

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 6, 2022

David McEachern
RBA Architecture
1104 Park Ave. SW
Albuquerque NM 87102

Re: Meineke Car Care
5901 Carmel Ave. NE
Traffic Circulation Layout
Architect's Stamp 09-28-21 (C18-D049)

Dear Mr. McEachern,

The TCL submittal received 01-05-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

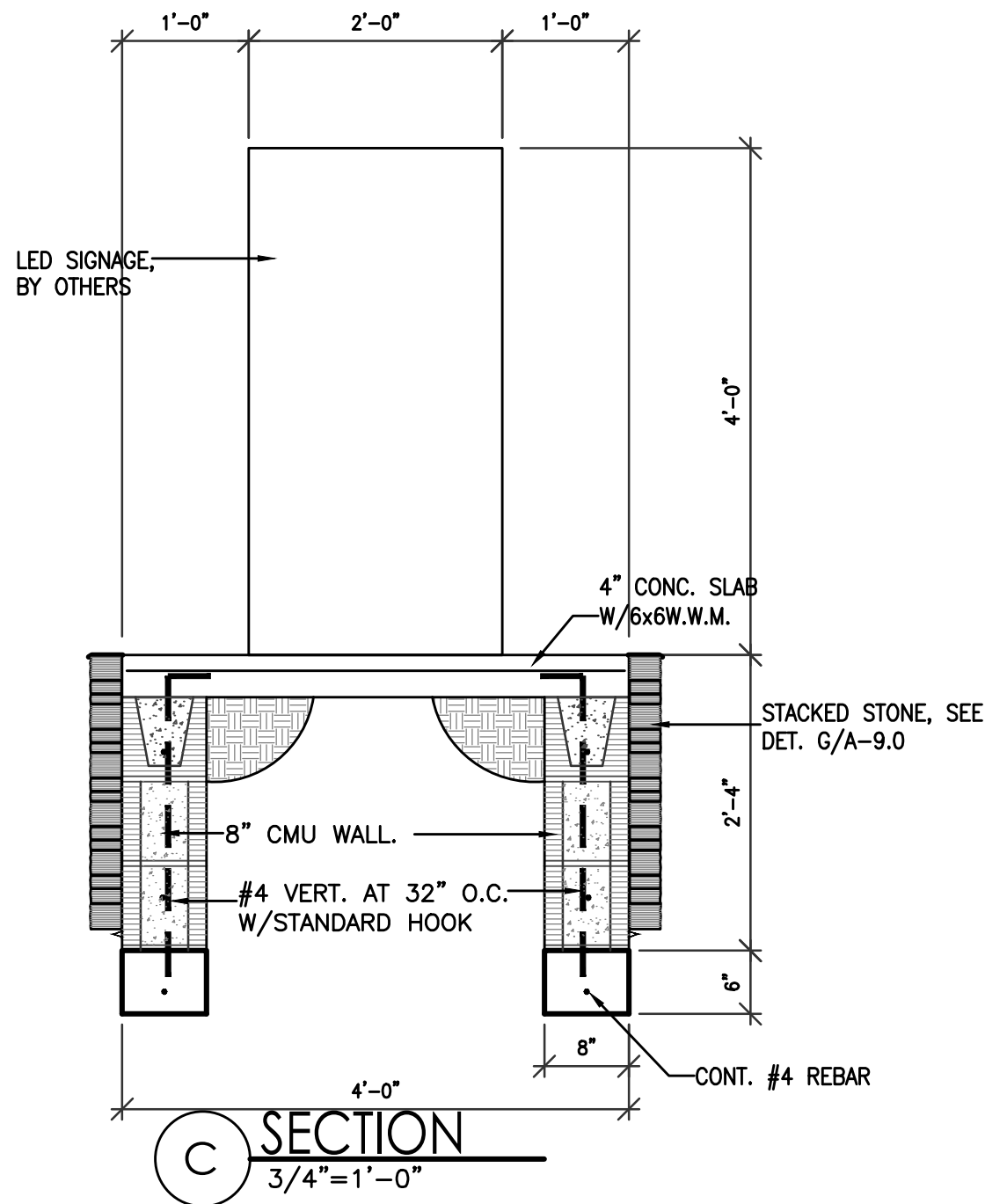
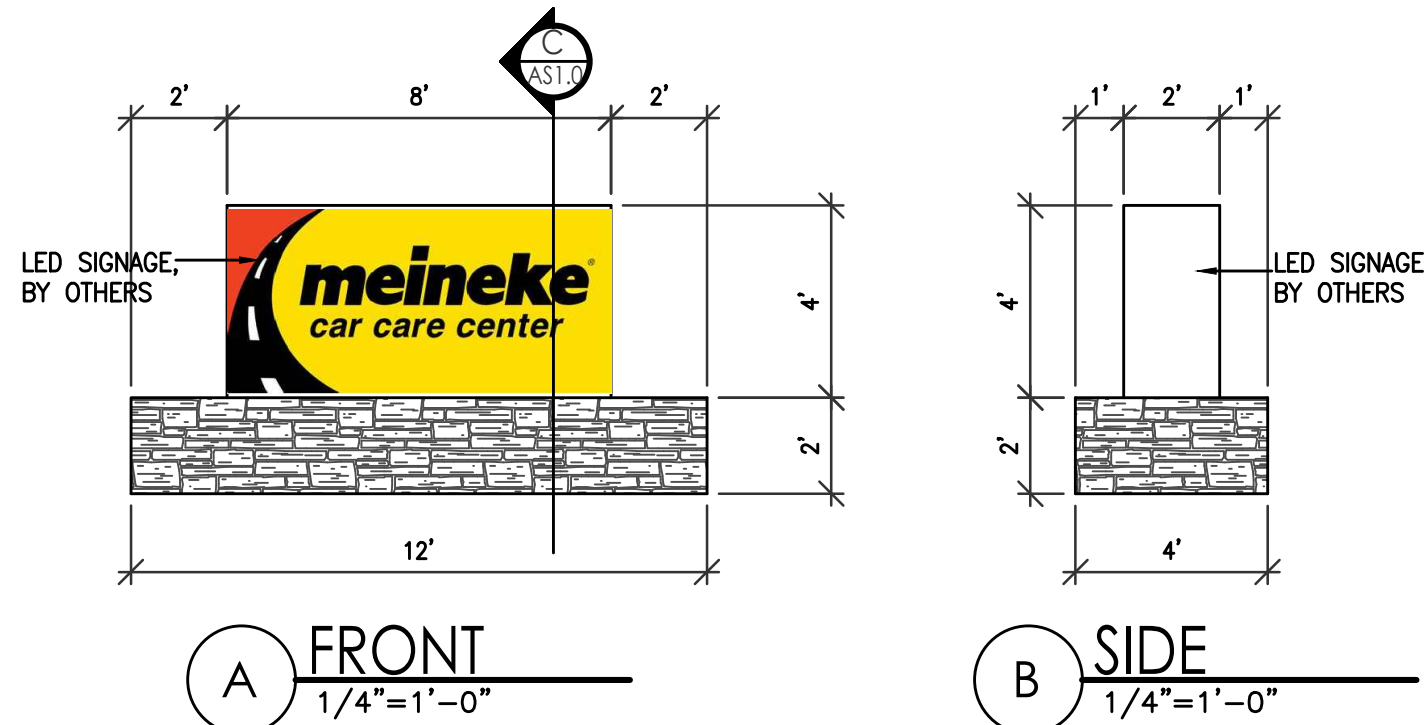
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

TRAFFIC CIRCULATION LAYOUT APPROVED
01/06/2022

Jeanne Wolfenbarger



GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 4' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMIS IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH x 1 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.
- ALL PENETRATIONS THROUGH A FIRE-RATED WALL ASSEMBLY TO BE FIRE-STOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.
- ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CITY STANDARD DRAWINGS (2145 & 2430).

PARKING REQUIREMENTS PER THE IDO

I.D.O. PART 14-16-5, DEVELOPMENT STANDARDS
5-5: LIGHT VEHICLE REPAIR
PARKING & LOADING: 1 SPACE / 1,000 S.F. GFA
5,200 S.F. / 1,000 PERSONS = 5.2 PARKING SPACES (5)

REQUIRED PARKING: 5 SPACES
PROVIDED SPACES: 17 SPACES

I.D.O. PART 14-16-5, SEC. 5-5-4 (D): 1-25 SPACES = 1 MOTOR CYCLE
SPACES PROVIDED 2 SPACES

I.D.O. PART 14-16-5, SEC. 5-5-5 (E): 3 SPACES OR 10% WHICH EVER IS
GREATER SPACES: 3 BICYCLES PROVIDED

LANDSCAPING REQUIREMENTS

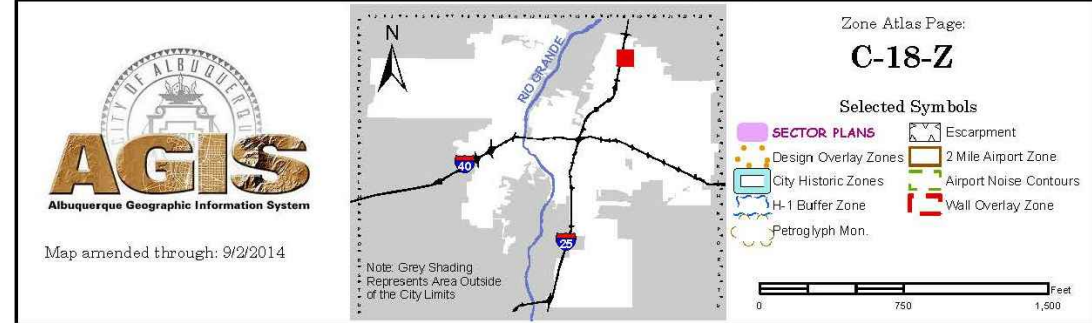
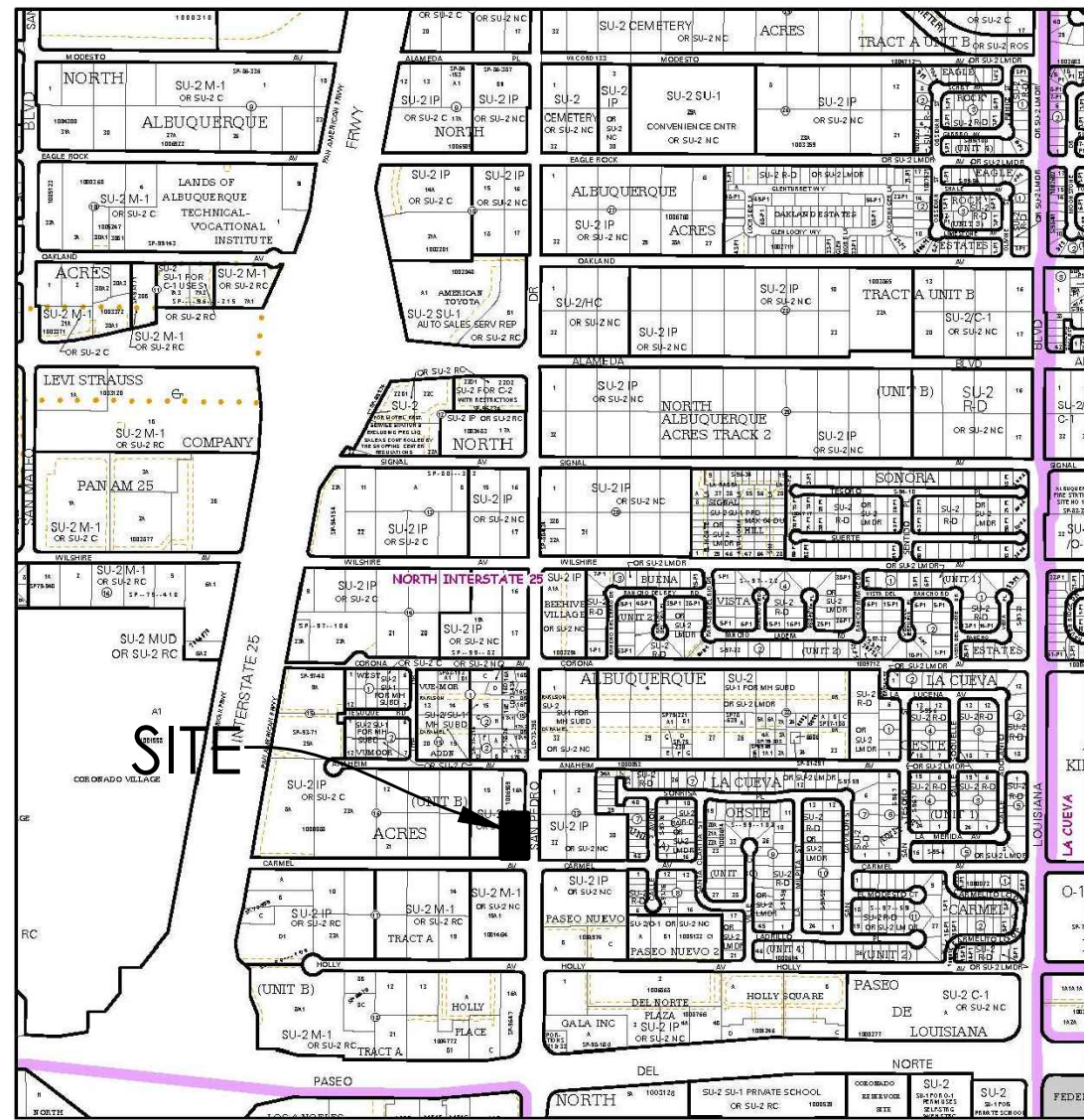
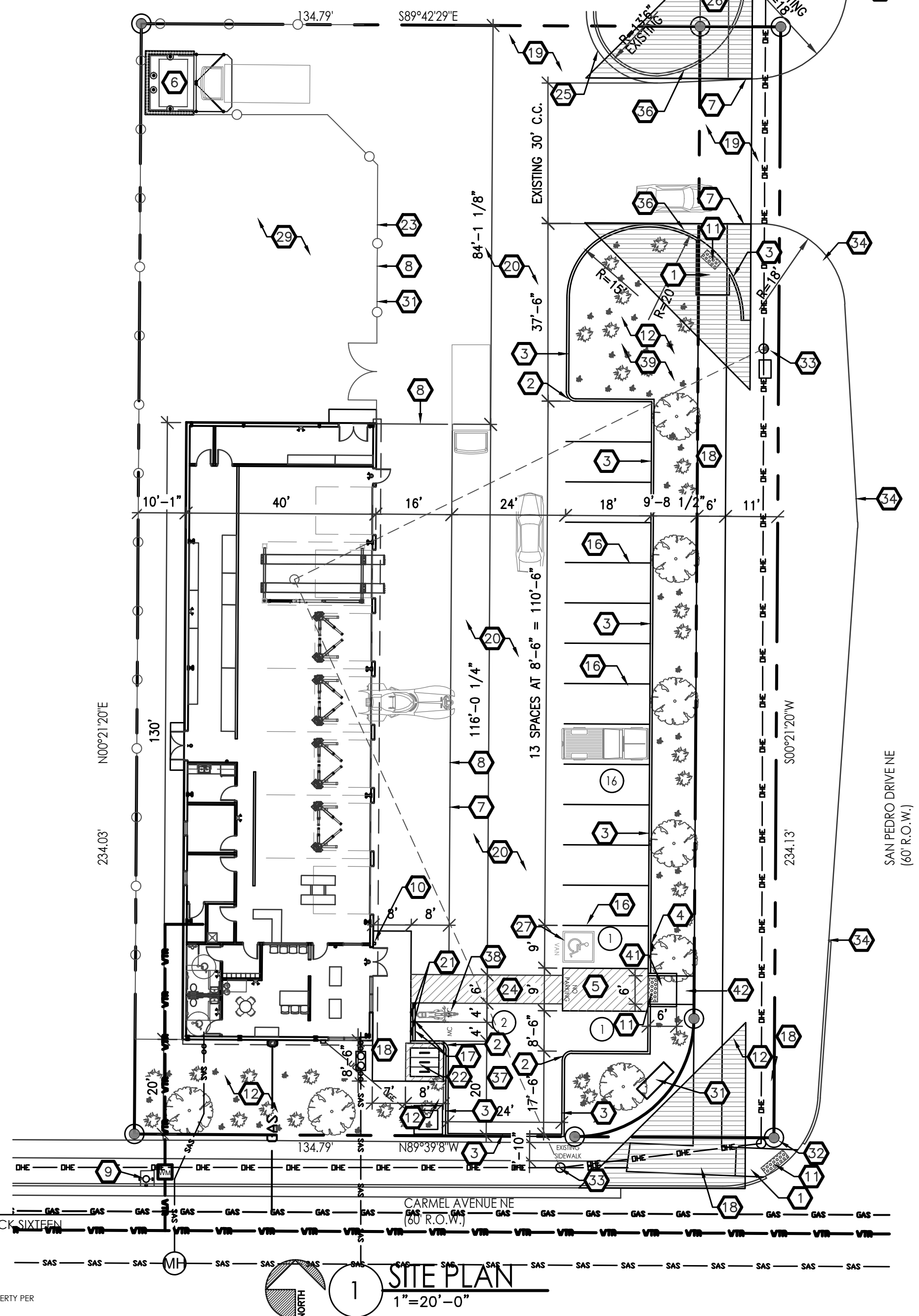
I.D.O. PART 14-16-5, DEVELOPMENT STANDARDS
5-6: LANDSCAPING, BUFFERING, AND SCREENING
MINIMUM LANDSCAPE AREA 5-6(C)(2)(a)
LANDSCAPING:
TOTAL LOT AREA: 27,437.508 S.F. (.72 ACRES)
TOTAL UNDER ROOF AREA: 5,200 S.F.
NET LOT AREA: 27,437.508 - 5,200 = 22,237 S.F.
LANDSCAPING REQUIRED: 22,237 x 15% = 3,335.55 S.F.
PROPOSED LANDSCAPING: 3,698 S.F. (REF: SITE PLAN)

KEYED NOTES

- ACCESSIBLE CURB RAMP PER COA STANDARDS DWG. 2426, WILL BE DONE PER DMD'S SAN PEDRO BOULEVARD IMPROVEMENTS PROJECT #6097.001.
- 2'-0" CURB RADIUS, TYP.
- CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER C.O.A. STANDARD DRAWING 2415A, WILL BE DONE PER DMD'S SAN PEDRO BOULEVARD IMPROVEMENTS PROJECT #6097.001.
- ACCESSIBLE PARKING SIGNAGE PER C.O.A. STANDARDS, REF: DETAIL C1/AS-2.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.B NMSA 1978). REF: DETAIL A8/AS-2.0.
- DUMPSTER ENCLOSURE, REF: DETAIL A1/AS-2.0.
- FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5" HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIPE, REF: FIRE ORD. 503.3.1.
- EDGE OF ASPHALT.
- EXISTING FIRE HYDRANT LOCATION.
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
- 24" TRUNCATED DOMES, TYP.
- LANDSCAPING AREA, REF: LANDSCAPING PLAN.
- ELECTRICAL TRANSFORMER LOCATION, COORDINATE LOCATION WITH PNM.
- ELECTRICAL METER LOCATION, REF: ELECTRICAL SITE PLAN.
- GAS METER PER NM GAS COMPANY AND CITY OF ALBUQUERQUE STANDARDS, REF: PLUMBING PLANS.
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A8/AS-2.0, TYP.
- CONCRETE WHEEL STOP, TYP.
- NEW CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. 2430. CONSTRUCTED UNDER PUBLIC IMPROVEMENT AGREEMENT - PROJECT #6097.001
- EXISTING ASPHALT DRIVE-WAY. WILL CHANGE AFTER DRB ROW DEDICATION. CONSTRUCTED UNDER PUBLIC IMPROVEMENT AGREEMENT - PROJECT #643380
- ASPHALT PAVING OVER GRAVEL BASE COURSE, REF: GEOTECH
- MOTORCYCLE PARKING SIGNAGE PER C.O.A. STANDARDS, TYP.
- BIKE RACK FOR (3) BICYCLES, 30" TALL x 18" MIN., REF DETAIL 03/AS-2.0.
- NEW 5" CONCRETE PAD.
- 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP.
- EXIST. CONC. CURB AND GUTTER.
- EXIST. CONC. SIDEWALK.
- HANDICAP SYMBOL PER C.O.A. STANDARDS, TYPICAL (1) PLACE REF: DETAIL C2/AS-5.0.
- NOT USED.
- GRAVEL STORAGE AREA.
- CHAIN LINK FENCE AND GATE.
- NEW MONUMENT SIGN, SEE DETAIL A-AS-1.0.
- EXISTING POWER POLE, TO REMAIN.
- EXISTING COMMUNICATION BOX, TO REMAIN.
- EDGE OF EXISTING ASPHALT ROAD. WILL CHANGE AFTER DRB ROW DEDICATION.
- NOT USED.
- 25' x 25' CLEAR SIGHT TRIANGLE AT ANTICIPATED CURB LOCATION PER DMD'S SAN PEDRO BOULEVARD IMPROVEMENTS PROJECT #6097.001, ADJUST AS NECESSARY. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS*. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- BIKE PARKING SPACES SHALL BE 6'-0" LONG x 24" WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
- "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING.
- RETENTION POND, REF: CIVIL DRAWINGS. STABILIZE DETENTION POND SIDE SLOPES WITH NATIVE GRASS SEED WITH AGGREGATE MULCH OR EQUAL, REF: LANDSCAPE PLAN.
- ALL SAN PEDRO BOULEVARD IMPROVEMENTS SHALL BE BUILT PER A PROCEDURE C AGREEMENT(SIDEWALK, CURB, EXTRA BIKE LANE, AND EXTRA SOUTH LANE). ANY WORK THAT WILL BE DONE IN THE COA RIGHT-OF-WAY THAT INCLUDES THESE ITEMS WILL BE DONE PER A COA WORK ORDER.
- ACCESSIBLE CURB RAMP PER COA STANDARDS DWG. 2426.
- NEW CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. 2430. TIE INTO NEW SIDEWALK.

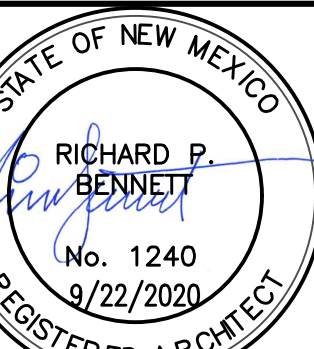
LEGAL DESCRIPTION

LOT NUMBERED SEVENTEEN (17) IN BLOCK SIXTEEN (16), TRACT A, UNIT B, OF THE NORTH ALBUQUERQUE ACRES
5901 SAN PEDRO NE,
ALBUQUERQUE, NEW MEXICO 87113
(FOR INFORMATIONAL PURPOSES ONLY ADDRESS OF PROPERTY PER COUNTY ASSESSOR'S TAX ROLL)



MEINEKE
SITE PLAN
5901 CARMEL DR NE
ALBUQUERQUE, NM 87113
PROJECT #2017

REVISION DATE

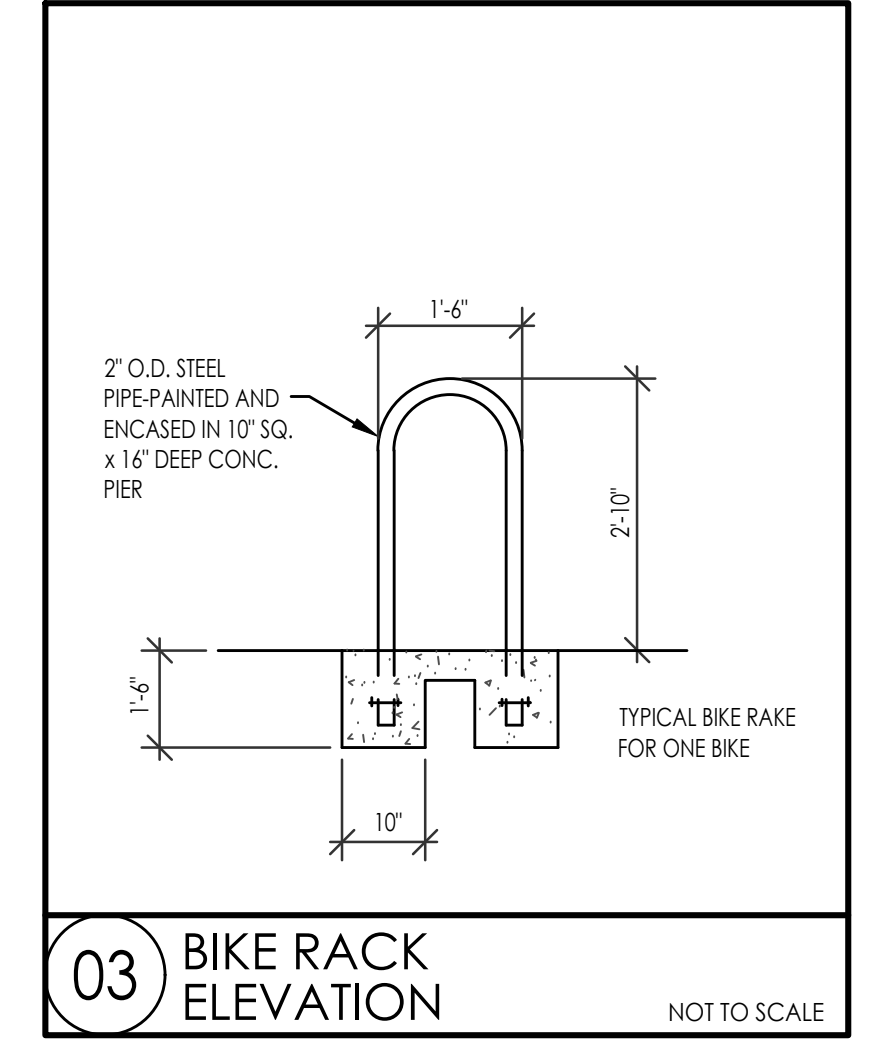
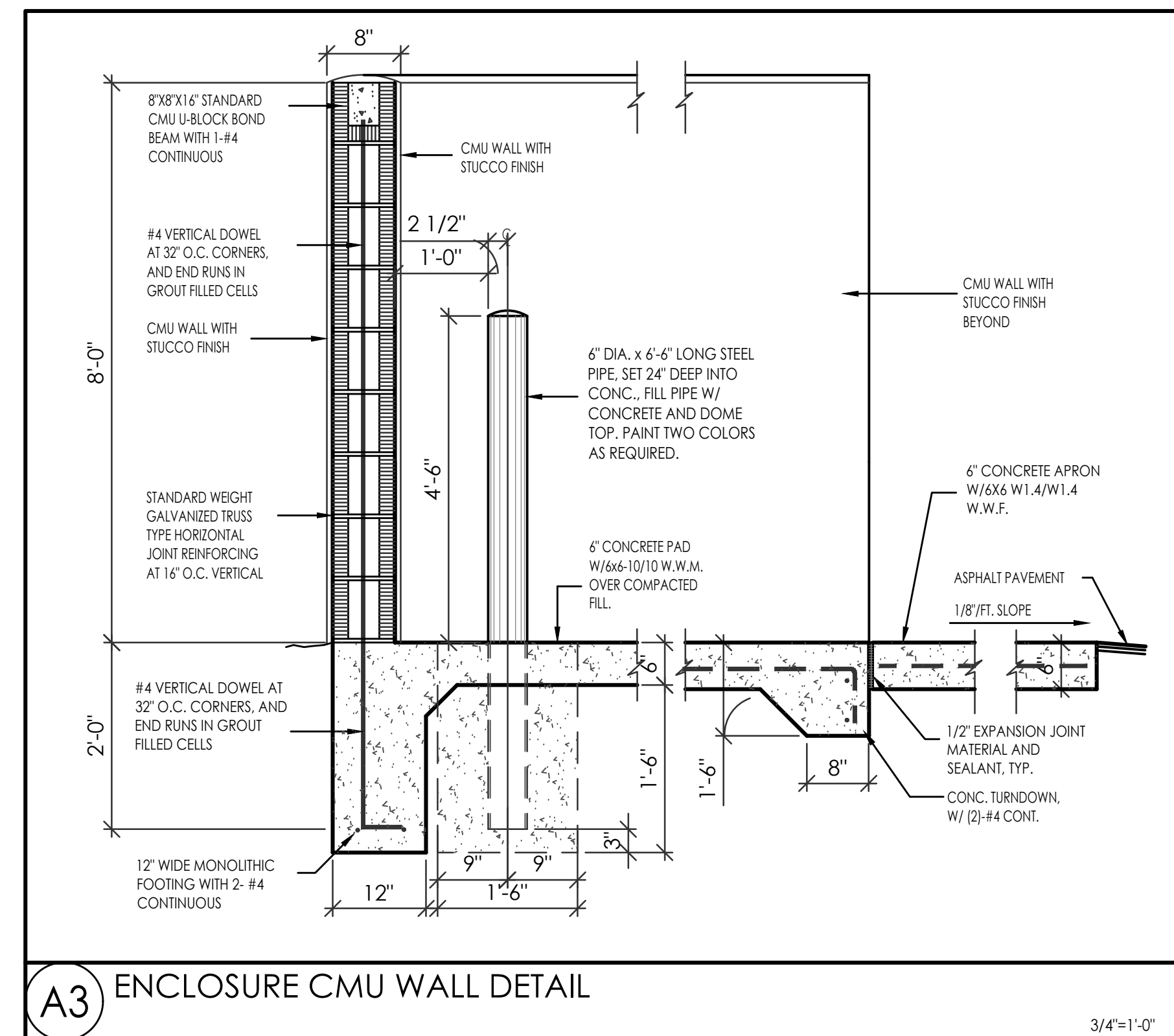
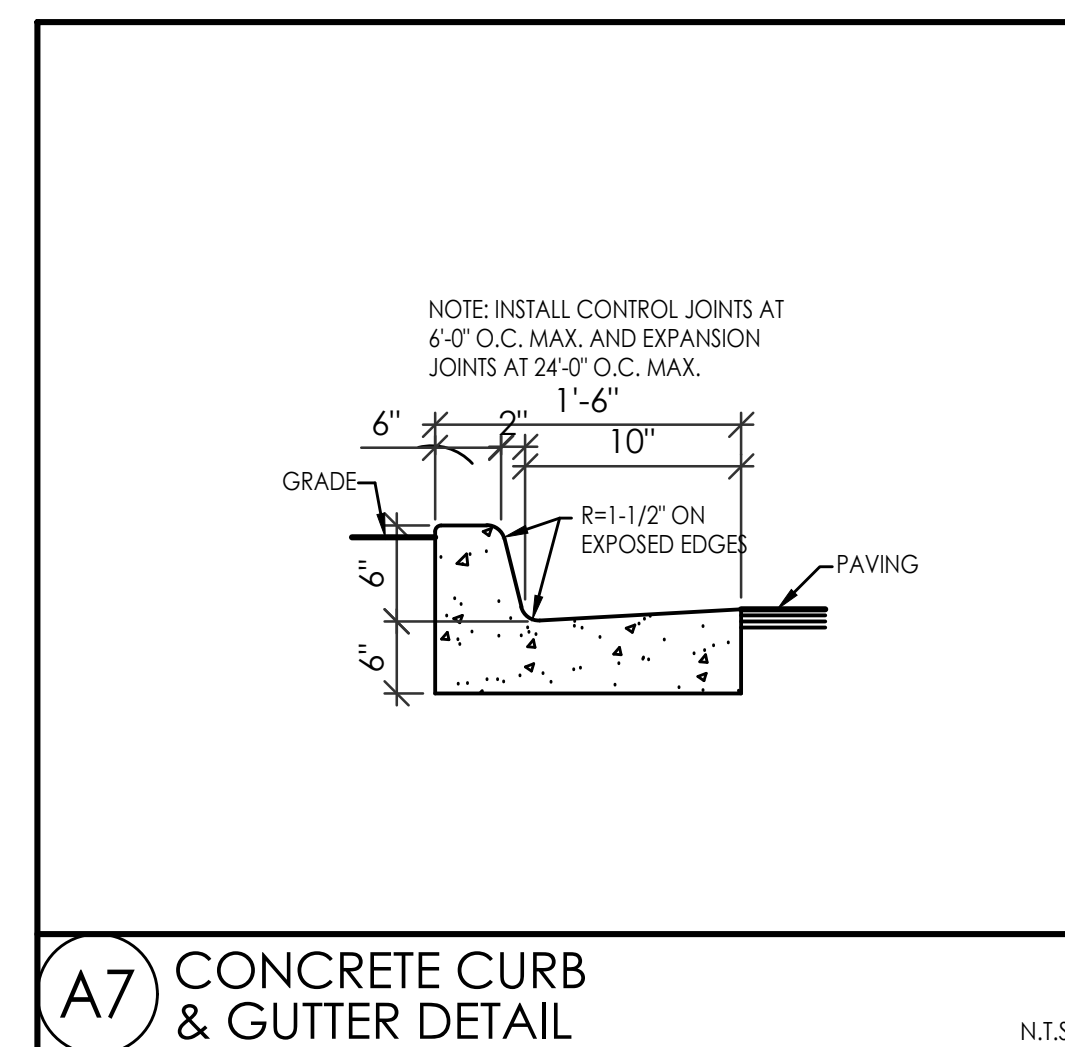
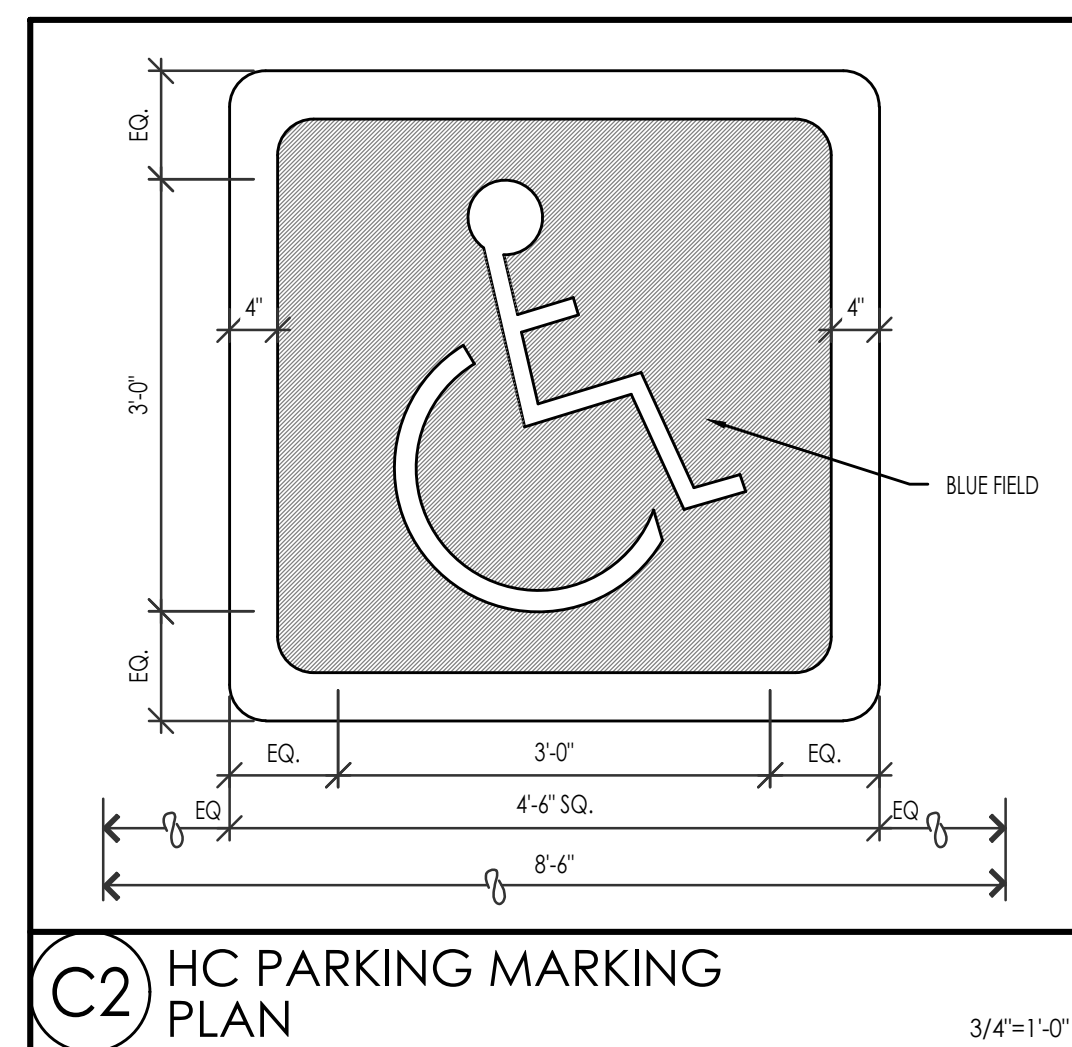
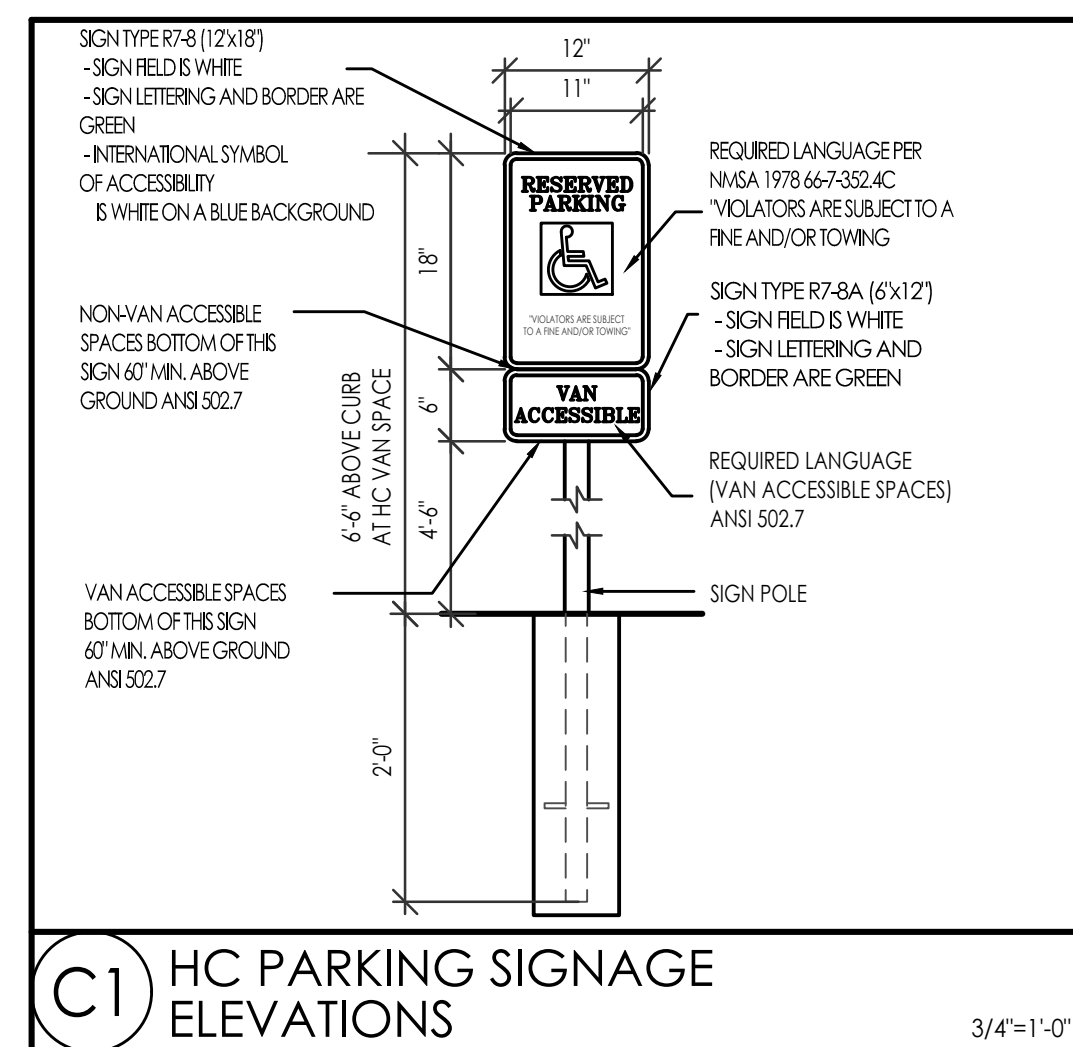


RBA
ARCHITECTURE, PC
PLANNING
DESIGN
1000 1st Ave. NE
Albuquerque, NM 87102
www.rba.com

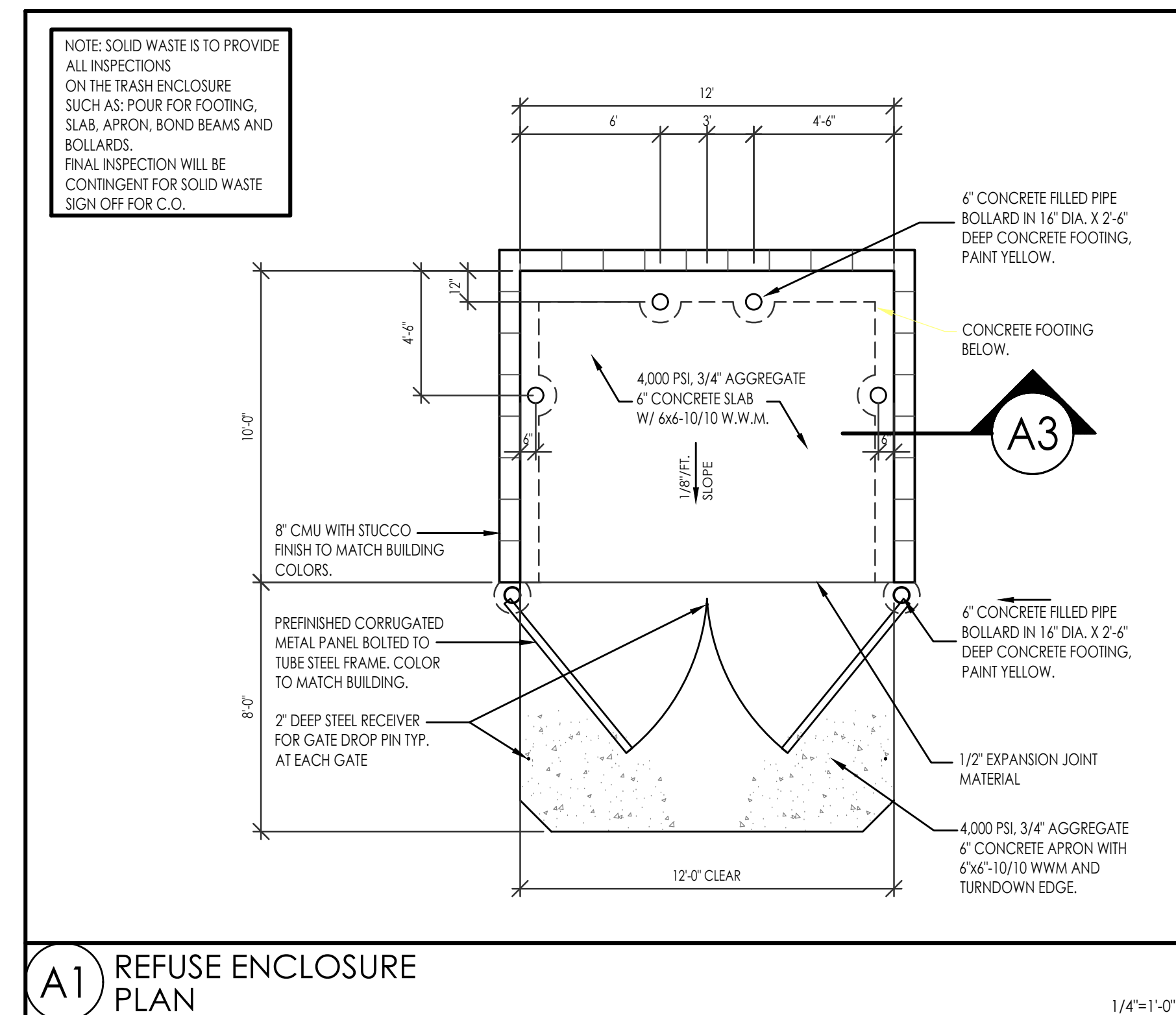
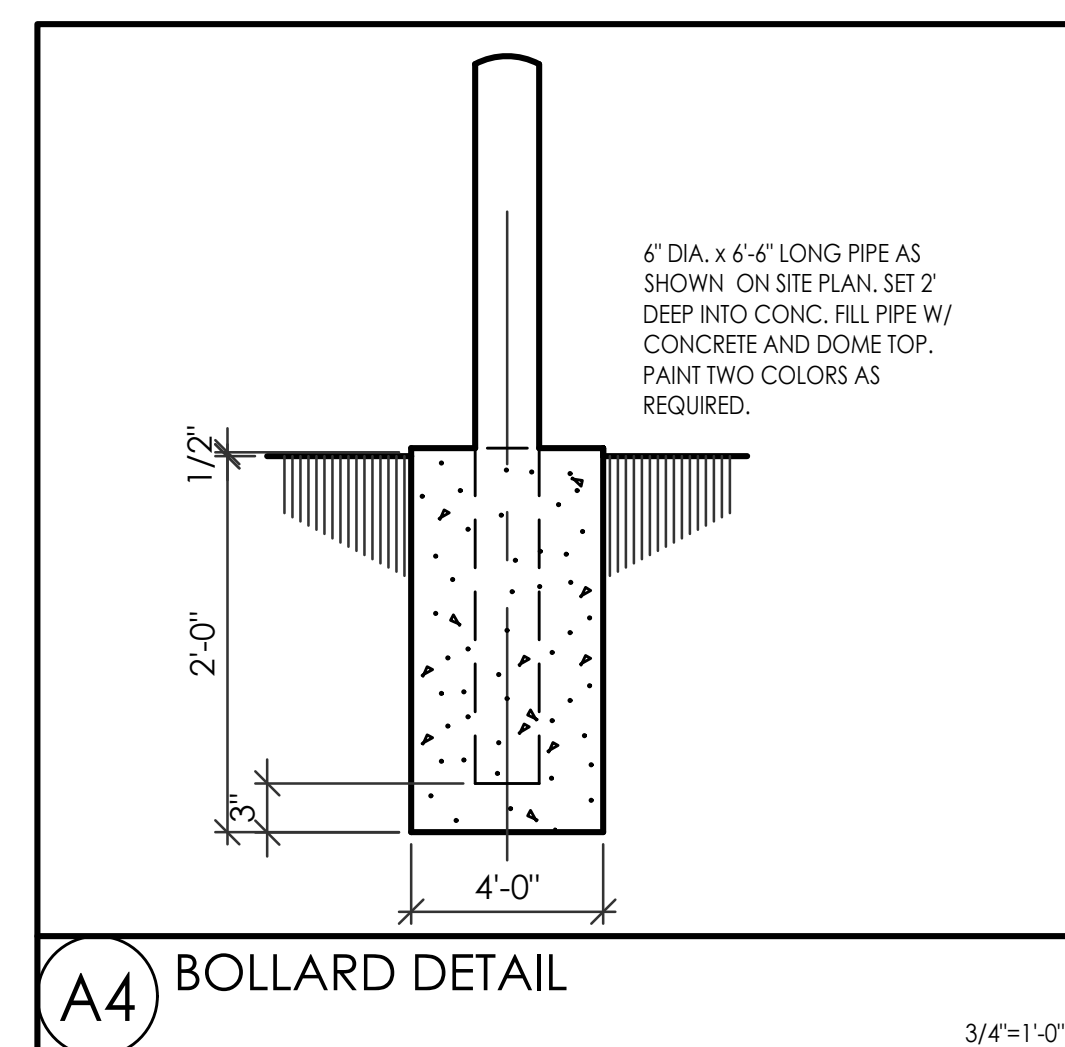
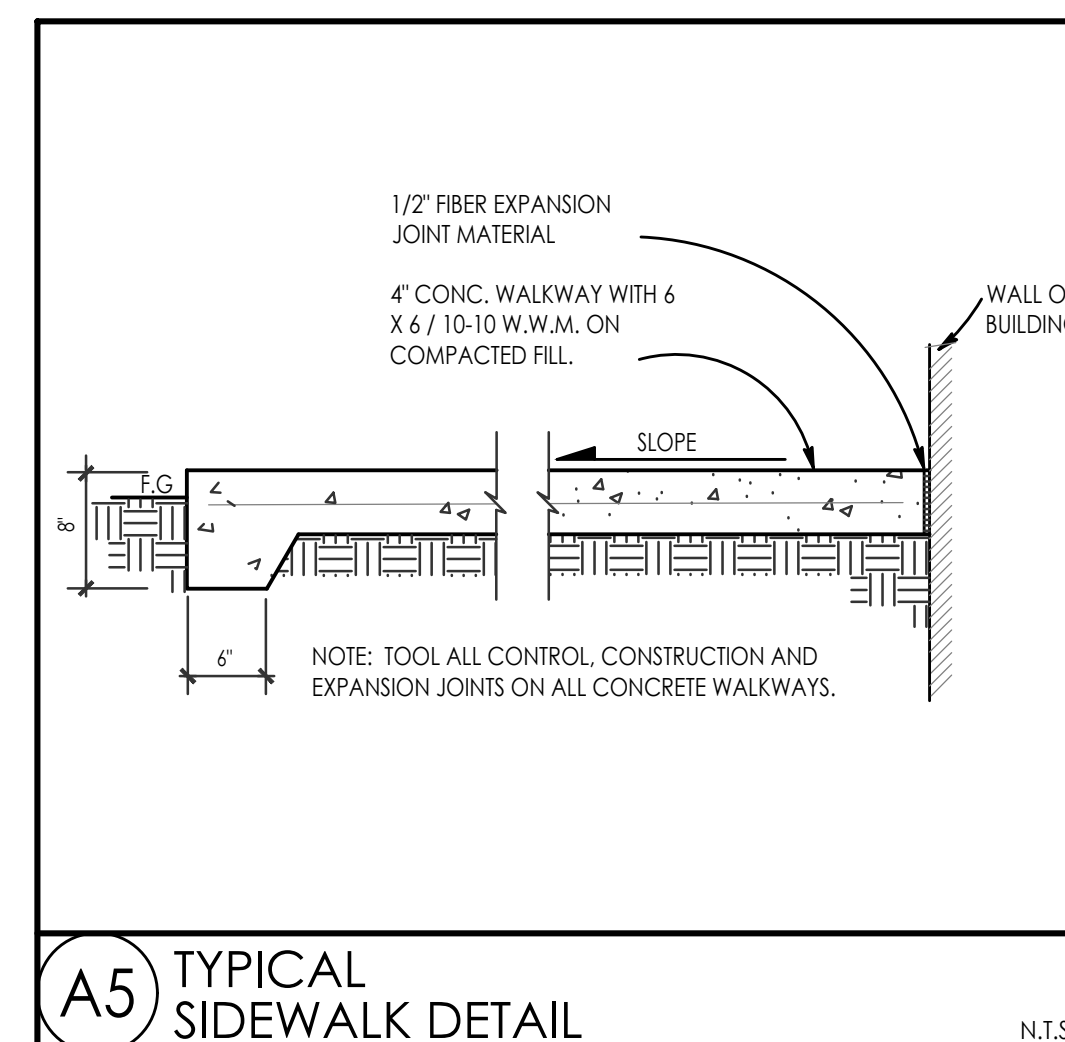
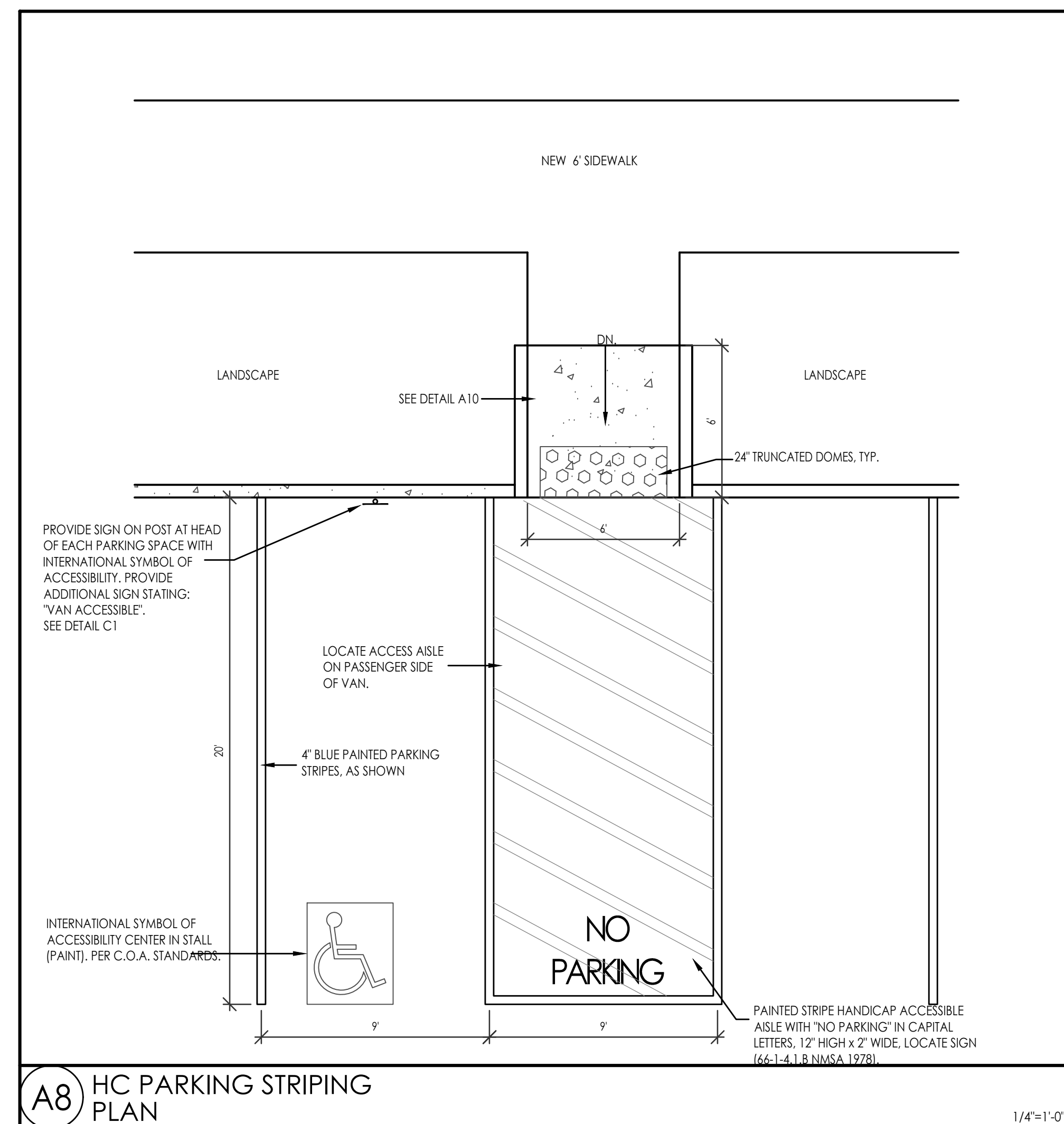
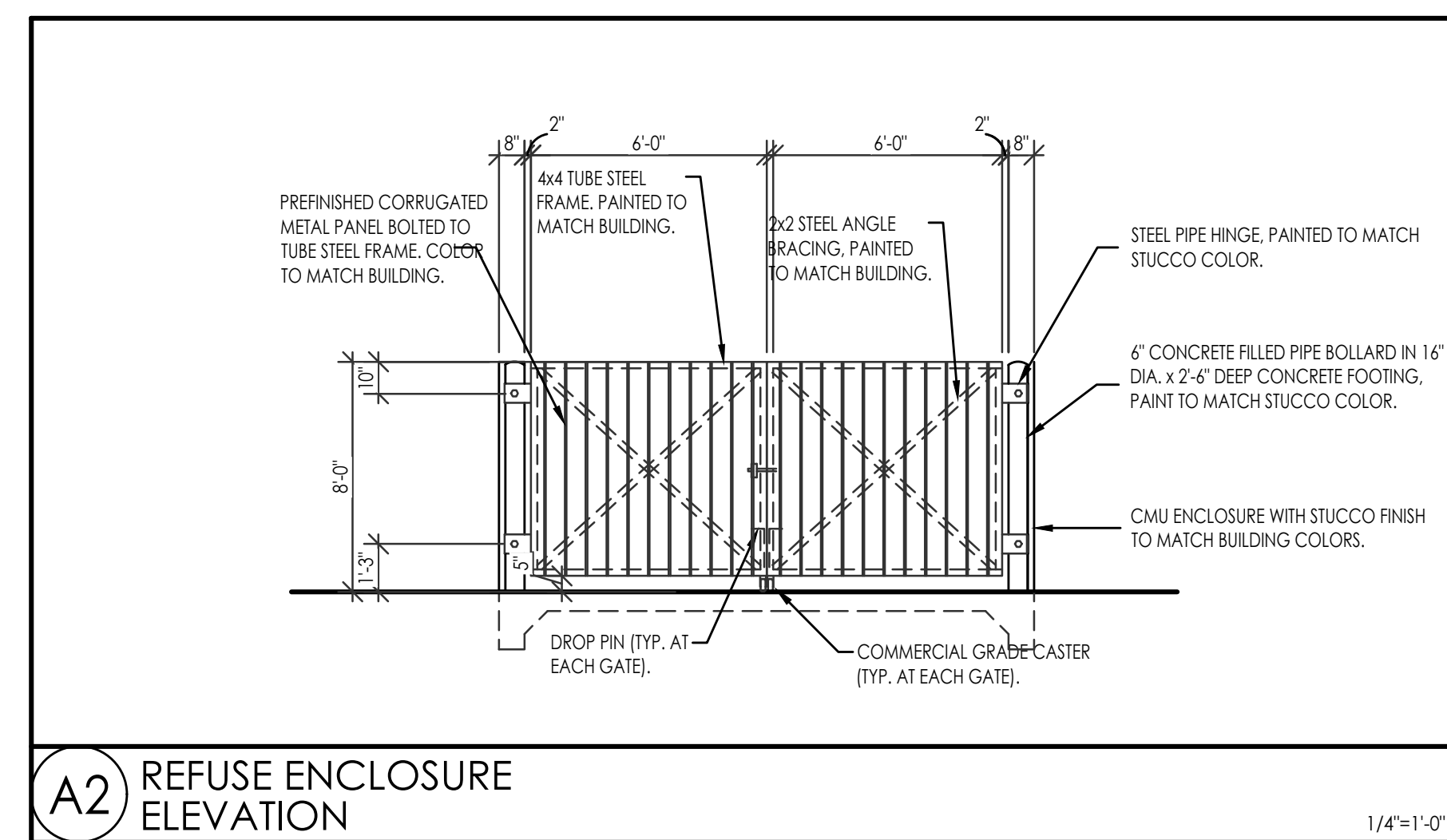
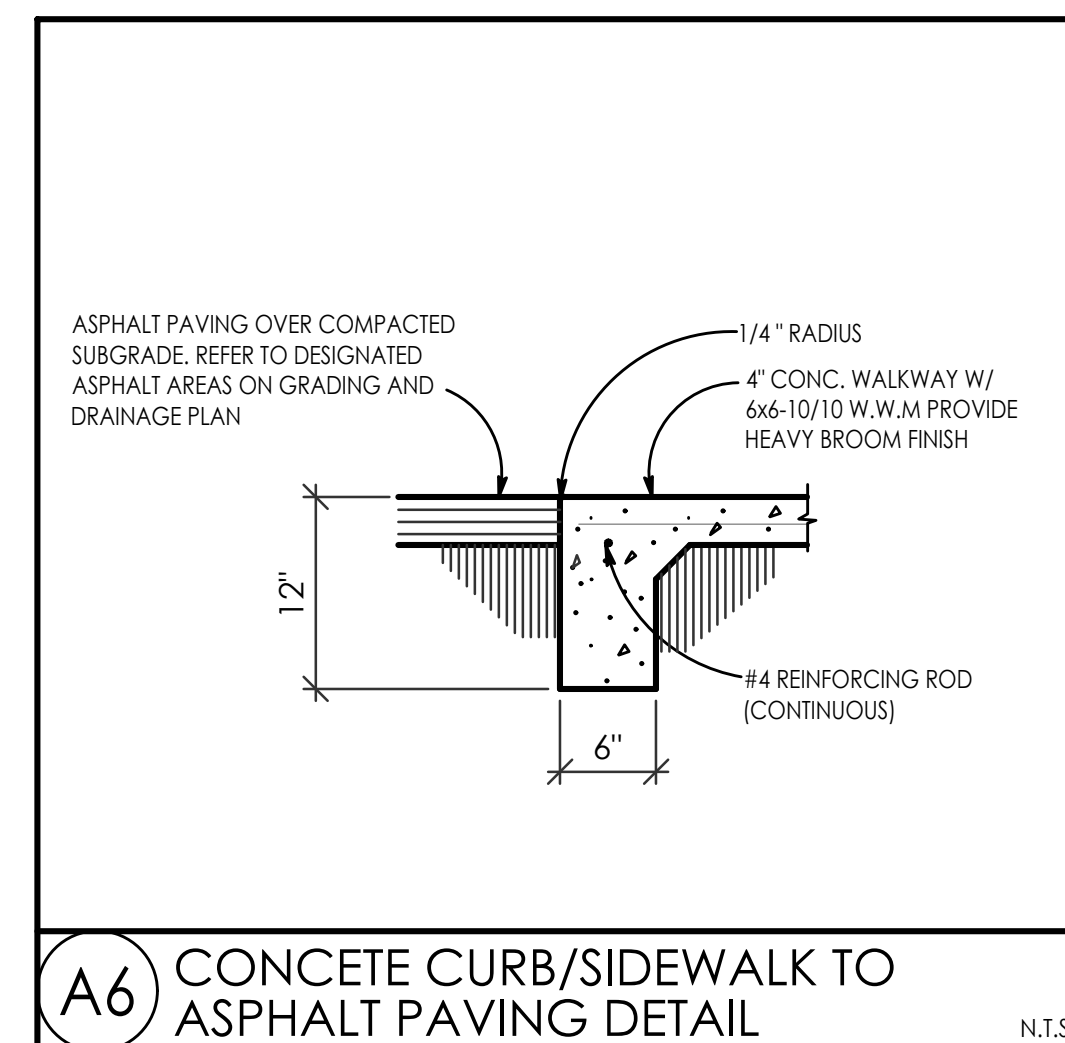
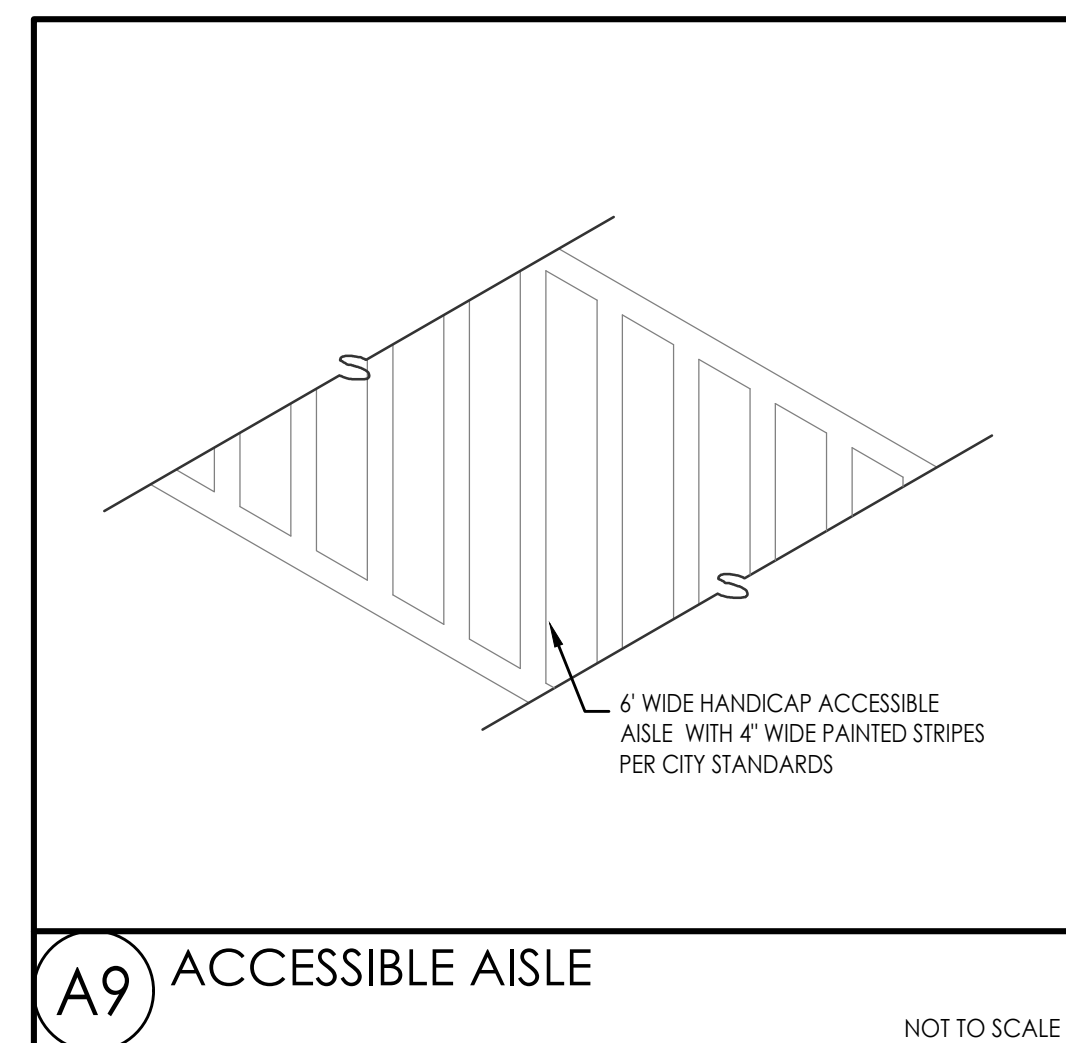
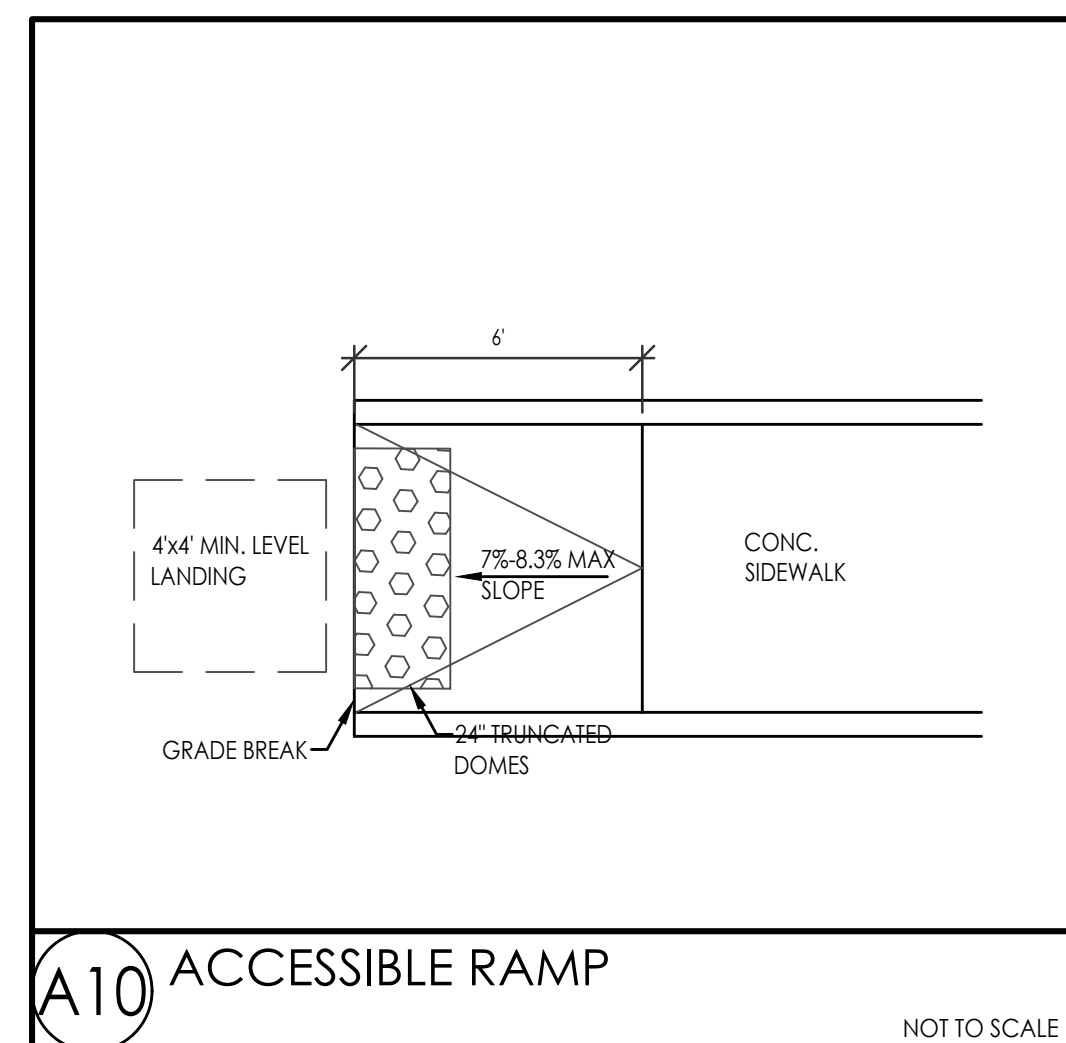
DATE
09-23-2020

SHEET NUMBER

AS-1.0



Jeanne Wolfenbarger



MEINERKE
SITE DETAILS
5901 CARMEL DR NE
ALBUQUERQUE, NM 87113
PROJECT #2017

REVISION DATE	
	
RBA ARCHITECTURE, PC PLANNING DESIGN	1140 PIMA AVE. SW SUITE 100 TUCSON, AZ 85704-0002 TEL: 520.792.8248 WWW.RBACB.COM
DATE	11-11-2020
SHEET NUMBER	AS-2.0