

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 24, 2025

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 6100 Signal Ave NE
30-Day Temporary C.O. – Accepted
Engineer's Certification Date: 2/6/25
Engineer's Stamp Date: 5/29/22
Hydrology File: C18D045

Dear Mr. Soule:

PO Box 1293 Based on the Certification received 2/21/2025 and the site visit on 2/24/2025, this letter serves as a conditional approval from Hydrology Section for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

NM 87103 1. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology.

www.cabq.gov Please resubmit for a request for permanent release of Certificate of Occupancy once the above item is complete.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

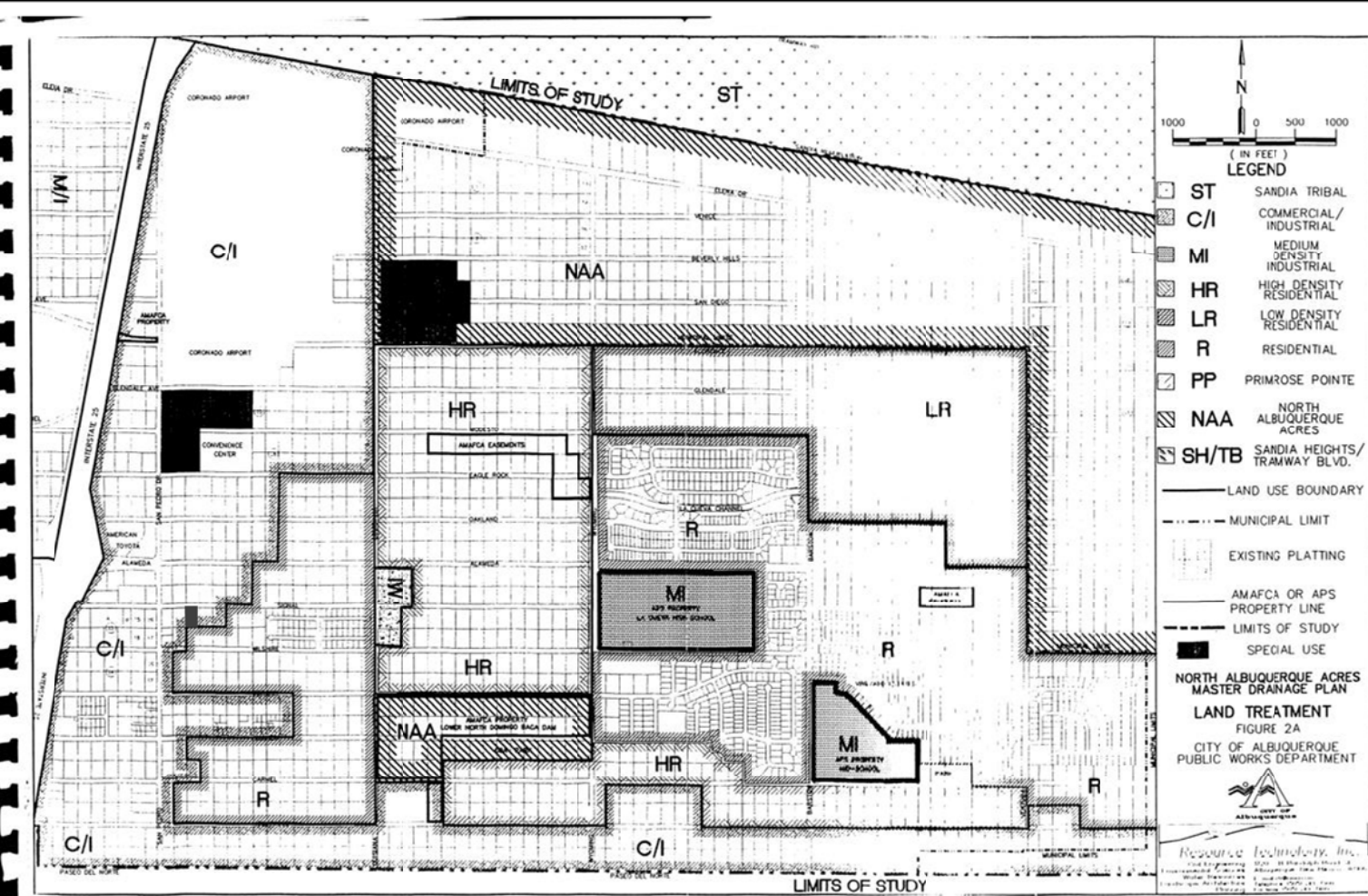
Weighted E Method										
Basin	Area (sf)	Area (acres)	Treatment					100-Year, 6-hr.		24 hour
			Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
ALLOWED FRONT	38610.00	0.886	0%	0	20% 0.177	10% 0.0886	70% 0.620	2.087	3.51	0.178
	38610.00	0.886	0%	0	10% 0.089	43% 0.3811	37% 0.328	1.509	0.111	2.90

Equations:
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
Volume = Weighted D * Total Area
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad
Where for 100-year, 6-hour storm- zone 3
Ea= 0.67
Eb= 0.86
Ec= 1.09
Ed= 2.58
Qa= 1.84
Qb= 2.49
Qc= 3.17
Qd= 4.49

ONSITE Conditions DRAINAGE SUMMARY

	REQUIRED (CF)	PROVIDED (CF)
FLOOD CONTROL	0	548
WATER QUALITY (0.42" PER IMP SF Narrative)	499	548

This site is within the North Albuquerque Acres Master Drainage plan boundaries. The site is allowed a maximum discharge rate based upon land treatments. The site does not exceed the developed conditions assumptions of the master plan, therefore is allowed free discharge. The site is required to retain the first 42" of storm water for each square foot of impervious area. The site retains 548 cubic feet compared to the 499 cubic feet required by ordinance. This plan conforms to the city of Albuquerque drainage ordinance.



Commercial/Industrial (CI): The area west of Louisiana Boulevard, north of Modesto Avenue and east of I-25 would develop as high density commercial and industrial. Also use for the Paseo del Norte Corridor.

Medium Density Residential (MD): Campus type commercial/office facilities and medium density residential.

Low Density Residential (LD): Single family detached housing.

High Density Residential (HR): Medium density residential.

Public (P): Public facilities.

Table 2: FUTURE FULL DEVELOPMENT HYDROLOGIC CONDITION ASSUMPTIONS

Land Treatment (%)	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
Sancta Height/Tramway (SH/TB)	20	40	5	35																			
North Albuquerque Area (NAA)	22	23	38	17																			
Low Density Residential (LD)	20	20	34	26																			
High Density Residential (HR)	0	25	15	60																			
Commercial/Industrial (CI)	0	20	10	70																			
Medium Density Residential (MD)	0	20	30	50																			
Sancta Total Land Use (%)	20	20	40	20																			
Deliverance Surface (DS)	0	0	0	0																			

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



CULVERT AND OVERFLOW

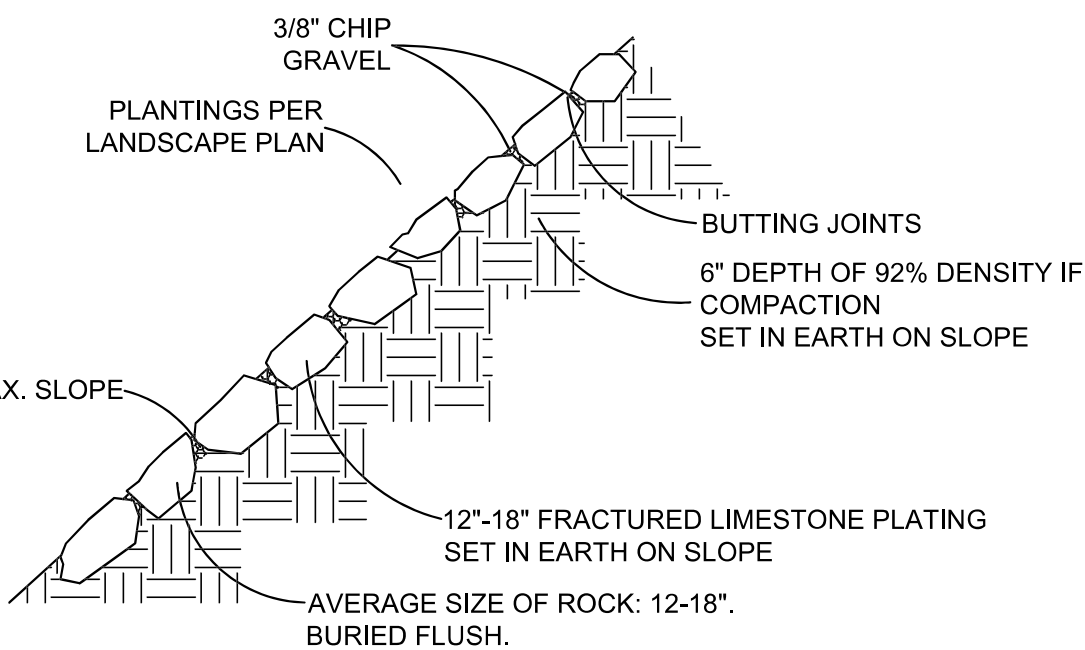
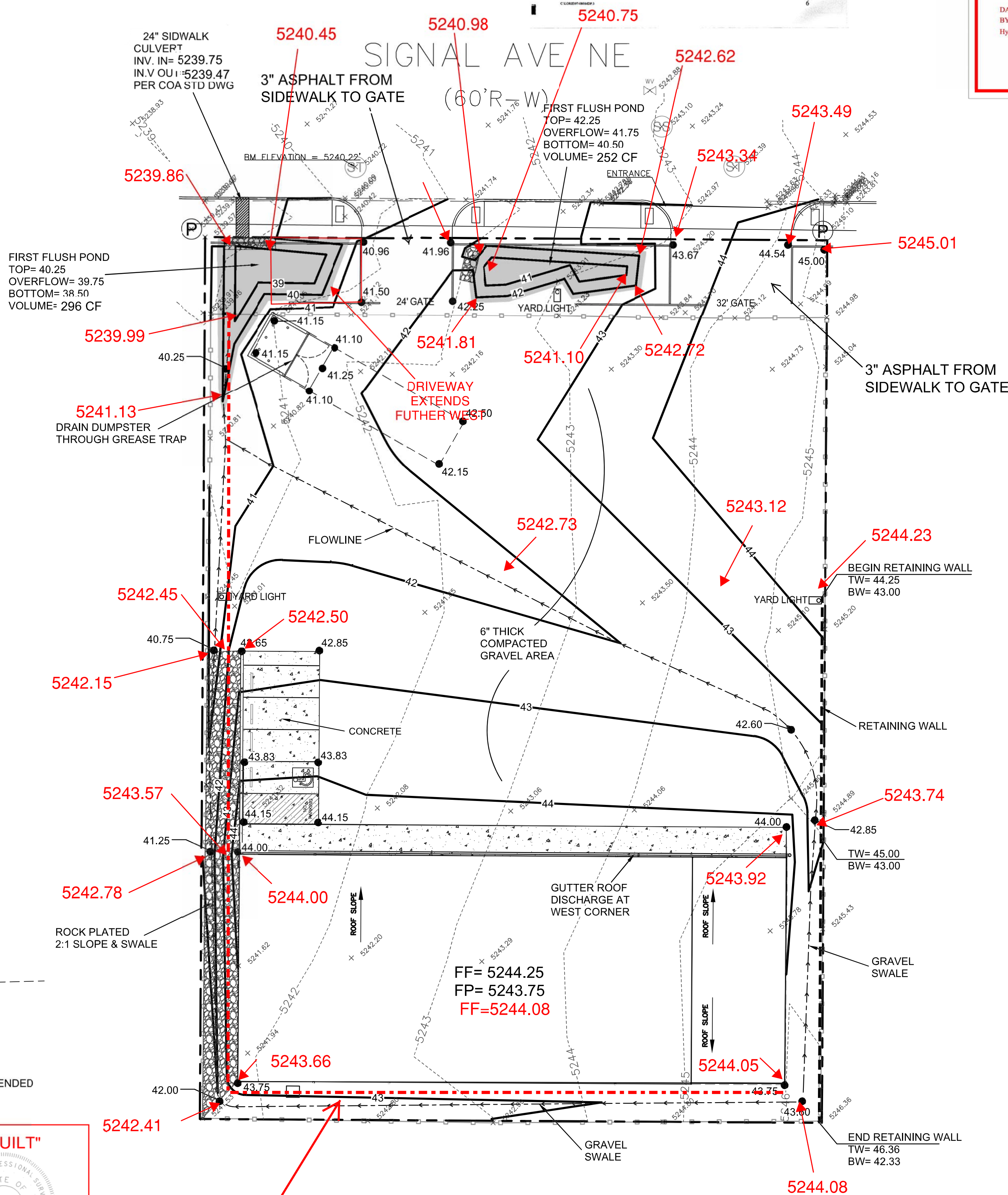
Weir Equation:

$$Q = CLH^{3/2}$$

$$Q = 5.00$$
$$C = 2.95$$
$$H = 0.67 \text{ ft}$$
$$L = \text{Length of weir}$$

SIDEWALK CULVERT

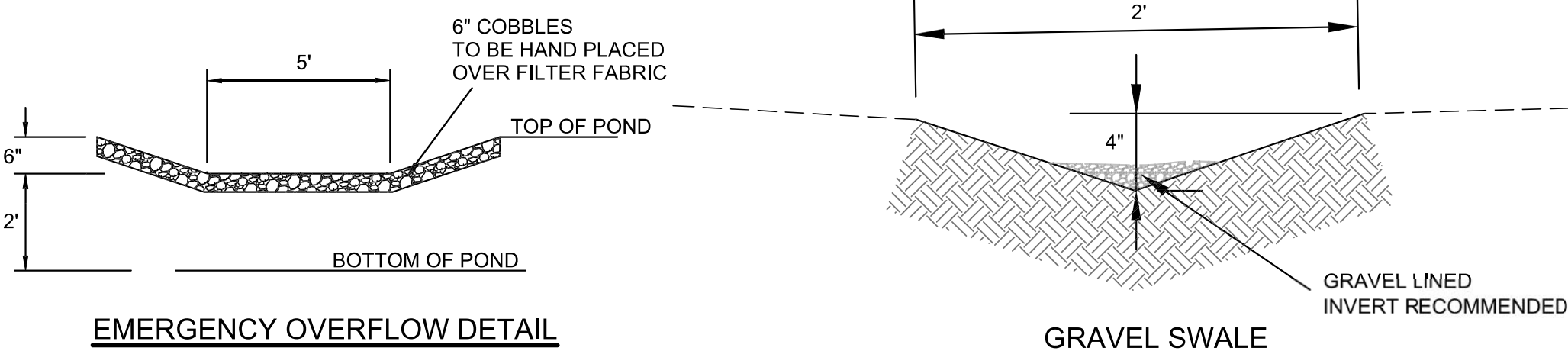
$$Q = 2.95 * 2 * ((0.67)^3 / (3 * 2)) = 3.23 \text{ CFS.}$$



ROCK PLATING DETAIL

NTS

CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



EMERGENCY OVERFLOW DETAIL

NTS

CAUTION:

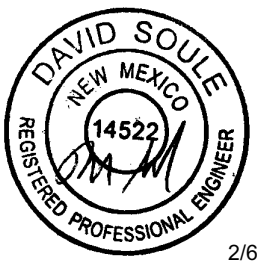
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



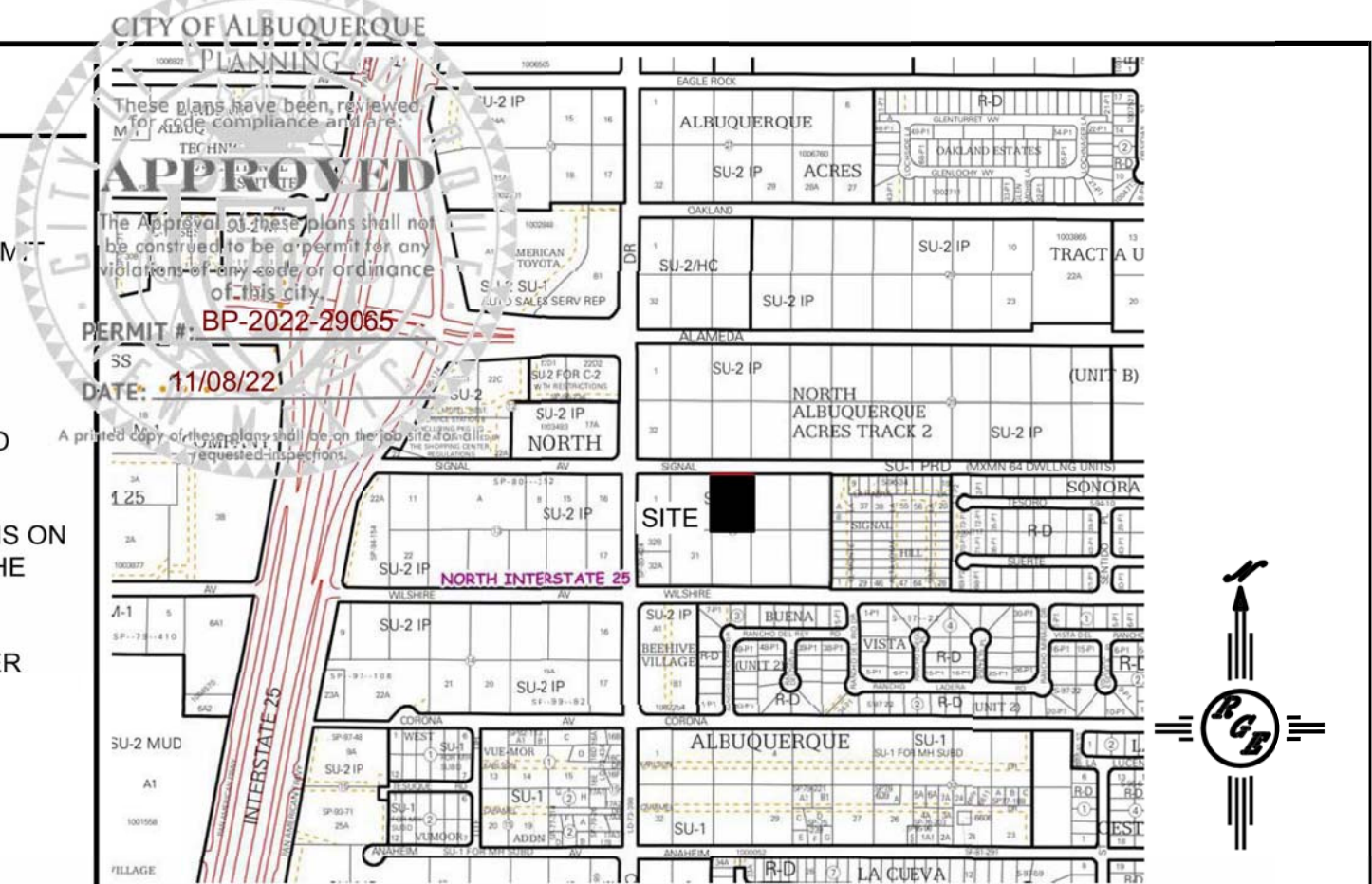
11/20/2024

DATE:

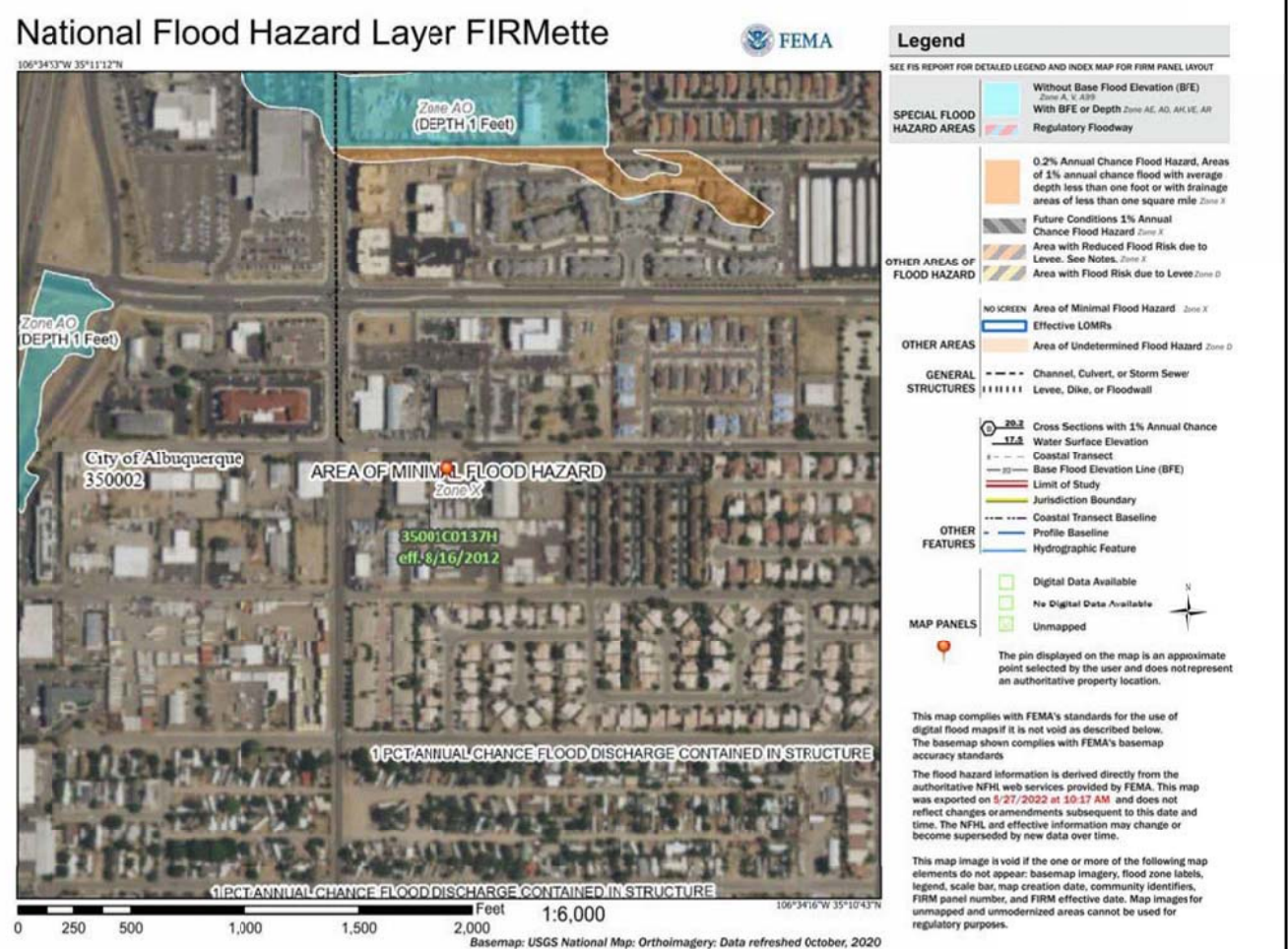
I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 5/29/22. The certification is submitted in support of a request for CERTIFICATE OR OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project.



2/6/25



VICINITY MAP:



FIRM MAP:

LEGAL DESCRIPTION:

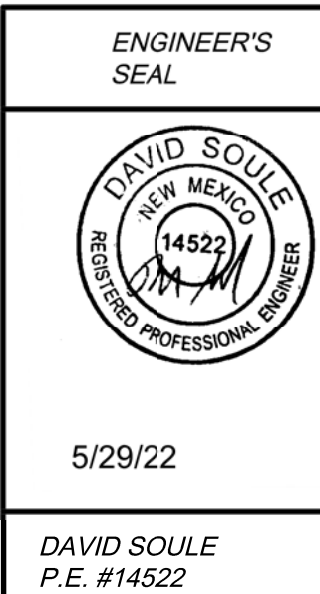
LOT 3, BLOCK 30 NORTH ALBUQUERQUE ACRES TRACT A UNIT B NORTH CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
+ XXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED GRAVEL SWALE
-----<-----	PROPOSED RETAINING WALL
-----<-----	PROPOSED CONCRETE
-----<-----	PROPOSED ROCK PLATING WITH SWALE



5/29/22

DAVID SOULE
P.E. #14522

ENGINEER'S SEAL	6100 SIGNAL AVE. NE	DRAWN BY DEM
	GRADING AND DRAINAGE PLAN	DATE 5-28-22
		10600 SIGNAL AVE. NW
		SHEET # C1
		JOB #