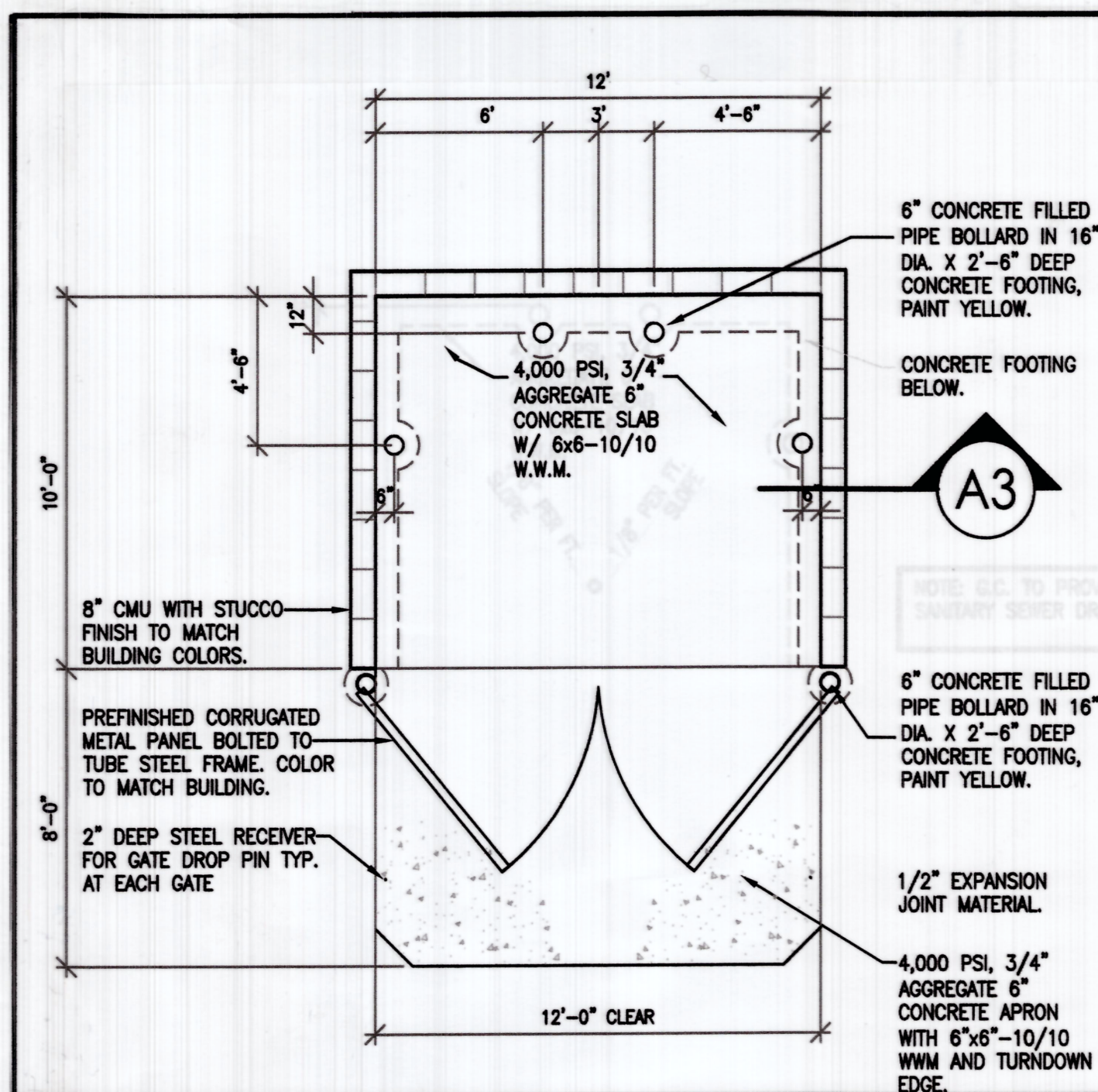
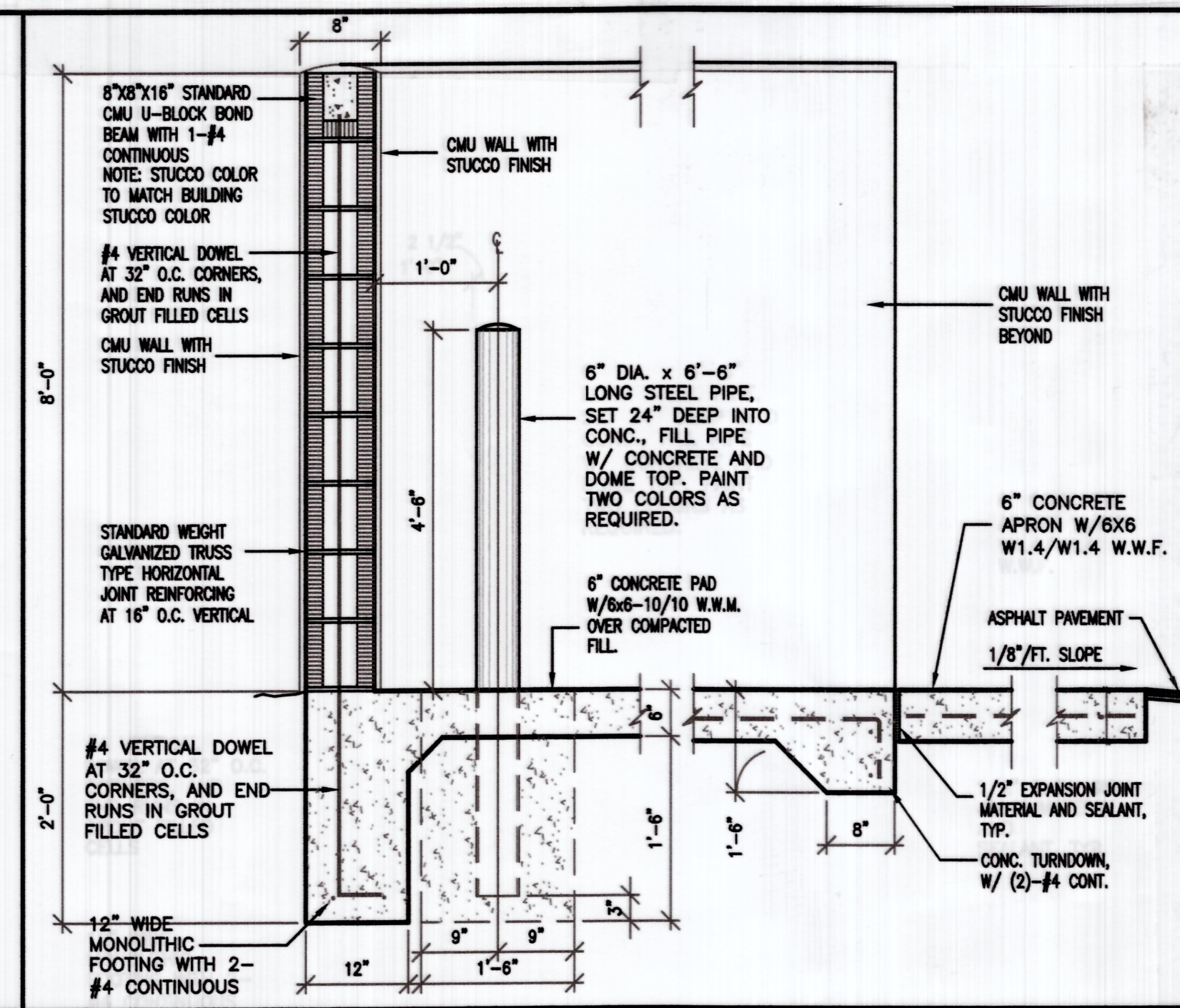
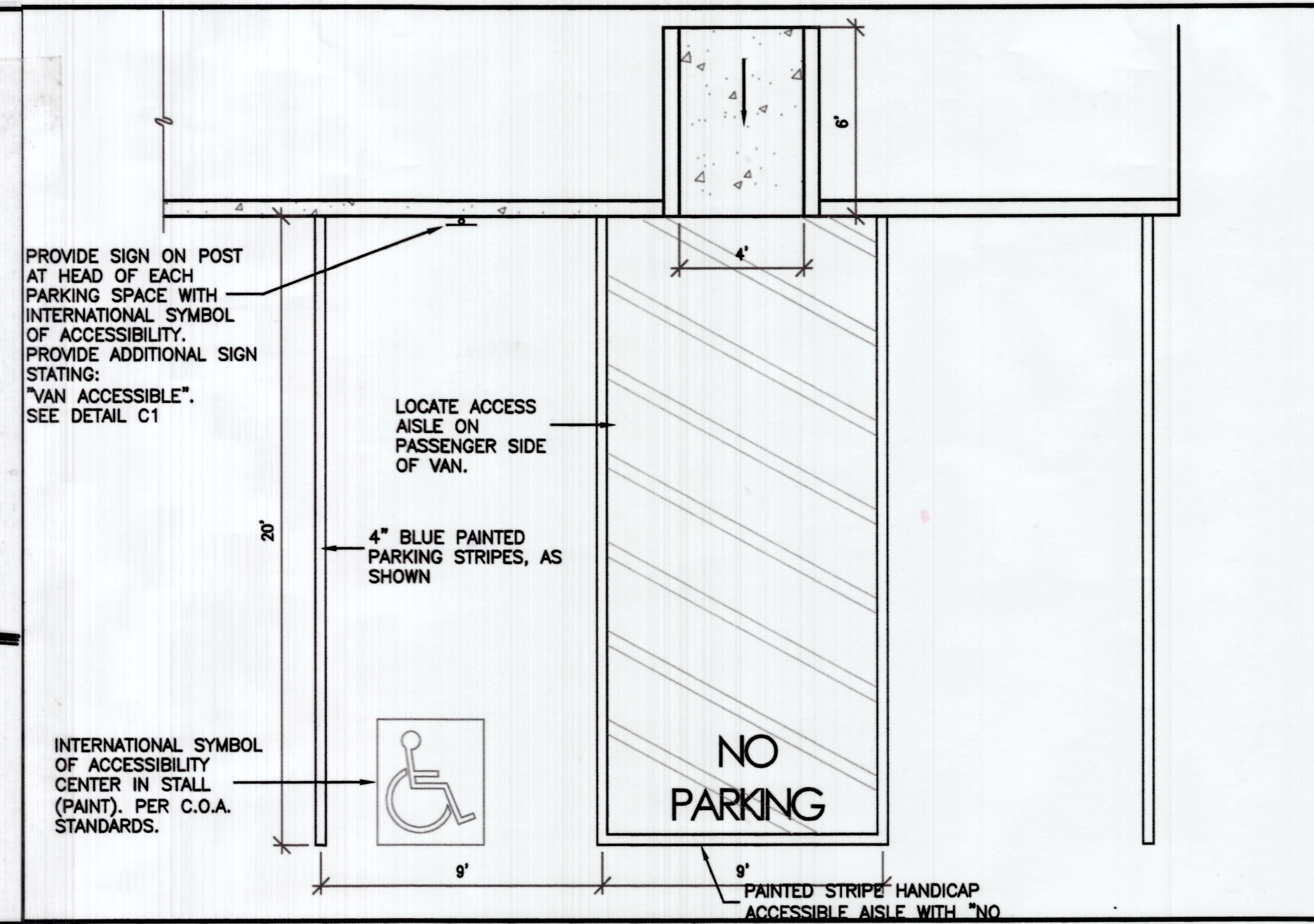




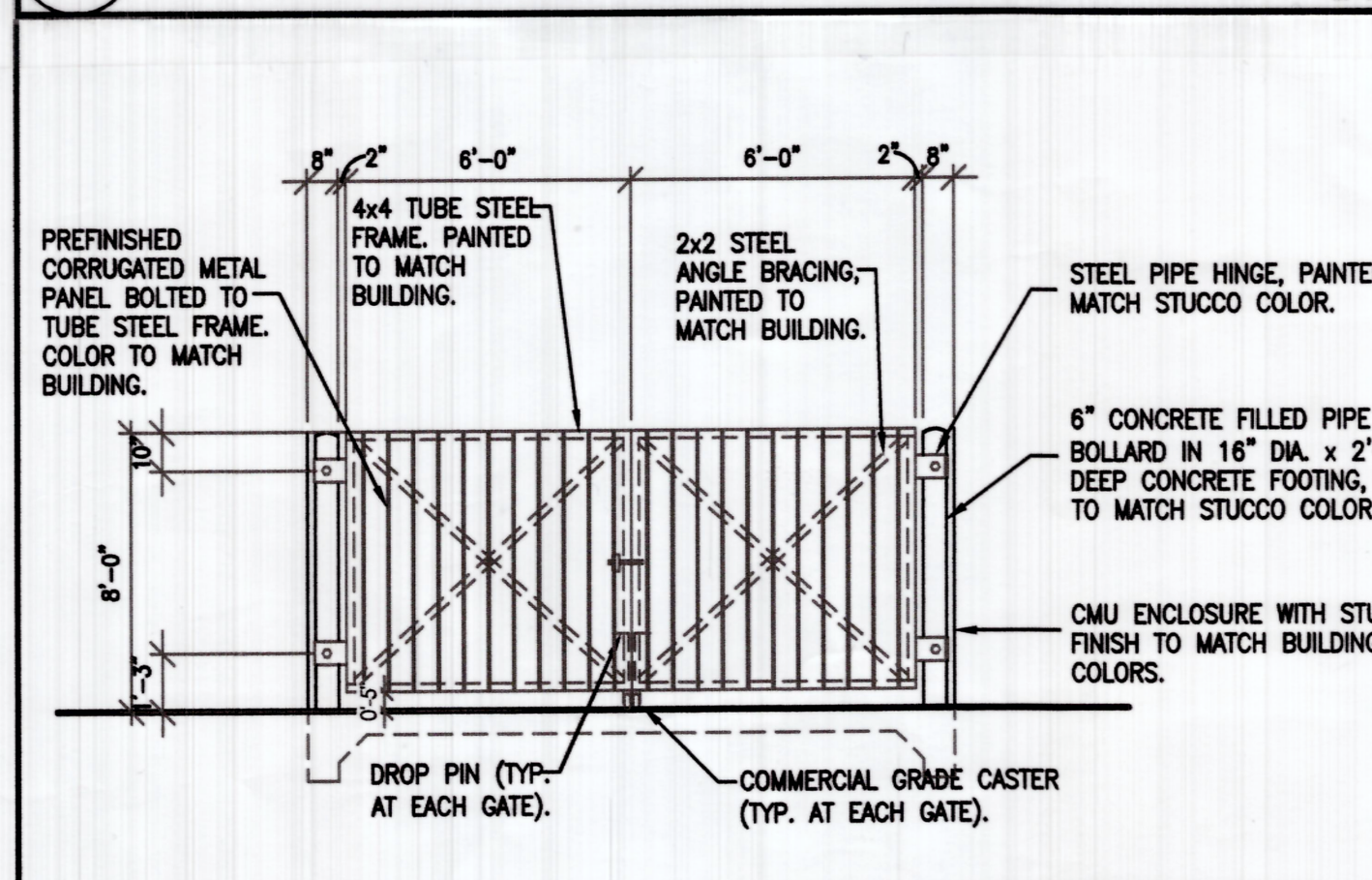
A1 REFUSE ENCLOSURE PLAN
1/4\"/>



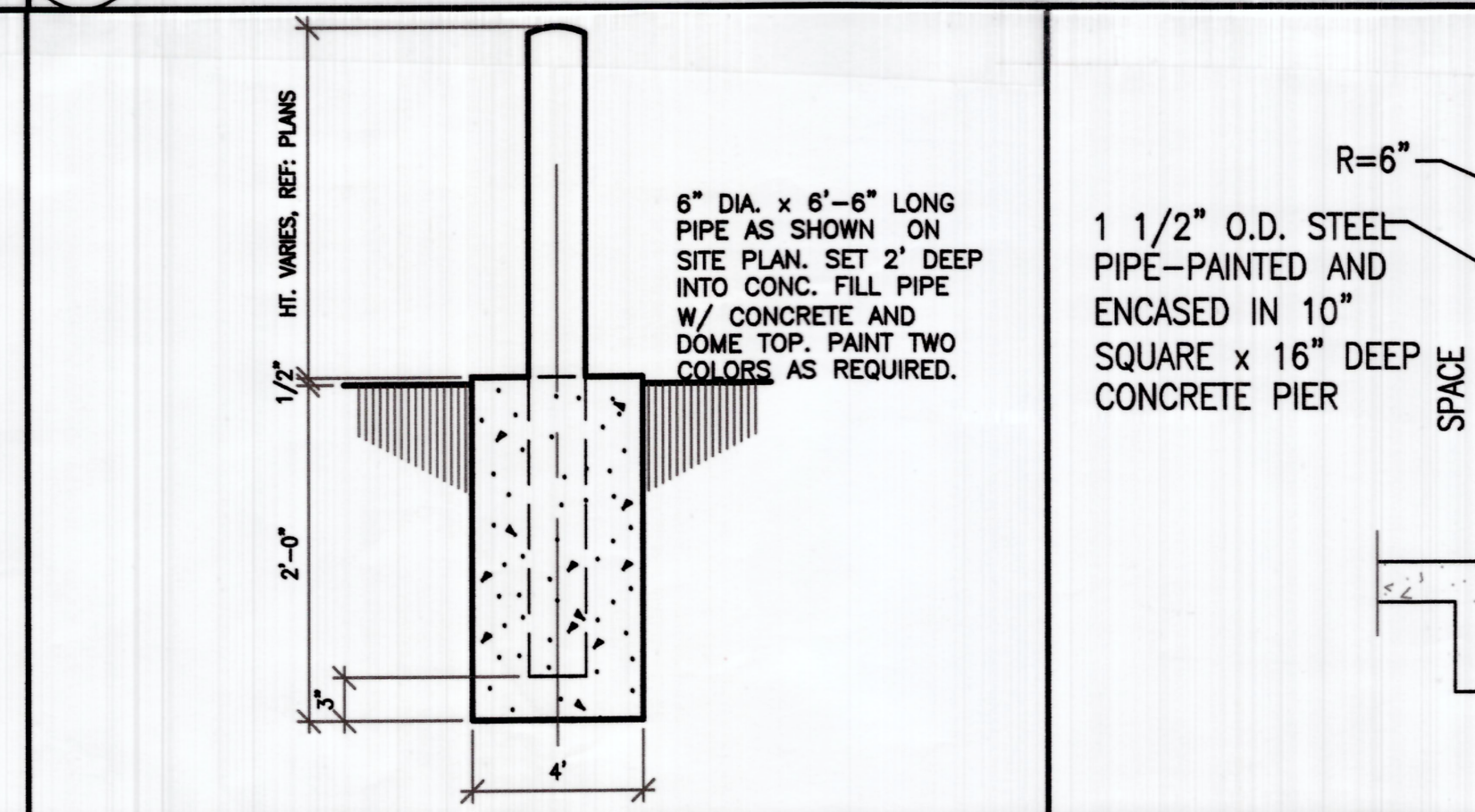
A3 ENCLOSURE CMU WALL DETAIL
3/4\"/>



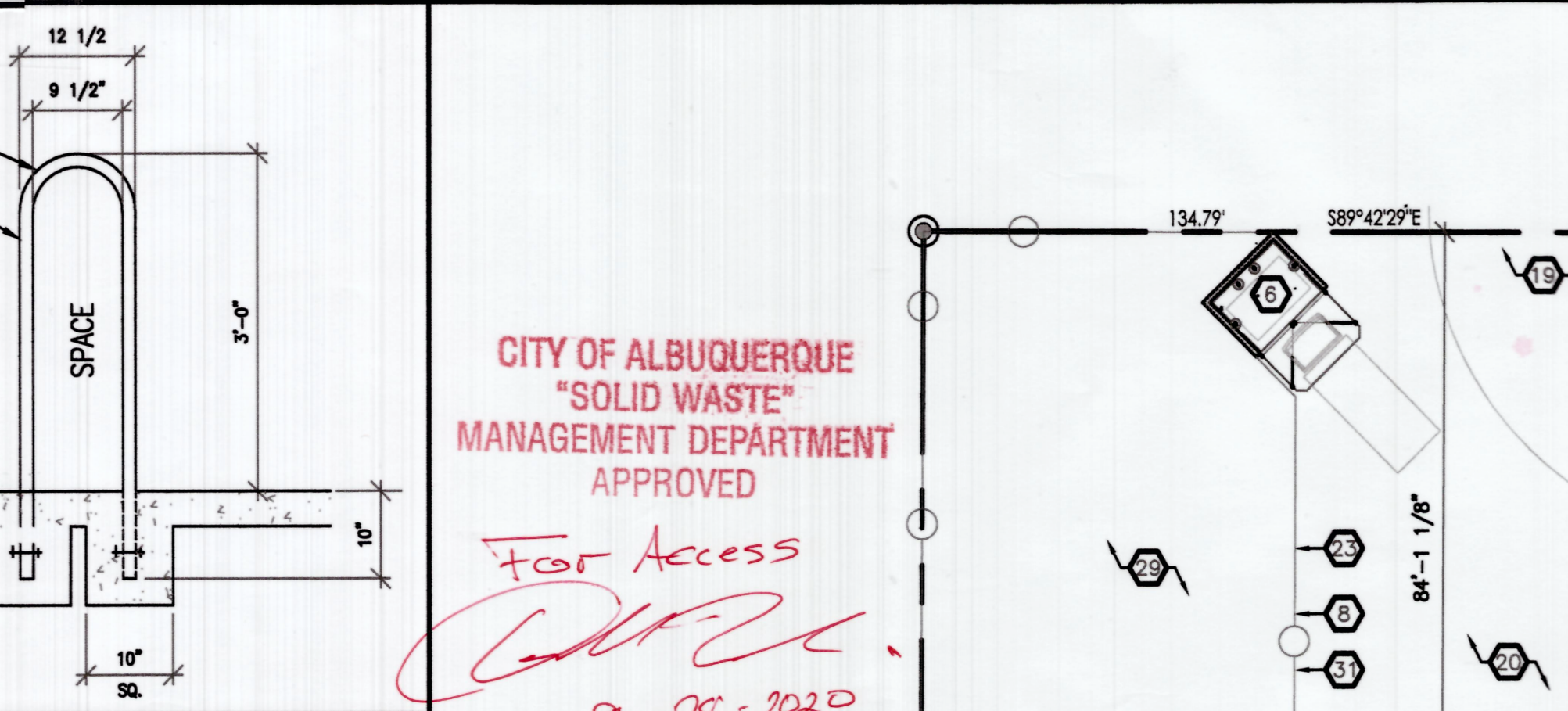
A5 HC PARKING STRIPING PLAN
1/4\"/>



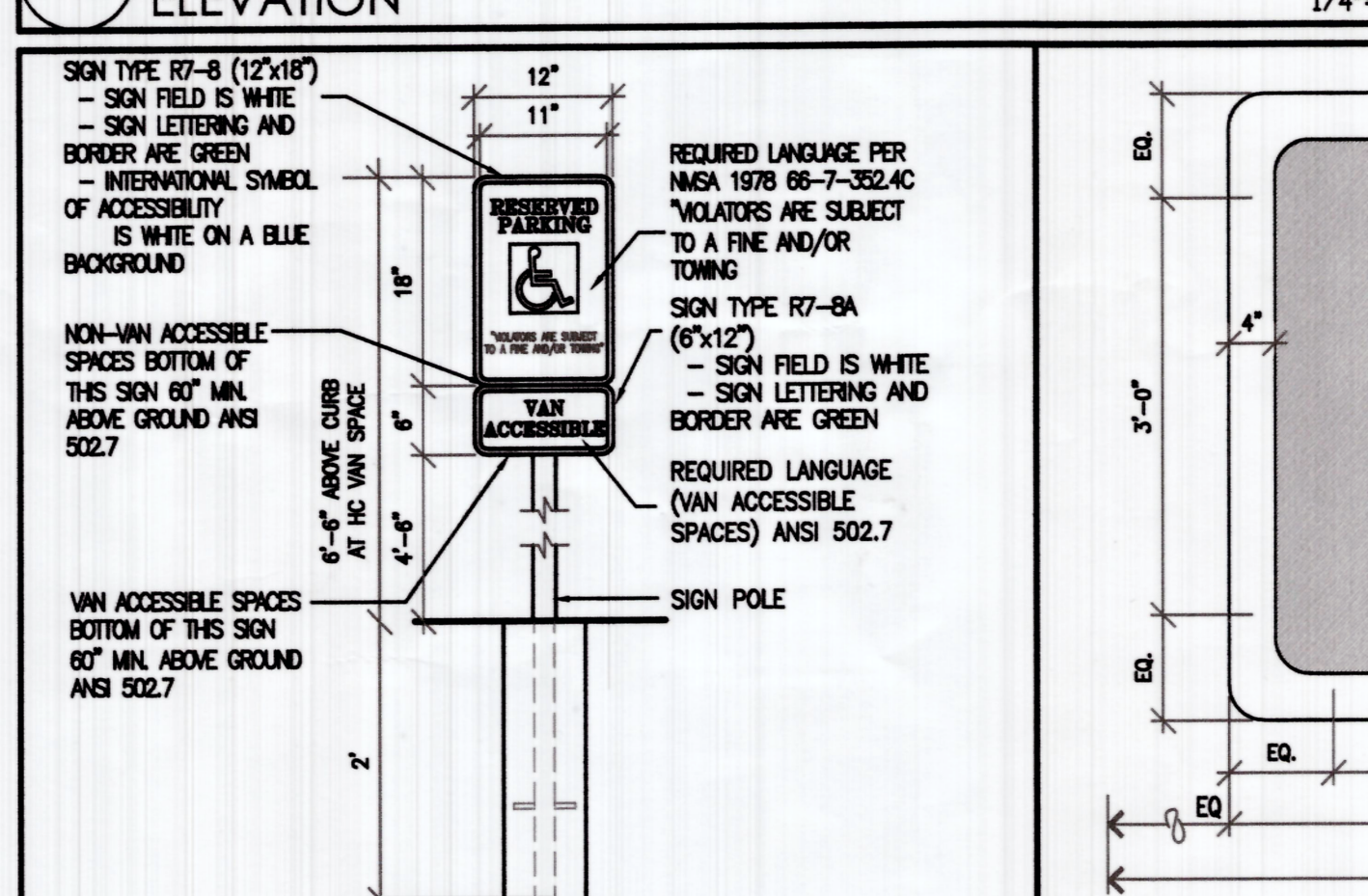
A2 REFUSE ENCLOSURE W/ RECYCLE AREA ELEVATION
1/4\"/>



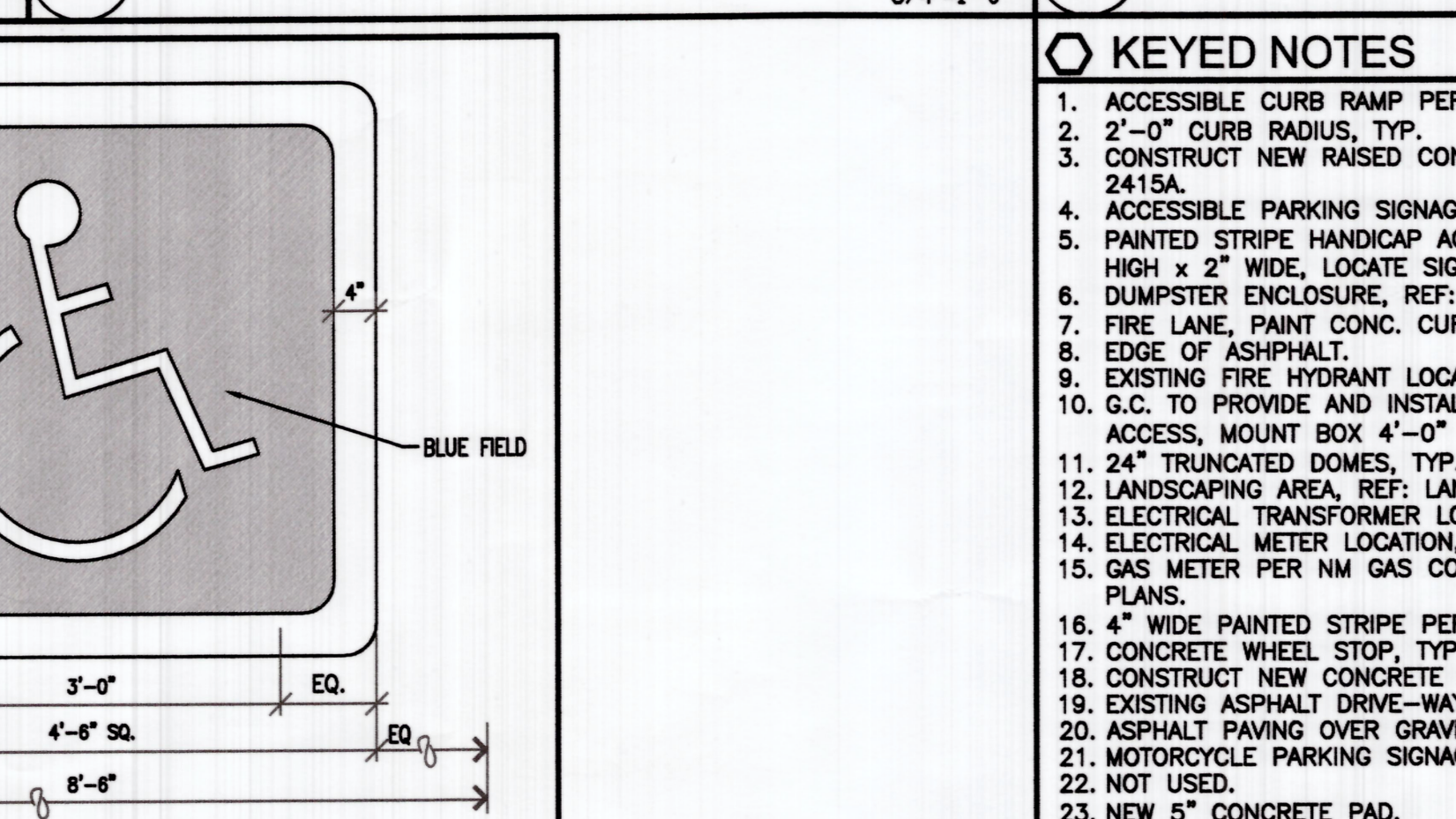
A4 BOLLARD DETAIL
3/4\"/>



C3 BIKE RACK ELEVATION
1/2\"/>



C1 HC PARKING SIGNAGE ELEVATIONS
3/4\"/>



C2 HC PARKING MARKING PLAN
3/4\"/>

GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 4' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMIS IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH X 1 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FIRE PLANS FOR QUANTITY AND LOCATIONS.
- ALL PENETRATIONS THROUGH A FIRE-RATED WALL ASSEMBLY TO BE FIRE-STOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.
- ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.

PARKING REQUIREMENTS PER THE IDO

I.D.O. PART 14-16-5, DEVELOPMENT STANDARDS
5-5: LIGHT VEHICLE REPAIR
PARKING & LOADING: 1 SPACE / 1,000 S.F. GFA
5,200 S.F. / 1,000 PERSONS = 5.2 PARKING SPACES (5)

REQUIRED PARKING: 5 SPACES
PROVIDED SPACES: 17 SPACES

I.D.O. PART 14-16-5, SEC. 5-5-4 (D): 1-25 SPACES = 1 MOTOR CYCLE SPACES PROVIDED 2 SPACES

I.D.O. PART 14-16-5, SEC. 5-5-5 (E): 3 SPACES OR 10% WHICH EVER IS GREATER SPACES: 3 BICYCLES PROVIDED

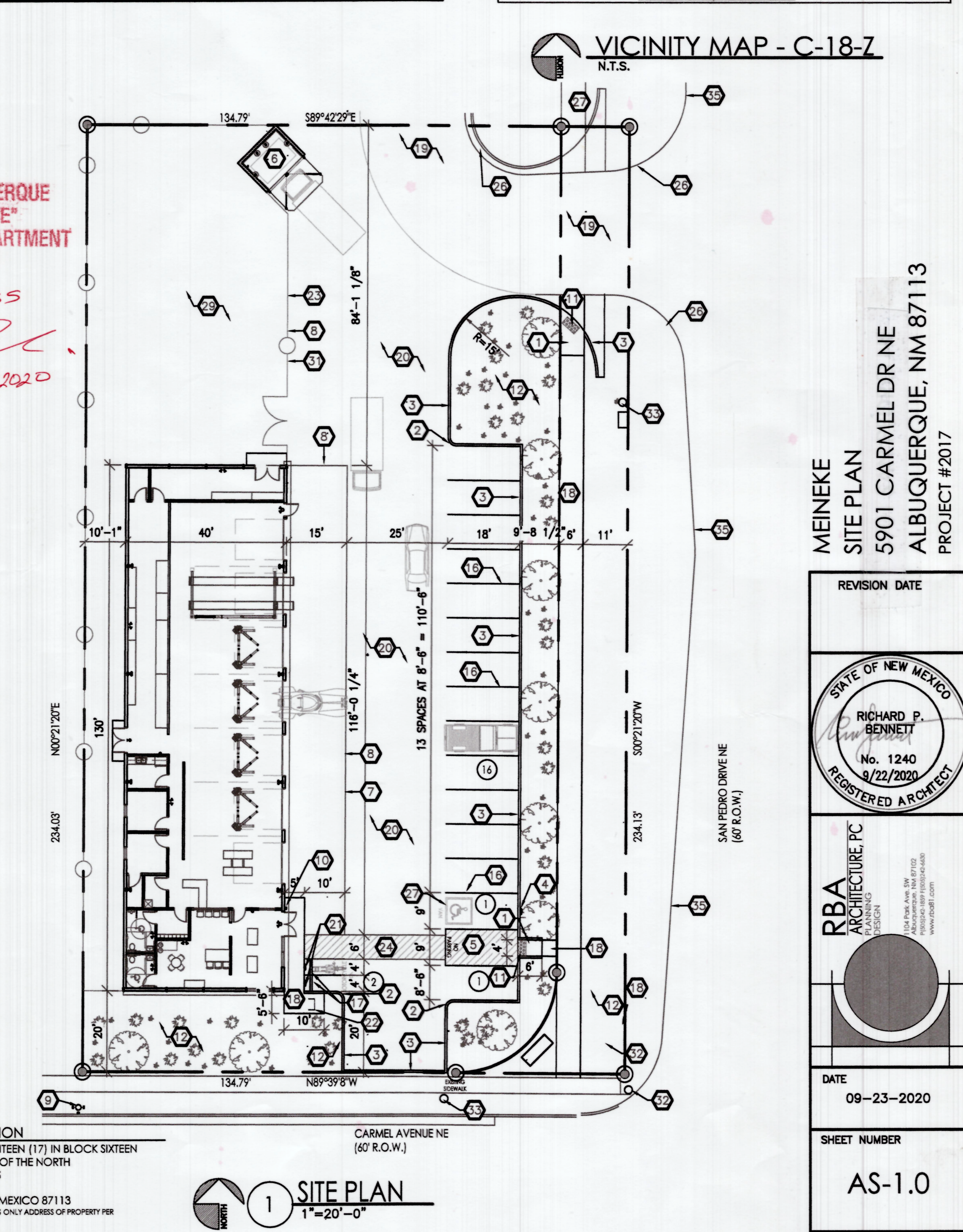
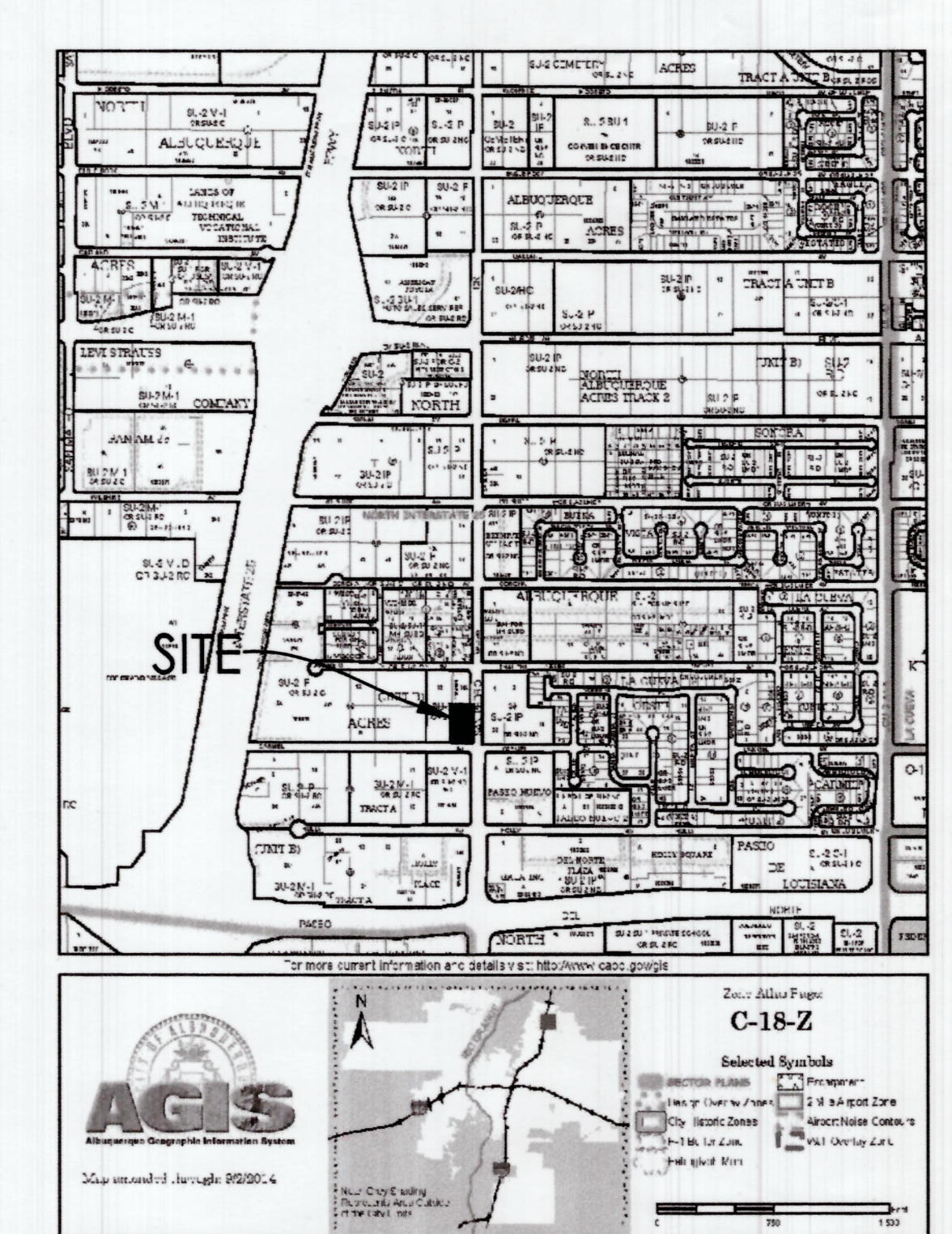
LANDSCAPING REQUIREMENTS

I.D.O. PART 14-16-5, DEVELOPMENT STANDARDS
5-6: LANDSCAPING, BUFFERING, AND SCREENING
MINIMUM LANDSCAPE AREA 5-6(C)(2)(c)
LANDSCAPING:

TOTAL LOT AREA:	27,437.508 S.F. (.72 ACRES)
TOTAL UNDER ROOF AREA:	5,200 S.F.
NET LOT AREA:	27,437.508 - 5,200 = 22,237 S.F.
LANDSCAPING REQUIRED:	22,237 x 15% = 3,335.55 S.F.
PROPOSED LANDSCAPING:	3,698 S.F. (REF: SITE PLAN)

LEGAL DESCRIPTION

LOT NUMBERED SEVENTEEN (17) IN BLOCK SIXTEEN (16), TRACT A, UNIT B, OF THE NORTH ALBUQUERQUE ACRES 5901 SAN PEDRO NE, ALBUQUERQUE, NEW MEXICO 87113 (FOR INFORMATIONAL PURPOSES ONLY ADDRESS OF PROPERTY PER COUNTY ASSESSOR'S TAX ROLL)



MEINEKE SITE PLAN
5901 CARMEL DR NE
ALBUQUERQUE, NM 87113
PROJECT #2017

REVISION	DATE	DESCRIPTION
1	09-23-2020	ISSUED FOR PERMIT

STATE OF NEW MEXICO
REGISTERED ARCHITECT
RICHARD P. BENNETT
No. 1240
8/22/2020

RBA ARCHITECTURE PC
1001 SAN PEDRO DR NE, SUITE 100
ALBUQUERQUE, NM 87113
(505) 261-1000
www.rbaarch.com

DATE
09-23-2020

SHEET NUMBER
AS-1.0