



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 21, 2001

Diane Hoelzer, P.E.
MARK GOODWIN & ASSOC.
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: HOLIDAY INN EXPRESS (C18-D048)
CERTIFICATE OF OCCUPANCY APPROVAL-Temporary
ENGINEERS STAMP Dated 12/2/1998
ENGINEERS CERTIFICATION Dated 3/19/2001

Dear Ms. Hoelzer:

Based on the information provided on your March 20, 2001 submittal, the above referenced project is approved for a 60-day TEMPORARY Certificate of Occupancy.

A Temporary Certificate of Occupancy has been issued for 60 days, allowing the remaining drainage issues to be completed within this time scope. When these remaining issues have been fully completed, are in substantial compliance, and an Engineers Certification has been resubmitted to the City's Hydrology office for approval, a Permanent Certificate of Occupancy will be issued.

If I can be of further assistance, please feel free to contact me at 924-3986.

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, P.E.
Senior Civil Engineer, Hydrology
C.O.A./Public Works Department

c: Teresa Martin
Vickie Chavez
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	<u>HOLIDAY INN EXPRESS</u>	ZONE ATLAS#:	<u>C18-D48</u>
DRB#:	<u>EPC#</u>	WORKORDER#:	<u></u>
LEGAL DESCRIPTION:	<u>N.A.A. Tract A, Unit B, Block 11, Lot 30-A</u>		
CITY ADDRESS:	<u>Alameda Blvd., between San Mateo and I-25</u>		

ENGINEERING FIRM:	<u>Mark Goodwin & Associates, PA</u>	CONTACT:	<u></u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>Mohammed Kassam</u>	CONTACT:	<u>Aleem</u>
ADDRESS:	<u></u>	PHONE:	<u>933-4192</u>
ARCHITECT:	<u></u>	CONTACT:	<u></u>
ADDRESS:	<u></u>	PHONE:	<u></u>
SURVEYOR:	<u>Southwest Survey</u>	CONTACT:	<u>Dan Graney</u>
ADDRESS:	<u>333 Lomas NE, 87102</u>	PHONE:	<u>247-4444</u>
CONTRACTOR:	<u>Indian Investors Inc.</u>	CONTACT:	<u>Rajan G. Pilai</u>
ADDRESS:	<u>8234 Calle Primera NW, ABQ, NM 87120</u>	PHONE:	<u></u>

TYPE OF SUBMITTAL:

<u></u>	DRAINAGE REPORT
<u></u>	DRAINAGE PLAN
<u></u>	CONCEPTUAL GRADING & DRAINAGE PLAN
<u>X</u>	GRADING PLAN
<u></u>	EROSION CONTROL
<u></u>	ENGINEER'S CERTIFICATION
<u></u>	OTHER
<u></u>	EASEMENT VACATION

PRE-DESIGN MEETING:

<u></u>	YES
<u></u>	NO
<u></u>	COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

<u></u>	SKETCH PLAT APPROVAL
<u></u>	PRELIMINARY PLAT APPROVAL
<u></u>	S. DEV. PLAN FOR SUB'D APPROVAL
<u></u>	S. DEV. PLAN FOR BLDG PERMIT APPROVAL
<u></u>	SECTOR PLAN APPROVAL
<u></u>	FINAL PLAT APPROVAL
<u></u>	FOUNDATION PERMIT APPROVAL
<u></u>	BUILDING PERMIT APPROVAL
<u>X</u>	CERTIFICATION OF OCCUPANCY APPROVAL (temporary)
<u></u>	GRADING PERMIT APPROVAL
<u></u>	PAVING PERMIT APPROVAL
<u></u>	S.A.D. DRAINAGE REPORT
<u></u>	DRAINAGE REQUIREMENTS
<u></u>	OTHER
<u></u>	RELEASE OF FINANCIAL GUARANTY
<u></u>	TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: March 20, 2001

BY: *Dane Hoelz*

R **RECEIVE** **D**
MAR 20 2001
HYDROLOGY SECTION



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 23, 2000

Diane Holzer, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

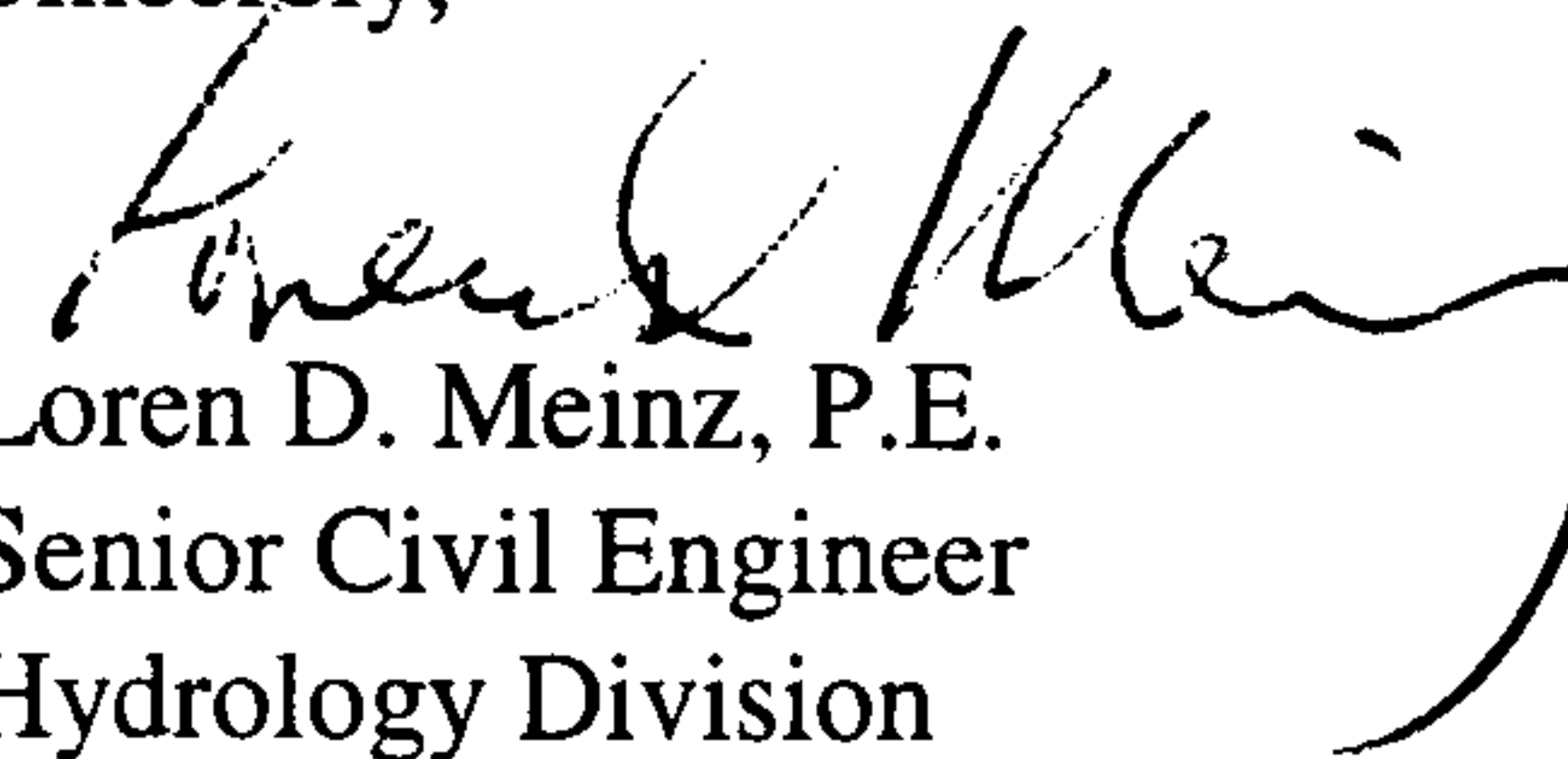
RE: HOLIDAY INN EXPRESS (Alameda Blvd) (C-18/D48)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEER'S STAMP DATED 12/2/1998
ENGINEER'S CERTIFICATION DATED 3/19/2001 and 4/20/2001

Dear Ms. Holzer:

Based upon the information provided in your submittal dated April 20, 2001, the above referenced site is approved for Permanent Certificate of Occupancy.

If you have any questions, please call me at 924-3980.

Sincerely,


Loren D. Mainz, P.E.
Senior Civil Engineer
Hydrology Division

c: Vickie Chavez, COA
Teresa Martin, COA
file

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	<u>HOLIDAY INN EXPRESS</u>	ZONE ATLAS#:	<u>C18-D48</u>
DRB#:	<u>EPC#</u>	WORKORDER#:	<u></u>
LEGAL DESCRIPTION:	<u>N.A.A. Tract A, Unit B, Block 11, Lot 30-A</u>		
CITY ADDRESS:	<u>Alameda Blvd., between San Mateo and I-25</u>		

ENGINEERING FIRM:	<u>Mark Goodwin & Associates, PA</u>	CONTACT:	<u></u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>Mohammed Kassam</u>	CONTACT:	<u>Aleem</u>
ADDRESS:	<u></u>	PHONE:	<u>933-4192</u>
ARCHITECT:	<u></u>	CONTACT:	<u></u>
ADDRESS:	<u></u>	PHONE:	<u></u>
SURVEYOR:	<u>Southwest Survey</u>	CONTACT:	<u>Dan Graney</u>
ADDRESS:	<u>333 Lomas NE, 87102</u>	PHONE:	<u>247-4444</u>
CONTRACTOR:	<u>Indian Investors Inc.</u>	CONTACT:	<u>Rajan G. Pilai</u>
ADDRESS:	<u>8234 Calle Primera NW, ABQ, NM 87120</u>	PHONE:	<u></u>

TYPE OF SUBMITTAL:

<u></u>	DRAINAGE REPORT
<u></u>	DRAINAGE PLAN
<u></u>	CONCEPTUAL GRADING & DRAINAGE PLAN
<u>X</u>	GRADING PLAN
<u></u>	EROSION CONTROL
<u></u>	ENGINEER'S CERTIFICATION
<u></u>	OTHER
<u></u>	EASEMENT VACATION

PRE-DESIGN MEETING:

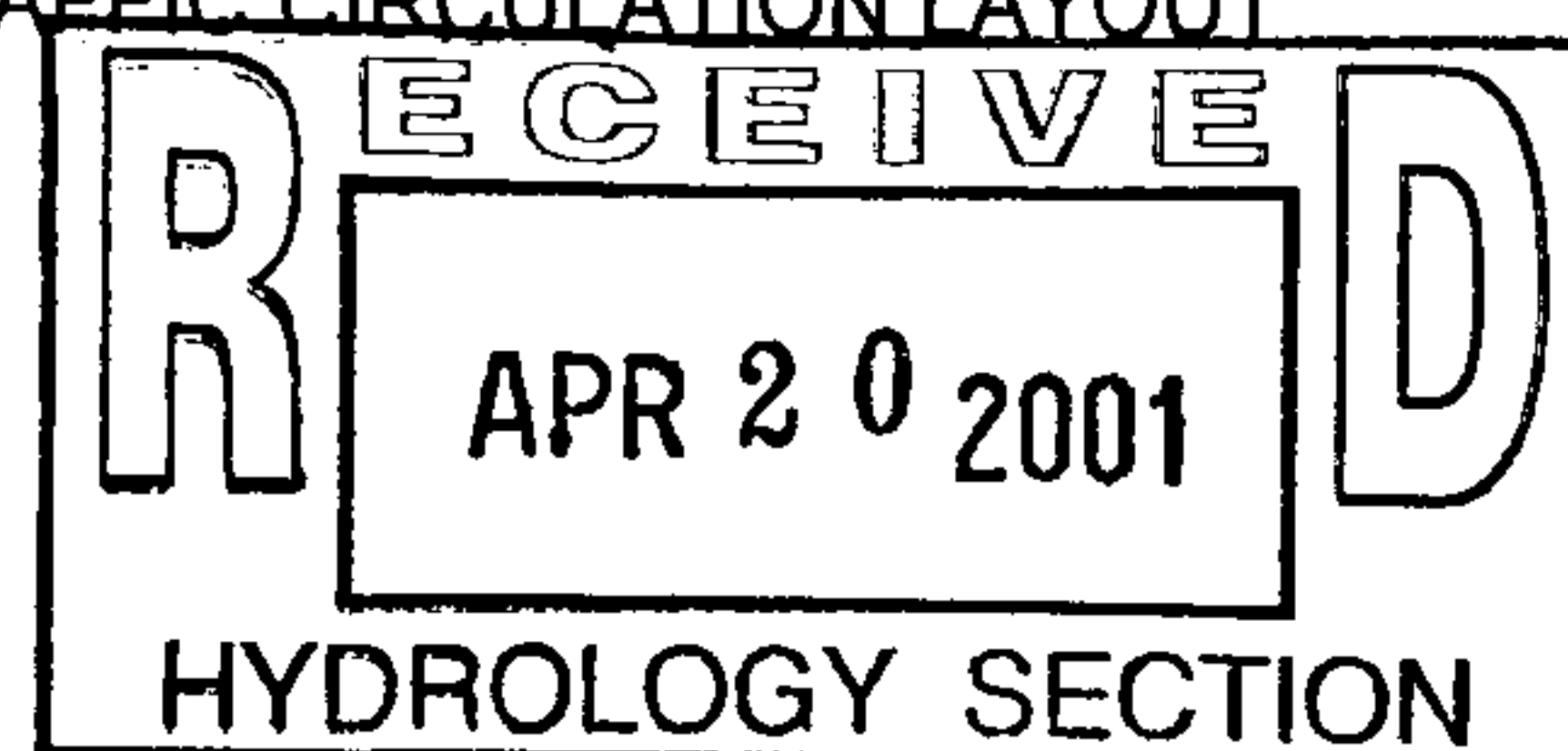
<u></u>	YES
<u></u>	NO
<u></u>	COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

<u></u>	SKETCH PLAT APPROVAL
<u></u>	PRELIMINARY PLAT APPROVAL
<u></u>	S. DEV. PLAN FOR SUB'D APPROVAL
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<u></u>	GRADING PERMIT APPROVAL
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<u></u>	S.A.D. DRAINAGE REPORT
<u></u>	DRAINAGE REQUIREMENTS
<u></u>	OTHER
<u></u>	RELEASE OF FINANCIAL GUARANTY
<u></u>	TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: April 20, 2001

BY: *Diane Hoehn*





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 3, 1998

Diane Hoelzer
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, New Mexico 87199

RE : REVISED DRAINAGE PLAN FOR HOLIDAY INN EXPRESS ON ALAMEDA
(C18-D48) REVISION DATED 12/2/98

Dear Ms. Hoelzer:

Based on the information provided on your December 2, 1998 resubmittal, the above referenced site is approved for Building Permit, and Rough Grading Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, the following must be submitted prior to Certificate of Occupancy release:

1. Engineer Certification per the DPM checklist.
2. Confirmation that the plug and the pump sump at the Ramada Inn has been installed and is operating.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File ✓

Sincerely

Bernie J. Montoya CE
Associate Engineer

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Holiday Inn Express ZONE ATLAS/DRNG, FILE#: C-18/D-48
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: N.A.A. Tract A Unit B Block 11, Lot 30-B
CITY ADDRESS: Alameda Blvd., between San Mateo Road and I-25
ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Diane Hoelzer, PE
ADDRESS: PO Box 90606 ABQ NM 87199 PHONE: 828-2200
OWNER: Mohammed Kassam CONTACT: _____
ADDRESS: _____ PHONE: 294-3297
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

____ DRAINAGE REPORT
X DRAINAGE PLAN (revised)
____ CONCEPTUAL GRADING & DRAINAGE PLAN
X GRADING PLAN (revised)
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ OTHER

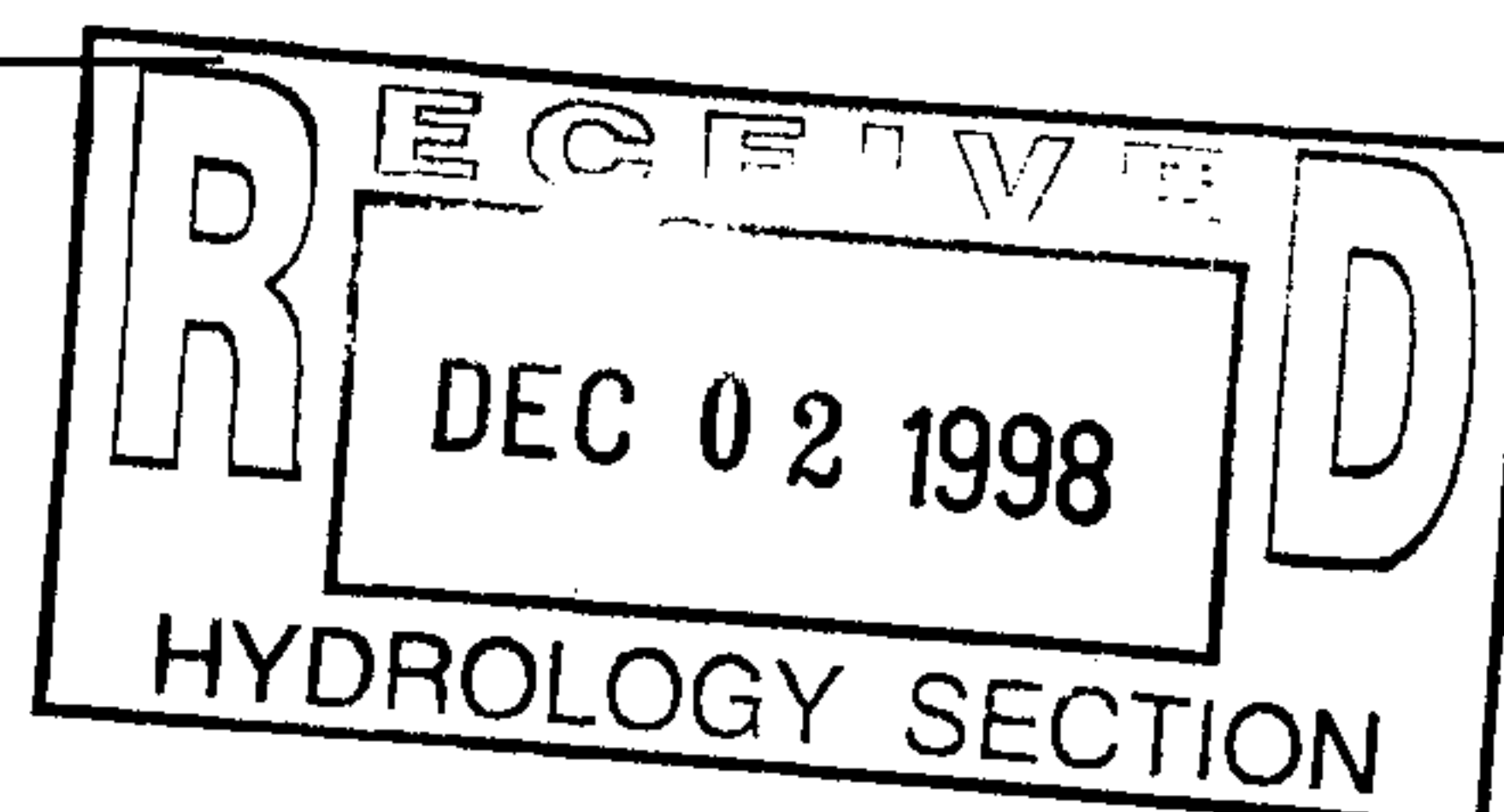
____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ CERTIFICATION OF OCCUPANCY APPROVAL
X GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
____ OTHER _____ (Specify)

PRE-DESIGN MEETING:

____ YES
X NO
____ COPY PROVIDED

DATE SUBMITTED: 12-2-98

BY: Diane Hoelzer
Diane Hoelzer, PE





November 27, 1998

Diane Hoelzer
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: DRAINAGE PLAN FOR HOLIDAY INN EXPRESS ON ALAMEDA (C18-D)⁴⁸
ENGINEER'S STAMP DATED 11/19/98

Dear Ms. Hoelzer:

Based on the information provided on your November 19, 1998 submittal, the above referenced site is approved for Building Permit, and Rough Grading Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, the following must be submitted prior to Certificate of Occupancy release:

1. Engineer Certification per the DPM checklist.
2. Confirmation that the plug and the pump sump at the Ramada Inn has been installed and is operating.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File ✓

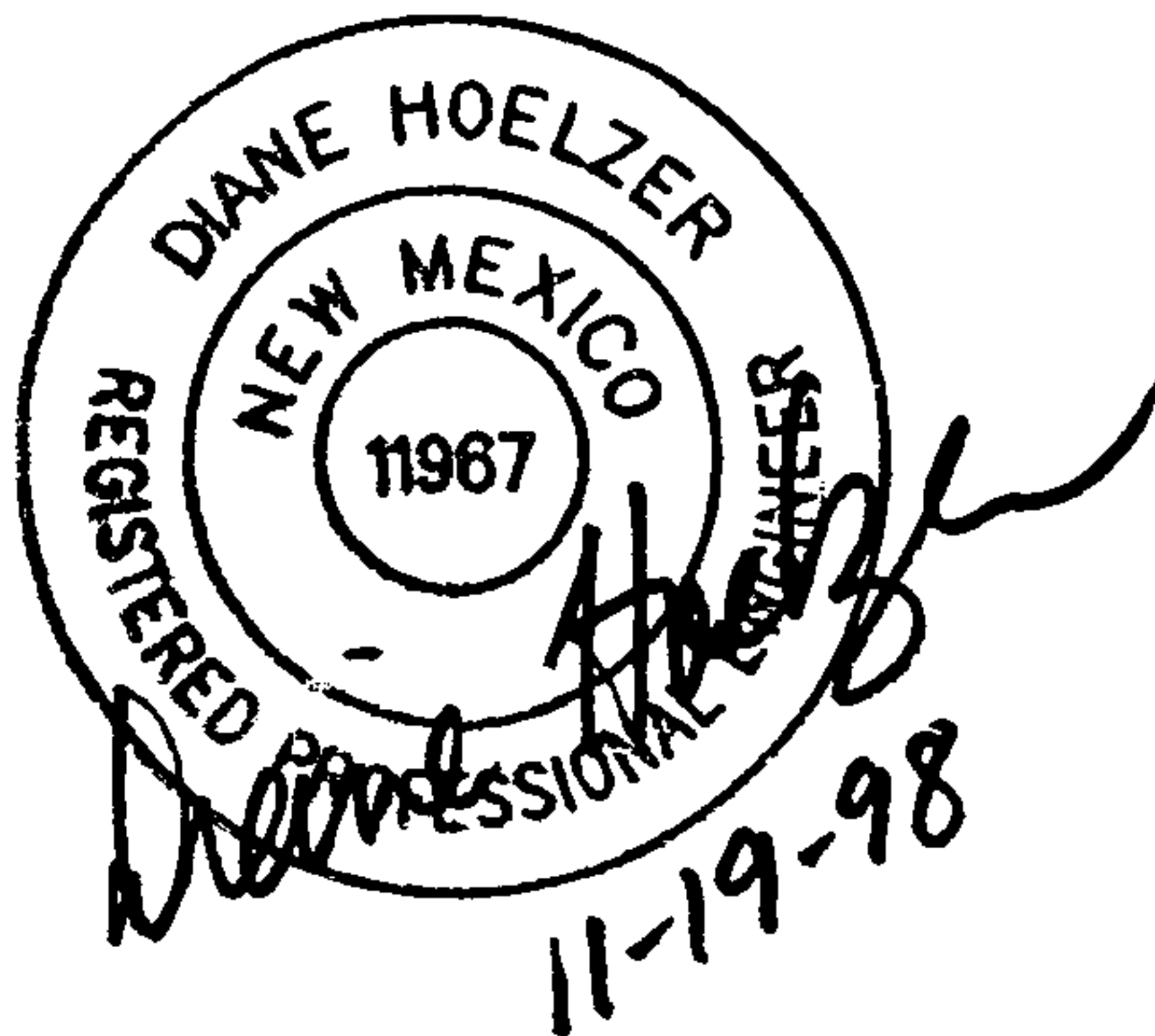
Sincerely

Bernie J. Montoya CE
Associate Engineer

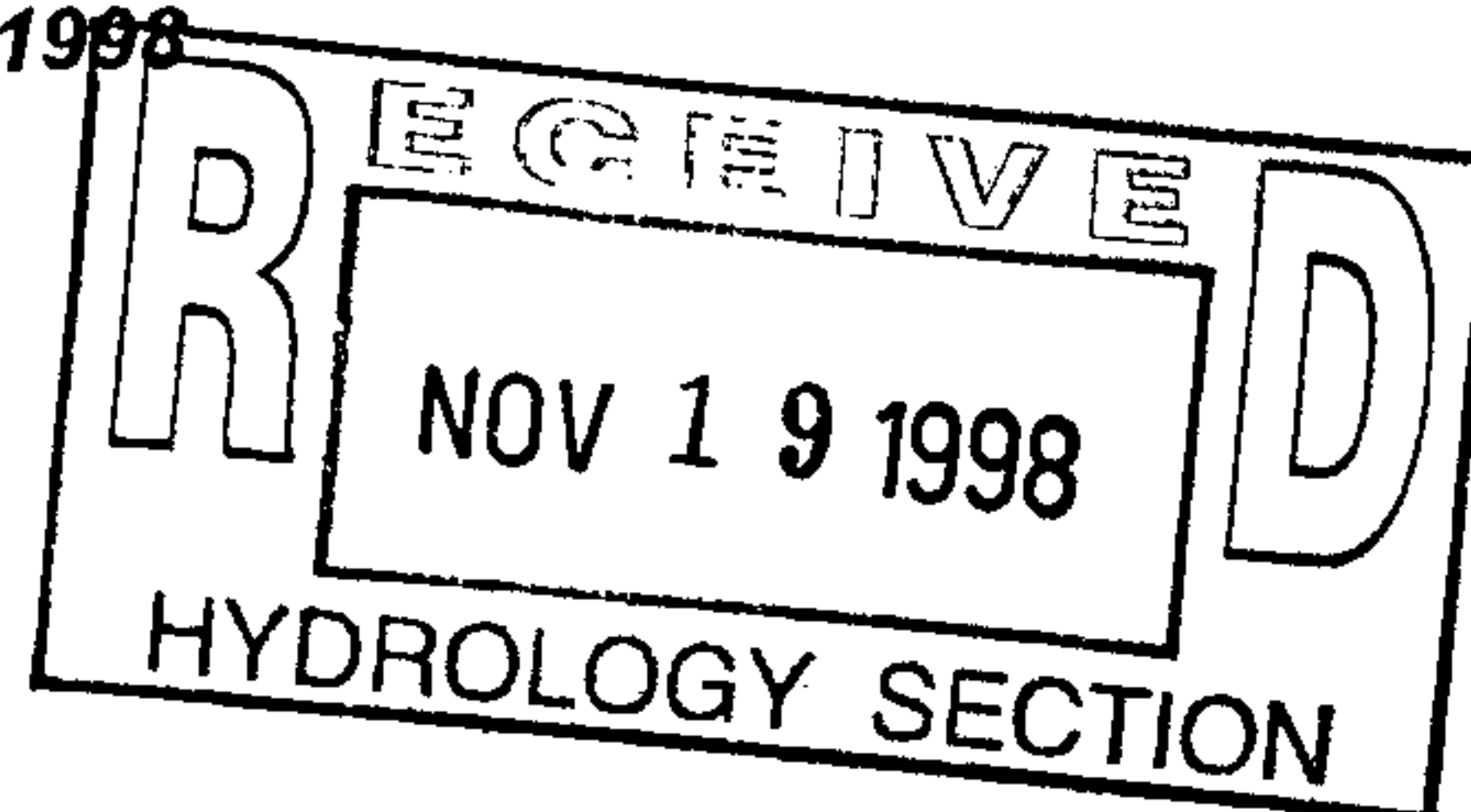
Good for You, Albuquerque!



DRAINAGE REPORT
FOR
HOLIDAY INN EXPRESS
(WEST OF I-25)



NOVEMBER 1998



I. PROJECT DESCRIPTION

This drainage plan is for a Holiday Inn Express site to be constructed adjacent to the recently constructed Phillips 66 Gas Station on Alameda Blvd. just west of I-25. The site covers an approximate area of 1.0 acre and is bounded by Alameda Blvd. to the south, Oakland Avenue to the north Phillips 66 Gas Station to the east and vacant land to the west.

The northern half of the project site is shown to be in the 100-year floodplain with average flood depths of 1 foot (FIRM Panel 35001C0137D). Several LOMR requests are in various stages of review and may result in the removal of this site from the floodplain in the near future.

II. DRAINAGE DESIGN CRITERIA AND PREVIOUS REPORTS

The design criteria used in this report was in accordance with Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria, January 1993 edition. The 100-year 6-hour storm event was analyzed using $P(1 \text{ hr}) = 2.10"$ and $P(6 \text{ hr}) = 2.45"$. The Land Treatment values used were Treatment D=85, Treatment C=7.5 and Treatment B=7.5.

The Oakland Avenue Master Drainage Plan was prepared by Bordenave and approved in 1997 (C-18), (Project No. 556081) for an area bounded by San Mateo Avenue, Alameda Blvd., I-25 and Modesto Avenue. The approved plan which this site is a part of established an allowable discharge rate of 1.75 cfs per acre for most of the properties adjacent to Oakland Avenue. This approved plan established the allowable discharge from the proposed Holiday Express Inn site of 1.75 cfs.

III. EXISTING DRAINAGE CONDITIONS

Under existing drainage conditions, runoff from the project site flows in a general west to northwest direction toward Oakland Avenue. Ultimately runoff flows to Oakland Avenue and is intercepted by recently constructed inlets at the west end of Oakland at the San Mateo intersection. The "existing conditions" peak discharge is 1.74 cfs.

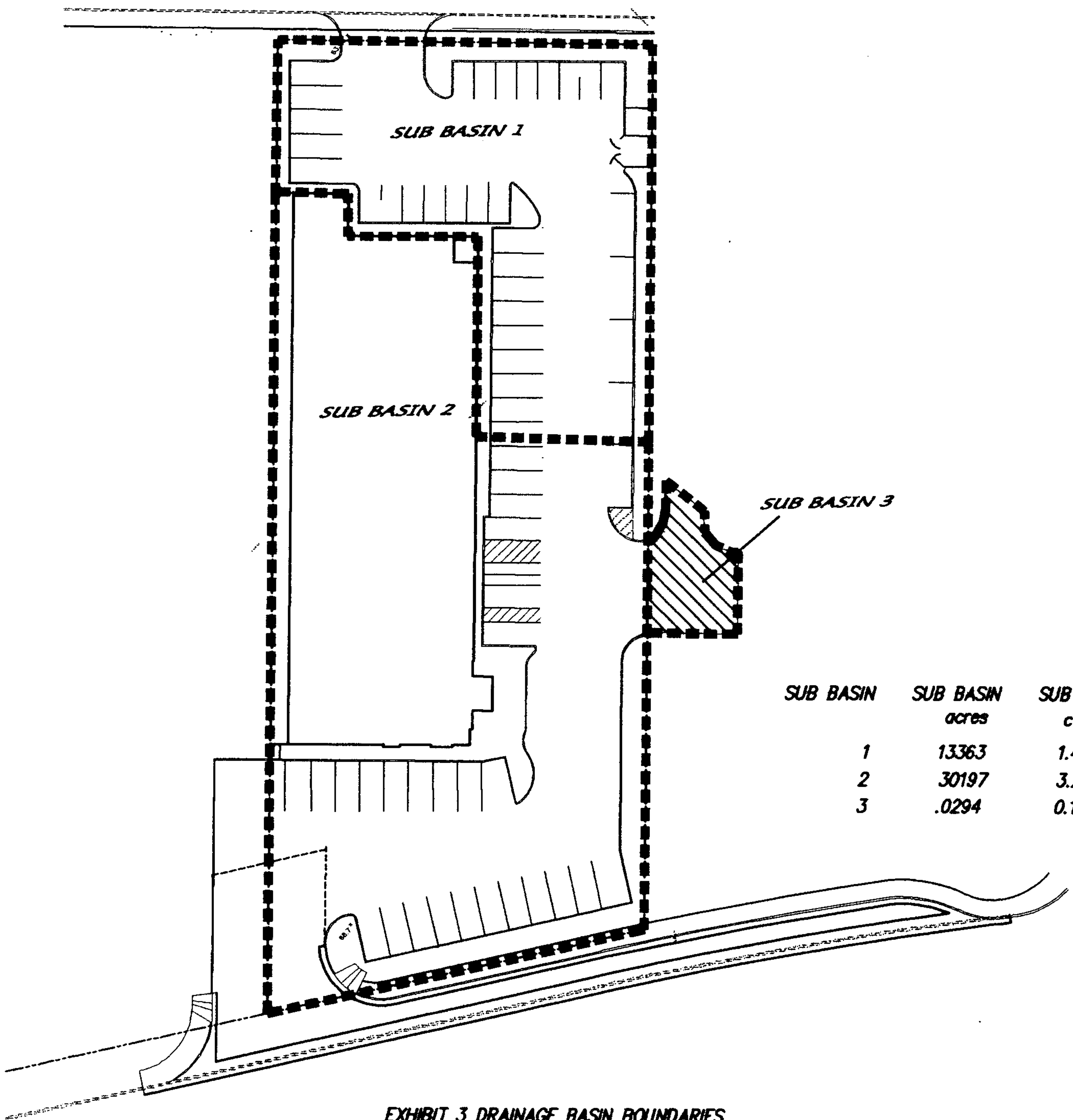
IV. DEVELOPED DRAINAGE CONDITIONS

The 100 year "developed conditions" peak discharge from the site is 4.64 cfs. In order to maintain acceptable grades between the driveway connections between the Phillips 66 site and this site a small portion of the pavement grades in the southwest corner of the Phillips 66 site will have to be re done. As a result a small amount of drainage from the Phillips 66 site (0.15cfs) will runoff onto the Holiday Express Inn site. This was taken into account in the overall drainage mangement plan (Refer to Exhibit 4).

The approved allowable discharge rate into Oakland Avenue for the adjacent sub-basins is 1.75 cfs per acre. This discharge rate is in accordance with the approved master drainage plan for Oakland Avenue (C-18). In this situation, typically an onsite detention pond would be required. However this site does not have adequate open space for construction of a detention pond. As an alternative, the existing detention pond on the Ramada Inn site located two lots east of this site will be utilized in this drainage management plan.

At the present time the Ramada Inn detains its stormwater in a pond and conveys a maximum allowable disharge of 3.36 cfs directly into the Alameda Storm Drain as approved in the 1995 Drainage Report for the Ramada Inn (C18/D33). This plan involves the change in location of stormwater interception by the Alameda storm drain from the Ramada Inn site to the Holiday Express Inn site. To accomplish this, the Ramada Inn detention pond outfall leading to the Alameda storm drain will be permanently blocked in exchange for free discharge of 3.36 cfs from the Holiday Express Inn site. The remaining 1.43 of the total 4.79 cfs from the onsite flows will runoff to Oakland Avenue as part of the 1.75 cfs allowable discharge from the site.

The Ramada Inn covering an approximate area of 1.79 acres will be allowed to discharge 1.75 cfs/acre into Oakland Avenue or a maximum of 3.13 cfs from the Detention pond using a pump. See Exhibit 4 for the drainage plan schematic.



SUB BASIN	SUB BASIN acres	SUB BASIN cfs
1	13363	1.43
2	30197	3.21
3	.0294	0.15

EXHIBIT 3 DRAINAGE BASIN BOUNDARIES

AHYMO SUMMARY TABLE (AHYMO194) - AMAFCA Hydrologic Model - January, 1994
 RUN DATE (MON/DAY/YR) =11/19/1998
 INPUT FILE = KASMOTEL.DAT
 USER NO. = M_GOODWN.I01

HYDROGRAPH COMMAND	HYD.NO.	NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	NOTATION
START TIME= .00									
RAINFALL TYPE= 1									
RAIN6= 2.450									
COMPUTE NM HYD	100.00	1	.00156	1.74	.049	.59368	1.532	1.741 PER IMP=	.00
COMPUTE NM HYD	101.00	1	.00048	1.43	.052	2.03551	1.499	4.669 PER IMP=	85.00
COMPUTE NM HYD	102.00	1	.00108	3.21	.118	2.03551	1.499	4.633 PER IMP=	85.00
COMPUTE NM HYD	103.00	1	.00005	.15	.005	2.19513	1.499	5.204 PER IMP=	98.00
FINISH									