

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 7, 2025

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 6100 Signal Ave NE
Permanent C.O. – Accepted
Engineer's Certification Date: 2/6/25
Engineer's Stamp Date: 5/29/22
Hydrology File: C18D045

Dear Mr. Soule:

PO Box 1293

Based on the Certification received 2/21/2025 and the site visit on 2/24/2025, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 3

Ea= 0.67	Qa=
Eb= 0.86	Qb=
Ec= 1.09	Qc=
Ed= 2.58	Qd=

ONSITE Conditions		
DRAINAGE SUMMARY		
	REQUIRED (CF)	PROVIDED (CF)
FLOOD CONTROL	0	548
WATER QUALITY (0.42" PER IMP SF	499	548
Narrative		

This site is within the North Albuquerque Acres Master Drainage plan boundaries. The site is allowed a maximum discharge rate based upon land treatments. The site does not exceed the developed conditions assumptions of the master plan, therefore is allowed free discharge. The site is required to retain the first .42" of storm water for each square foot of impervious area. The site retains 548 cubic feet compared to the 499 cubic feet required by ordinance. This plan conforms to the city of Albuquerque drainage ordinance.

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG Z236. Work is permitted and inspected by DMD Construction Services Division.
2. An excavation permit will be required before beginning any work within City Right-Of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [or (505) 260-1990] for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation and barricading inspections, contact DMD Construction Services Division.

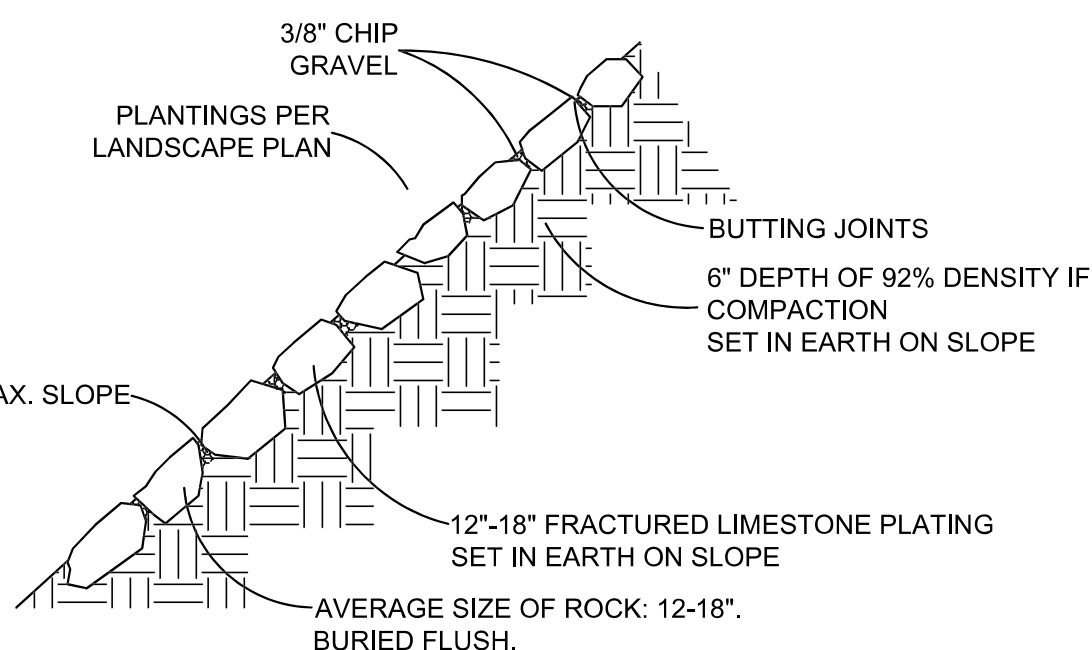
Weir Equation:

$$Q = CLH^{3/2}$$

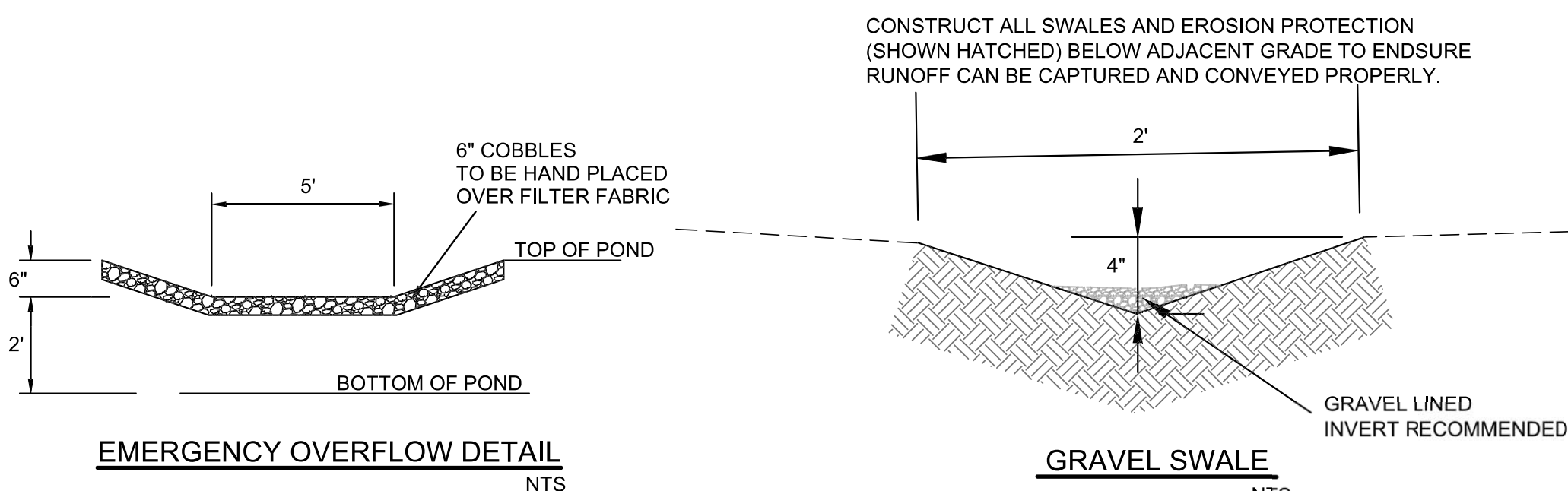
Q= 5.00
C = 2.95
H = 0.67 ft
L = Length of weir

SIDEWALK CULVERT

$$Q = 2.95 * 2 * ((0.67)^{(3/2)}) = 3.23 \text{ CFS,}$$



ROCK PLATING DETAIL



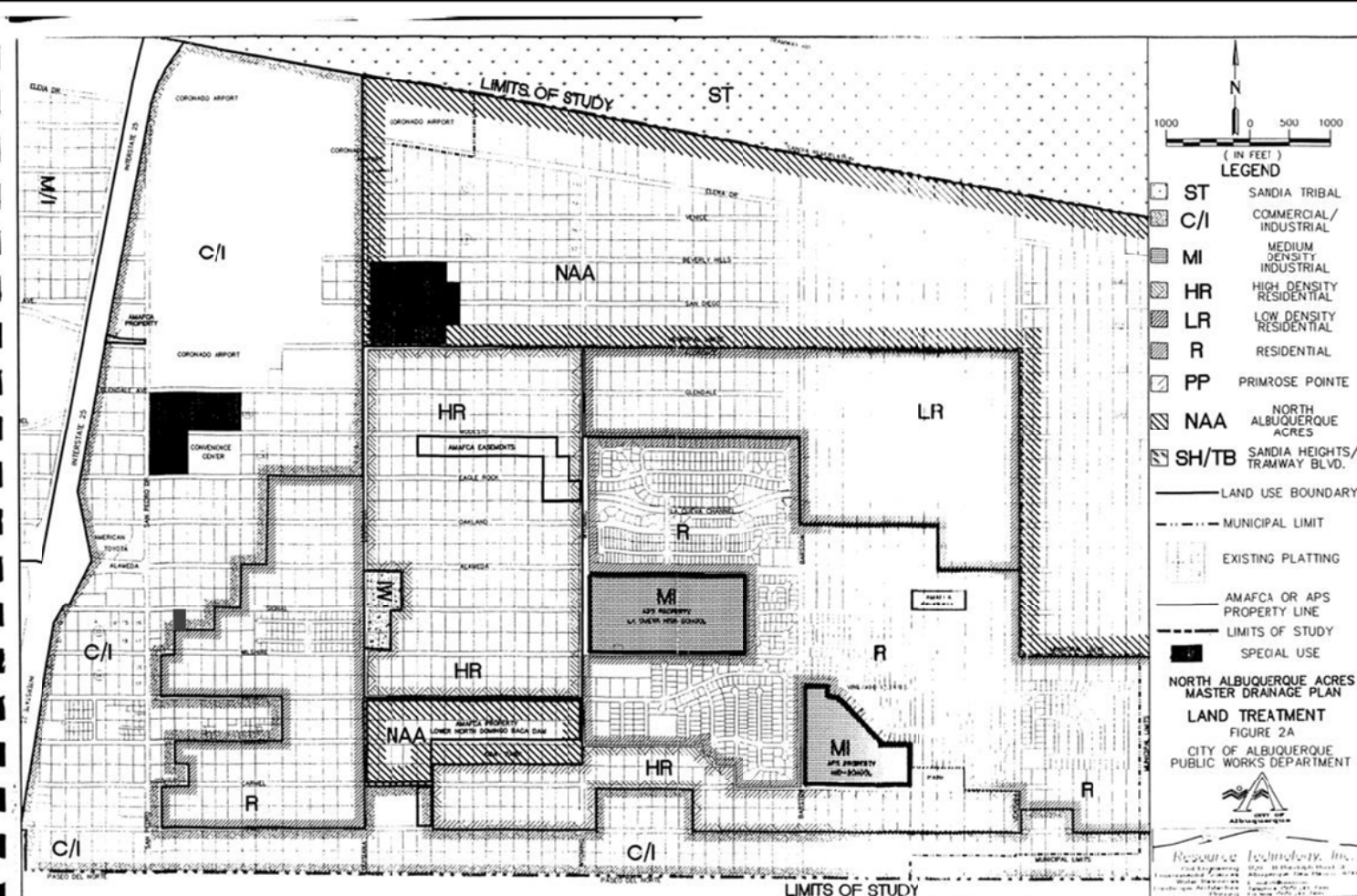
CAUTION:

EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

"ASBUILT"

11/20/2024

DATE:



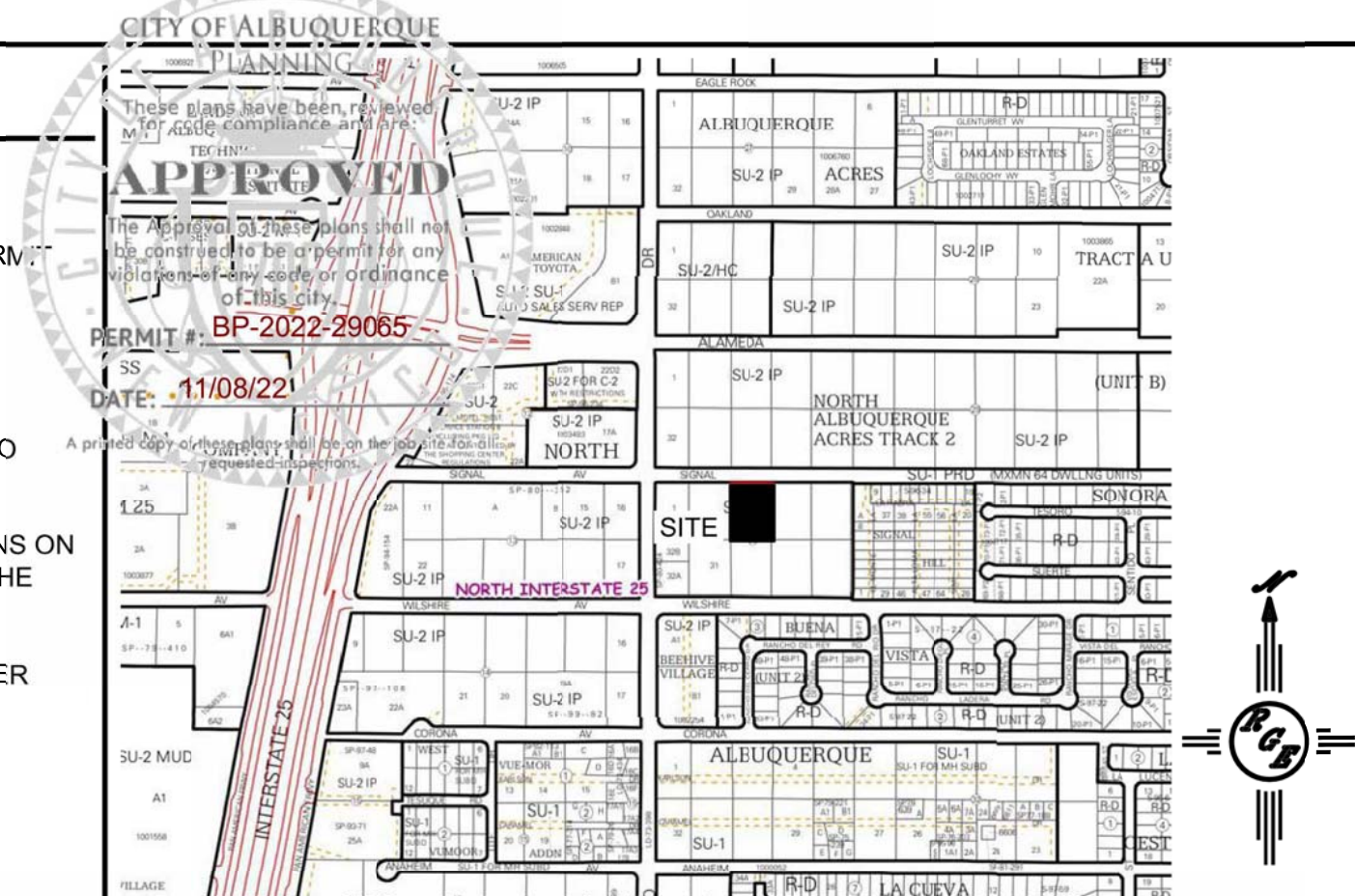
- **Commercial/Industrial (CI):** The area west of Louisiana Boulevard, north of Modesto Avenue and east of I-25 would develop as high density commercial and industrial. Also use for Paseo del Norte Corridor
- **Medium Density Industrial (MI):** Campus type commercial/office facilities and **ATO PLANNED DISTRICT**.

The relative weight of each type of Land Treatment is shown in Table 2.

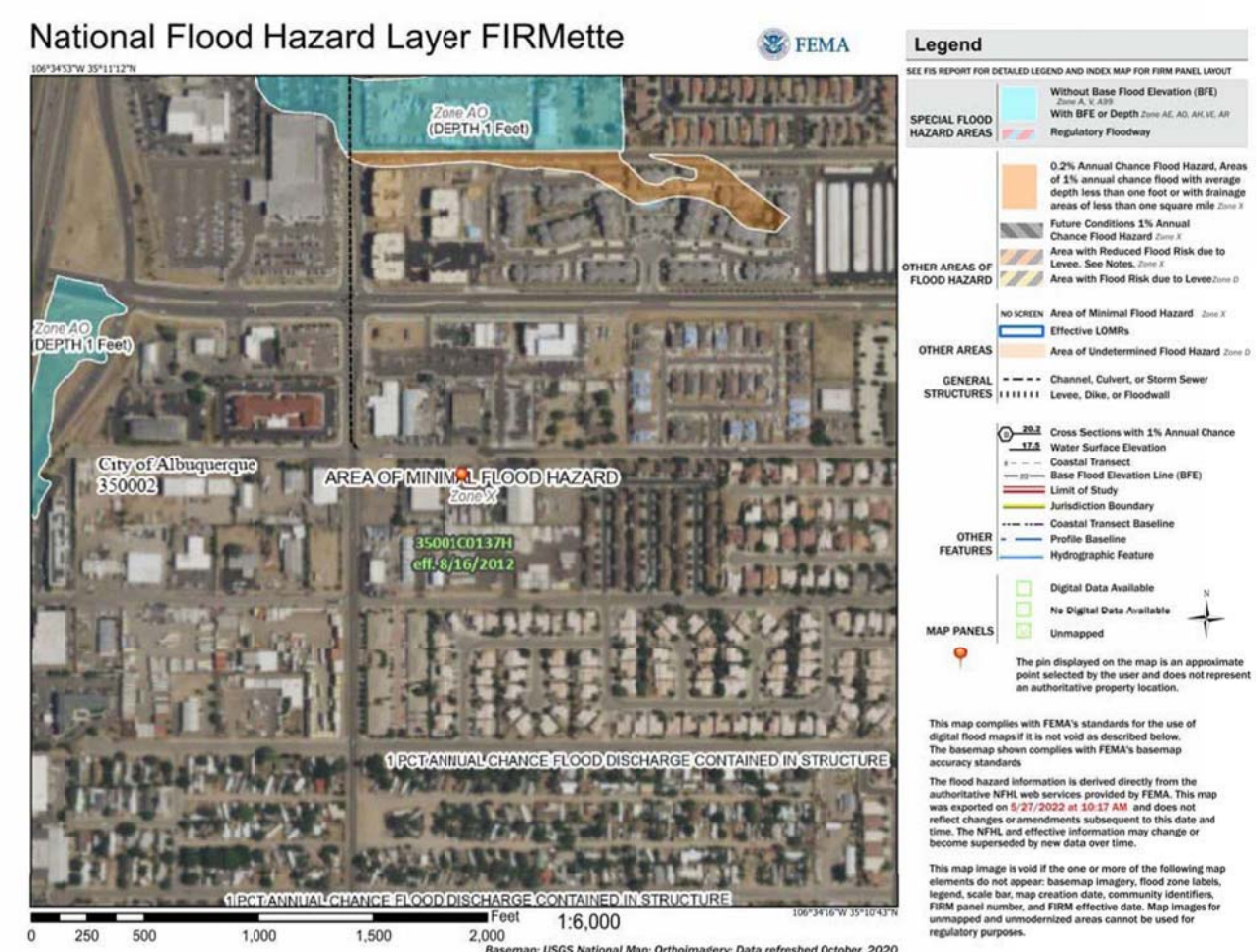
	Land Treatments (%)			
	A	B	C	D
Sandia Heights/Tramway (SH/TB)	20	40	5	35
North Albuquerque Acres (NAA)	22	23	38	17
Low Density Residential (LR)	20	20	34	26
Residential (GV)	0	24	10	39
High Density Residential (HR)	0	25	15	60
Commercial/Industrial (C/I)	0	20	10	70
Medium Density Industrial (MI)	0	20	30	50
Sandia Tribal Lands (ST)	20	20	40	20
Delmonico Estates (DE)	0	20	20	60

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP:




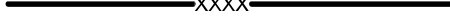







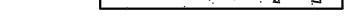

LEGAL DESCRIPTION:

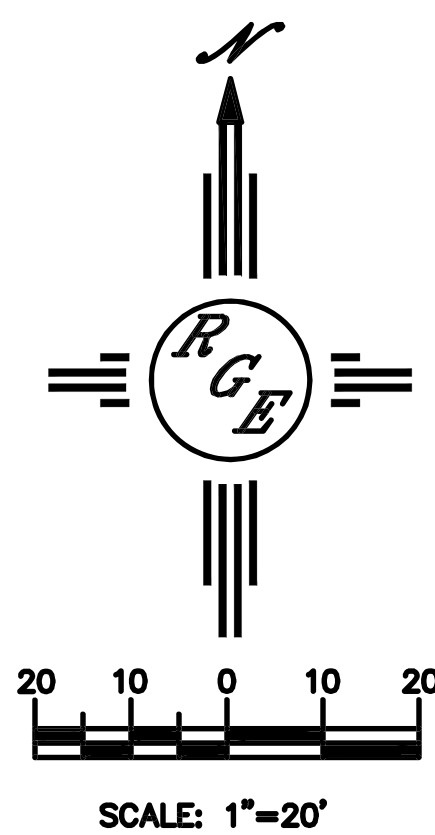
LOT 3, BLOCK 30 NORTH ALBUQUERQUE ACRES TRACT A UNIT B NORTH
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD83 DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	BOUNDARY
	ADJACENT BOUNDARY
	EXISTING CURB AND GUTTER
	PROPOSED GRAVEL SWALE
	PROPOSED RETAINING WALL
	PROPOSED CONCRETE
	PROPOSED ROCK PLATING WITH SWALE



I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 5/29/22 . The certification is submitted in support of a request for CERTIFICATE OR OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project.

2/6/25