONE: 881-8889
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

ARCHITECT: RICK BENNETT ARCHITECTS CONTACT: R. BENNETT
ADDRESS: 1104 PARK AVENUE SW PHONE: 242-1859
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87103

SURVEYOR: CARTESIAN SURVEYS CONTACT: W. PLOTNER
ADDRESS: PO BOX 44414 PHONE: 896-3050
CITY, STATE: RIO RANCHO, NEW MEXICO ZIP CODE: 87174

CONTRACTOR: GLOBAL STRUCTURES, LLC CONTACT: UNKNOWN
ADDRESS: 510 CANDELARIA NE PHONE: 343-0990
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 01-29-2015 BY: DENNIS A. LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.