

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 1, 2021

Robert Fierro, P.E.
Fierro & Company
6300 Montano Rd. NW
Albuquerque, NM 87120

**RE: Meineke
5901 Carmel Ave. NW
Grading and Drainage Plan
Engineer's Stamp Date: 01/07/21
Hydrology File: C18D049**

Dear Mr. Fierro:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 01/07/2021, the Grading & Drainage Plan is approved for Grading Permit. As per our phone conversation on January 28, 2021, once the pond is removed from the R.O.W. and a Type A inlet installed with an 18" storm pipe to the existing MH and the waterblock is installed at the driveway, then please submit the drawings for Building Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

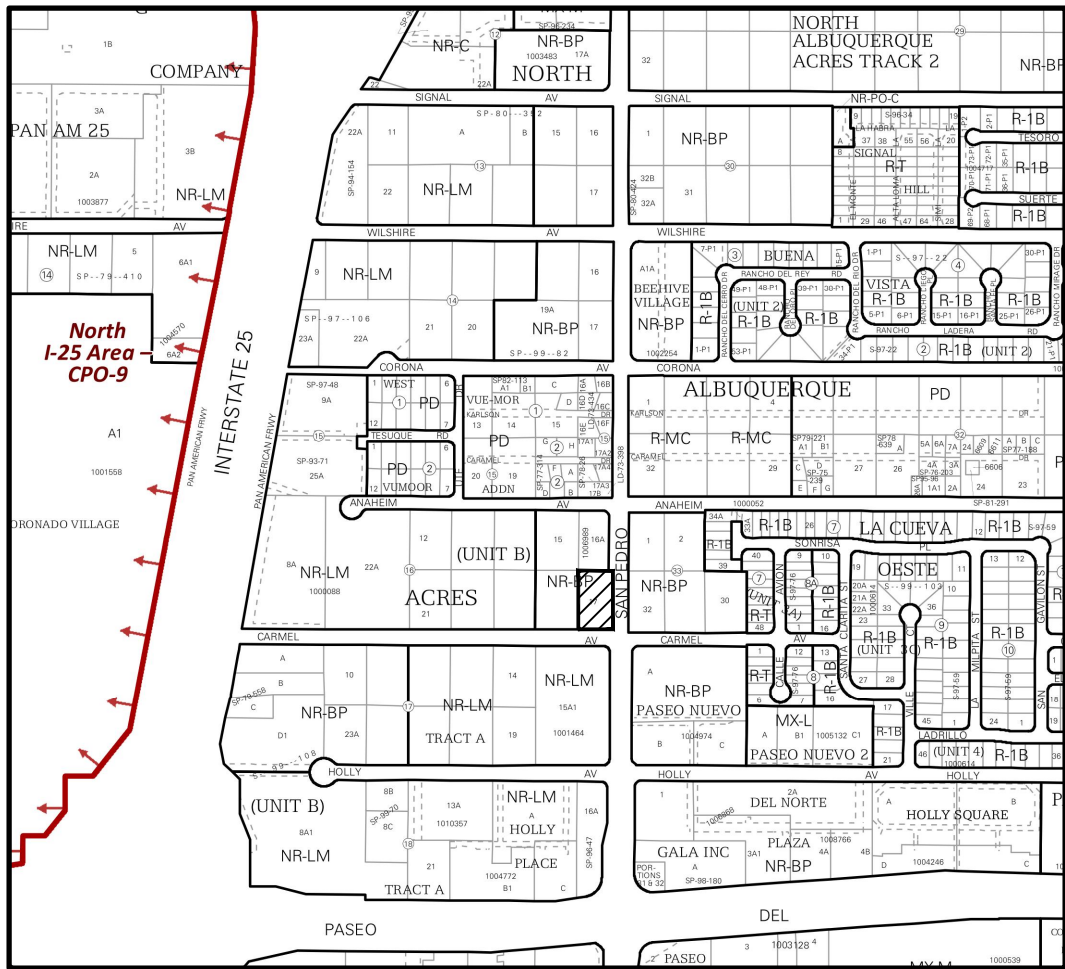
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



VICINITY MAP
FROM ZONE ATLAS PAGE B-11-Z
N.T.S.

SUBDIVISION DATA

1. ZONE ATLAS MAP NO. B-11; ZONING: MX-L & MX-T.
2. GROSS SUBDIVISION ACREAGE: 0.630 ACRES.
3. TOTAL NUMBER OF LOTS/TRACTS CREATED: ONE (1) LOT.
4. DATE OF SURVEY: AUGUST 2020
5. PLAT IS LOCATED WITHIN BERNALILLO COUNTY, NEW MEXICO.

PURPOSE OF PLAT

THE PURPOSE OF THIS PLAT IS TO DEDICATE PUBLIC RIGHT-OF-WAY AS SHOWN HEREON AND GRANT EASEMENTS AS SHOWN HEREON.

NOTES

1. BEARINGS SHOWN ON THIS PLAT ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983.
 2. DISTANCES ARE GROUND DISTANCES (U.S. FOOT).
 3. GRID TO GROUND SCALE FACTOR USED IS 0.999664563.
- NOTES
1. BEARINGS SHOWN ON THIS PLAT ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983.
 2. DISTANCES ARE GROUND DISTANCES (U.S. FOOT).
 3. THIS SURVEY IS BASED UPON THE PLAT OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B RECORDED IN DOCUMENT NO. 1936042436 OF THE RECORDS OF BERNALILLO COUNTY CLERKS OFFICE RECORDED ON APRIL 24, 1936, RECORD BEARING AND DISTANCES ARE SHOWN ON THIS PLAT.
 4. SOLAR NOTE - PURSUANT TO SECTION 14-14-4-7 OF THE CITY OF ALBUQUERQUE CODE OF ORDINANCE, "NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR TRACTS WITHIN THE AREA OF PROPOSED PLAT.
 5. GRID TO GROUND SCALE FACTOR USED IS 0.999664563 AS PUBLISHED BY ACS MONUMENT "9-C18".
 6. DATA IN PARENTHESIS IS RECORD OBTAINED FROM THE PLAT OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, RECORDED APRIL 24, 1936, IN DOCUMENT NO. 1936042436.

DESCRIPTION
LOT NUMBERED SEVENTEEN (17) IN BLOCK NUMBERED SIXTEEN (16), TRACT A, UNIT B, OF THE NORTH ALBUQUERQUE ACRES, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936 IN PLAT BOOK D, FOLIO 130.

THIS TRACT CONTAINS 0.630 ACRES (27,438 SQ. FT.) MORE OR LESS.

FREE CONSENT

SURVEYED AND SUB-DIVIDED AND NOW COMPRISING,

"PLAT OF LOT 17-A, BLOCK 16, NORTH ALBUQUERQUE ACREA, TRACT A, UNIT B, WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S), THE EXECUTION OF THIS PLAT IS THEIR FREE ACT AND DEED.

SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUB-DIVIDED.

SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FORGOING AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: _____
SHARIF A. RABADI, PROPERTY OWNER

BY: _____
SAMIA S. RABADI, PROPERTY OWNER

ACKNOWLEDGEMENT:

STATE OF _____)
)SS.
COUNTY OF _____)

ON THIS ____ DAY OF _____, 2020, BEFORE ME

PERSONALLY APPEARED _____
KNOWN TO ME TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST ABOVE WRITTEN.

MY COMMISSION
EXPIRES: _____

NOTARY PUBLIC

SURVEYOR'S CERTIFICATION

I, ROBERT J. FIERRO, NEW MEXICO PROFESSIONAL SURVEYOR NO. 22909, DO HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION; THAT IT ACCURATELY MEETS THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTS AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ROBERT J. FIERRO, N.M.P.S. No. 22909



Date

PLAT OF
LOT 17-A, BLOCK 16
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT B
PROJECTED SECTION 13 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2020

UTILITY APPROVALS:

PNM ELECTRIC SERVICES _____ DATE

NEW MEXICO GAS COMPANY _____ DATE

CENTURY LINK _____ DATE

COMCAST _____ DATE

CITY APPROVALS:

CITY SURVEYOR _____ DATE

REAL PROPERTY DIVISION _____ DATE

ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE

A.B.C.W.U.A. _____ DATE

PARKS & RECREATION DEPARTMENT _____ DATE

A.M.A.F.C.A. _____ DATE

CITY ENGINEER/HYDROLOGY _____ DATE

CODE ENFORCEMENT _____ DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE

TREASURER'S OFFICE CERTIFICATION

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

PAID ON UPC #: _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY
TREASURER'S OFFICE _____ DATE



Fierro & Company
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PH 505.352.8930
www.fierrocompany.com

PLAT OF
LOT 17-A, BLOCK 16
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT B

PROJECTED SECTION 13 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2020

LOT 15, BLOCK 16
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT B
(D-130, 04/24/1936)

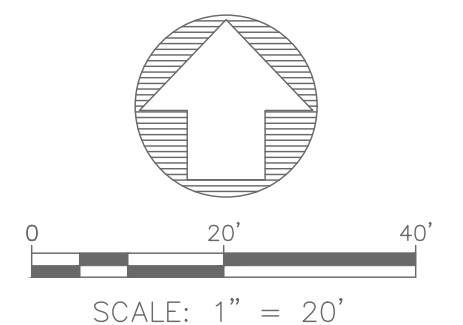
ACS MONUMENT "9-C18"
NM STATE PLANE COORDINATES (CENTRAL ZONE)
PUBLISHED DATA IN NAD 1983
Y=1521497.624 U.S. SURVEY FEET
X=1542501.428 U.S. SURVEY FEET
DELTA ALPHA= -0°11'19.69"
GROUND TO GRID FACTOR= 0.999664563
PUBLISHED DATA IN NAVD 1988
ELEVATION= 5232.47 U.S. SURVEY FEET

LOT 16-A, BLOCK 16
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT B
(2008C-101, 05/01/2008)

(S90°00'00"E, 135.00')
S89°42'29"E, 134.79'
117.79'

17.00'

DEDICATED TO THE
CITY OF ALBUQUERQUE
IN FEE SIMPLE WITH
WARRANTY COVENANTS
4,114 SQ.FT.
0.094



LOT 18, BLOCK 16
NORTH ALBUQUERQUE ACRES
TRACT A, UNIT B
(D-130, 04/24/1936)

(N00°00'00"E, 234.00')
N00°21'20"E, 234.03'

LOT 17-A, BLOCK 16
(27,438 SQ.FT.)
0.630 ACRES ±

10' PUBLIC UTILITY
EASEMENT TO BE
GRANTED WITH THE
FILING OF THIS PLAT

S00°21'20"W, 209.13'

S00°21'20"W, 234.13'
(S00°00'00"W, 234.00')

SAN PEDRO DRIVE N.E. (60' R/W)

Δ=89°58'52"
R=25.00'
L=39.26'
ChB=N45°20'46"E
ChL=35.35'

92.80'

41.99'

N89°39'48"W, 134.79'
(N90°00'00"W, 135.00')

CARMEL AVENUE N.E. (60' R/W)

LEGEND

- FOUND MONUMENT AS NOTED
- SET 18"x1/2" REBAR WITH BLUE PLASTIC CAP MARKED "F&C PS 22909"
- ⊗ CALCULATED CORNER NOT SET

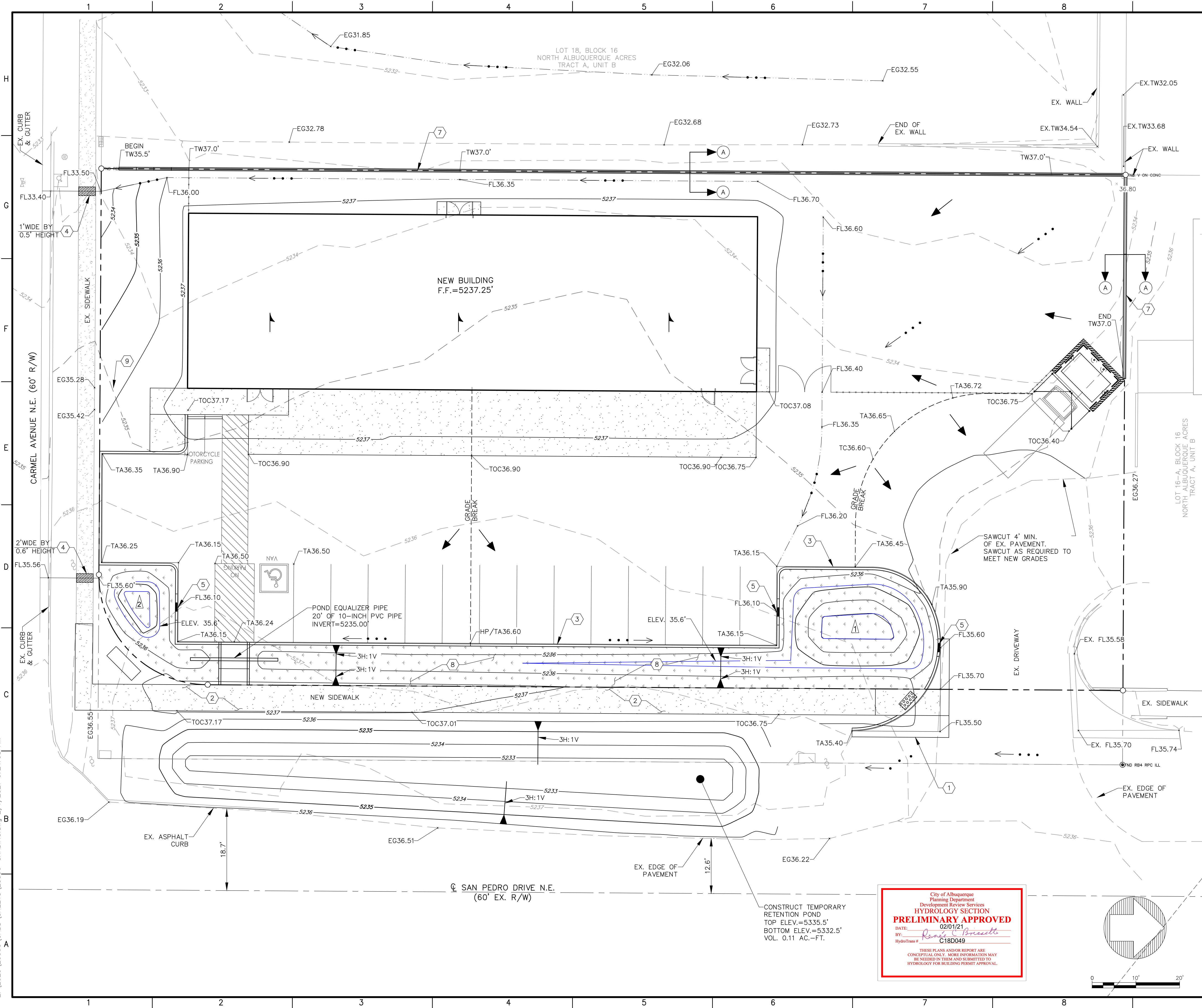


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PH 505.352.8930 www.fierrocompany.com

SHEET 2 OF 2

Z:\2020\20060\CADD\20060-GRADING.dwg 2/1/2021 9:24:08 AM



Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "50-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets may be required on a 24-hour basis.
8. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

KEYED NOTES:

1. CONSTRUCT SOUTH HALF OF DRIVEWAY PER COA STD DWG. 2426 W/ADA RAMP.
2. CONSTRUCT 6' OFFSET SIDEWALK PER COA STD DWG. 2430.
3. CONSTRUCT CONCRETE HEADER CURB PER DETAIL 2/C-2.
4. CONSTRUCT 2'-FT. WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD. DWG. 2236.
5. CONSTRUCT CURB OPENING PER DETAIL 1/C-2.
6. CONSTRUCT 2' WIDE CONCRETE VALLEY GUTTER PER DETAIL 3/C-2.
7. CONSTRUCT RETAINING WALL. REFER TO TYPICAL SECTION A-A DETAIL 4/C-2.
8. CONSTRUCT DEPRESSED LANDSCAPING.
9. ADA RAMP PER ARCHITECT DETAIL.

STORMWATER QUALITY VOLUME POND:

- SWQ POND #1
VOL.=800 CU.FT.,
TOP ELEV.=5235.6', BTM. ELEV.=5233.1',
WSEL=5235.6' AT FLOWLINE OF CURB OPENING,
SIDE SLOPE 3H:1V
- SWQ POND #2
VOL.=84 CU.FT.,
TOP ELEV.=5235.6', BTM. ELEV.=5234.6',
WSEL=5235.6' AT FLOWLINE OF CURB OPENING,
SIDE SLOPE 3H:1V

LEGEND

---	PROPERTY BOUNDARY
○	APPARENT CORNER
⊗	SANITARY SEWER MH
⊕	WATER VALVE
⊙	FIRE HYDRANT
—○—	GUY WIRE
—x—	POWER POLE
---	FENCE
---	RETAINING WALL
---	FLOWLINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
FL	FLOW LINE
TBC	TOP BACK OF CURB
TC	TOP OF CURB
TOC	TOP OF CONCRETE
TS	TOP OF SIDEWALK
TW	TOP OF WALL
BW	BOTTOM OF WALL
EG	EXISTING GRADE
---	FLOW PATH
---	FLOW DIRECTION
---	ROOF FLOW DIRECTION
---	NEW CONCRETE
---	DEPRESSED LANDSCAPING



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ENGINEER'S SEAL

MEINEKE
5901 CARMEL AVE N.E.
ALBUQUERQUE, NEW MEXICO

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

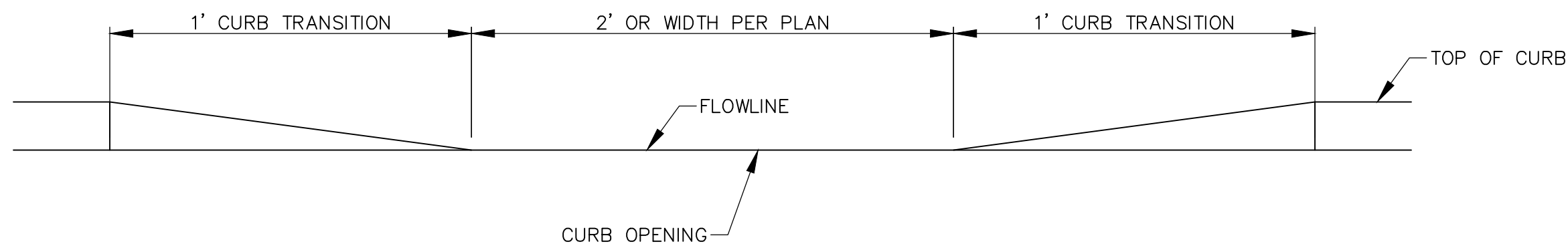
PROJECT NO:	20060
DESIGNED BY:	RJF
DRAWN BY:	RJS
CHECKED BY:	RJF
DATE:	JANUARY 2021

SHEET TITLE

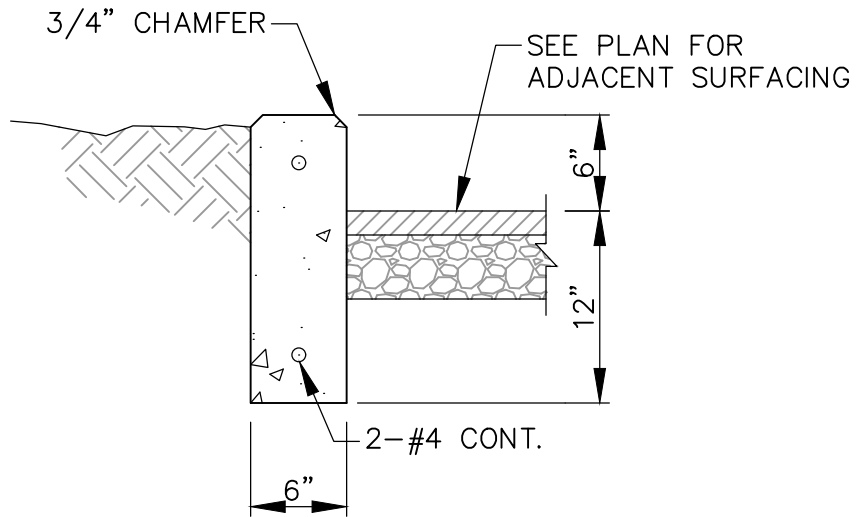
**GRADING
PLAN**

SHEET NO:
C-1

Z:\2020\20060\CADD\SHEETS\20060-DETAILS.dwg 2/1/2021 9:17:08 AM



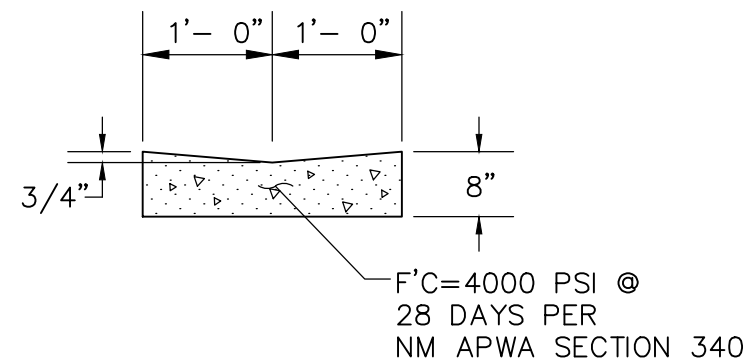
1 TYPICAL CURB OPENING
SCALE: NTS



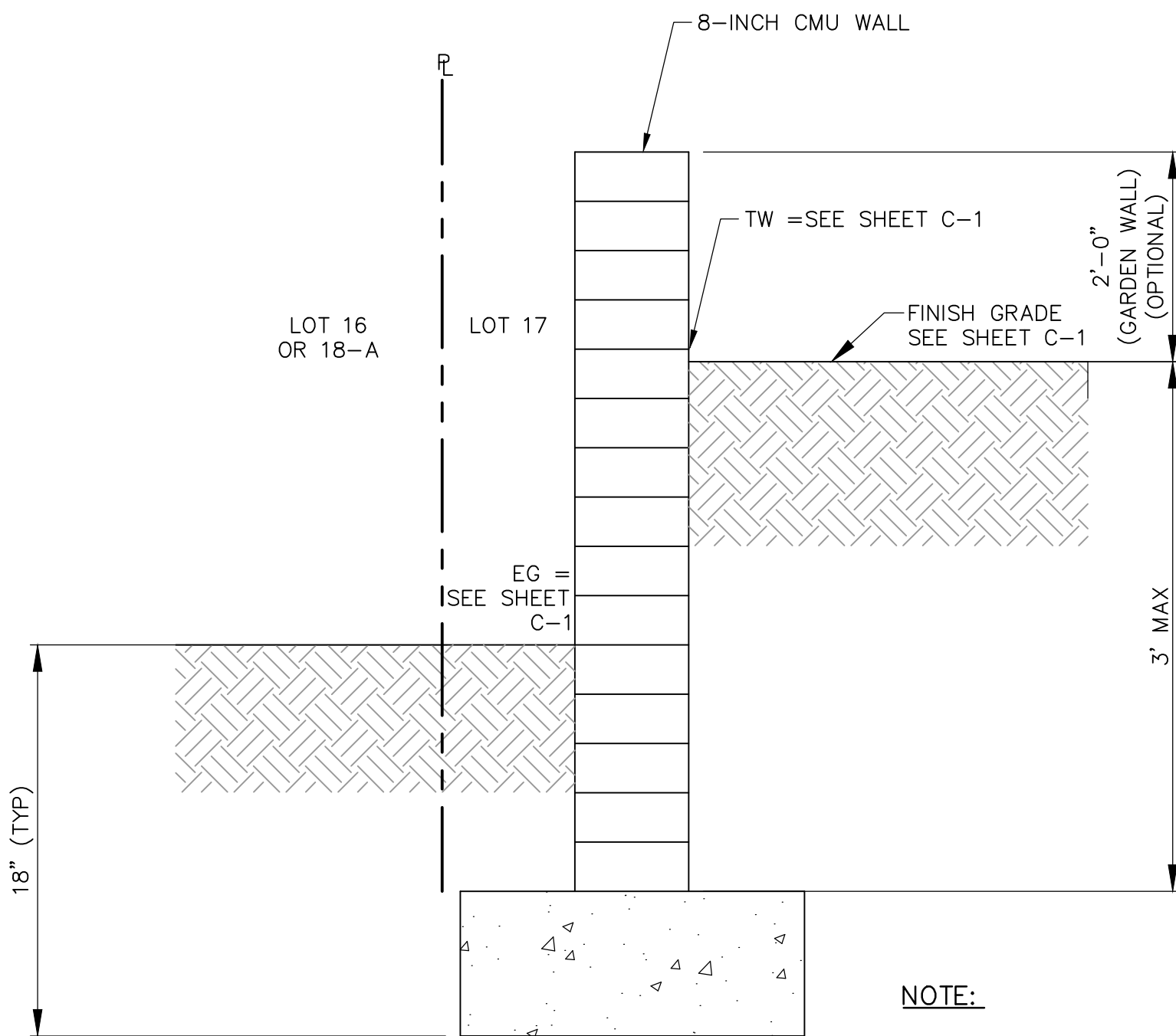
2 HEADER CURB DETAIL
SCALE: NTS

CURB GENERAL NOTES

1. ANY DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR PRIOR APPROVAL
2. ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR AND REQUIRES PERMIT AND APPROVAL BY THE DEPT OF PUBLIC WORKS.
3. SUBGRADE SHALL BE COMPACTED TO 95% ASTM D 1557, MIN.
4. CURB SHALL BE PORTLAND CEMENT CONCRETE. PORTLAND CEMENT CONCRETE SHALL BE 3000 PSI @ 28 DAYS w/CLASS F FLY ASH AND 7% +/- 2% AIR ENTRAINMENT. (MAX 20% FLY ASH BY WEIGHT).
5. FOR CONCRETE CURB CONSTRUCT TRANSVERSE JOINTS AS FOLLOWS:
 - TOOLED CONTRACTION JOINTS AT 5' INTERVALS.
 - 1/2" PRE-MOLDED BITUMINOUS EXPANSION JOINTS AT 15' INTERVALS.
 - SEALED EXPANSION JOINTS AT 90' INTERVALS.
6. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.



3 2-FT WIDE GUTTER (COA STD. DWG. 2415)
SCALE: NTS



4 SECTION A-A
SCALE: NTS

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 02/01/21
BY: *Rebecca C. Brissett*
HydroTeam # C18D049

THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

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MEINEKE
5901 CARMEL AVE N.E.
ALBUQUERQUE, NEW MEXICO

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO:	20060
DESIGNED BY:	RJF
DRAWN BY:	RJS
CHECKED BY:	RJF
DATE:	JANUARY 2021

SHEET TITLE

DETAILS

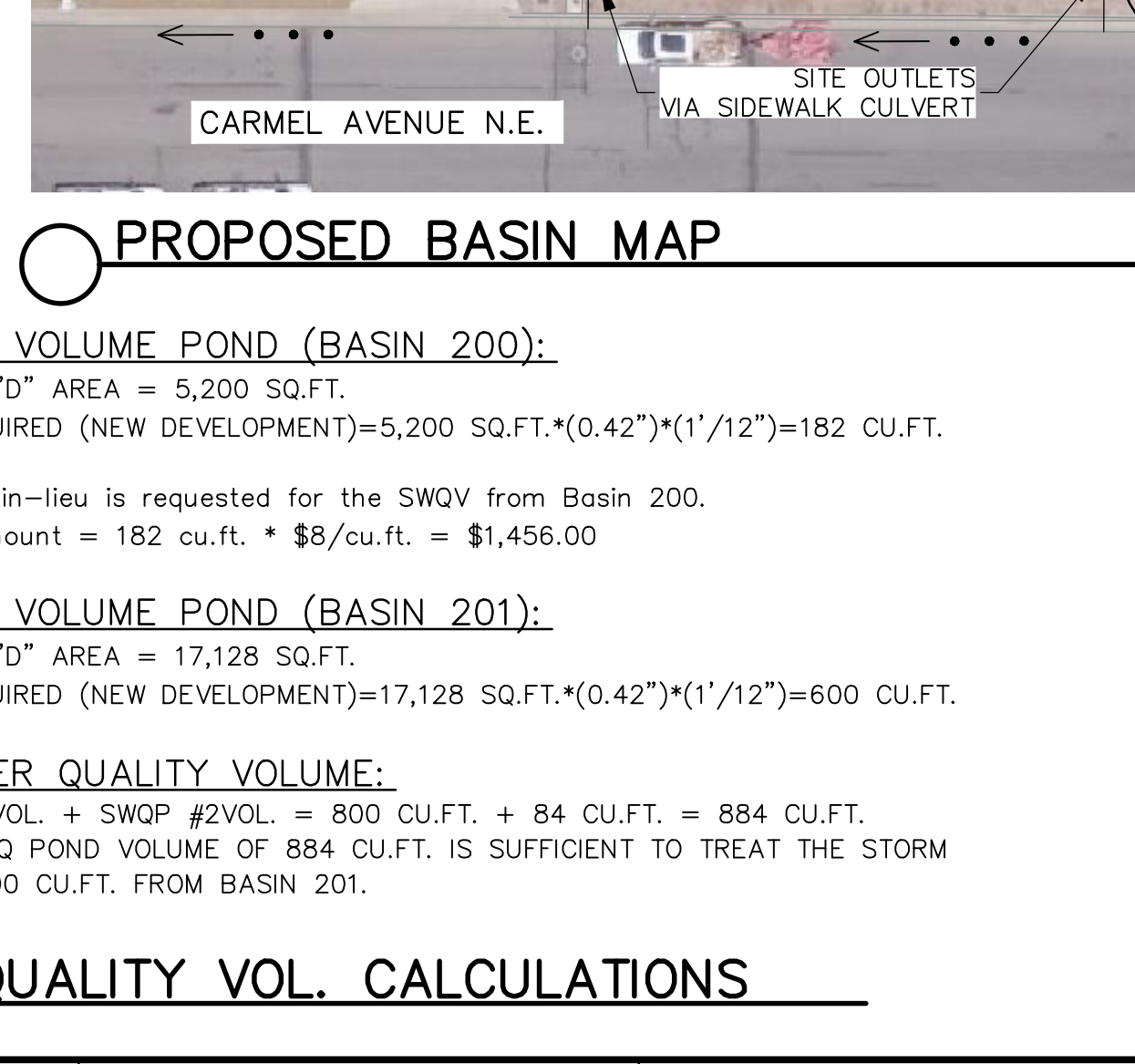
SHEET NO:

C-2

HYDROLOGY SUMMARY EXISTING CONDITION								
Basin	Total Area (acres)	Land Treatment (%)				Q ₁₀₀ (cfs)	V _{100yr-24hr} (ac-ft)	V _{100yr-10day} (ac-ft)
		A	B	C	D			
100	0.633	0.0	0.0	93.8	6.2	2.1	0.063	0.067
101	0.253	0.0	0.0	55.7	44.3	0.9	0.038	0.050
102	0.253	0.0	0.0	55.5	44.5	0.9	0.038	0.050

HYDROLOGY SUMMARY PROPOSED CONDITION								
Basin	Total Area (acres)	Land Treatment (%)				Q ₁₀₀	V _{100yr-24hr}	V _{100yr-10day}
		A	B	C	D	(cfs)	(ac-ft)	(ac-ft)
200	0.176	0.0	32.3	0.0	67.7	0.7	0.031	0.044
201	0.548	0.0	10.6	17.6	71.8	2.2	0.103	0.144

1	2	
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PER QUALITY VOLUME:
VOL. + SWQP #2VOL. = 800 CU.FT. + 84 CU.FT. = 884 CU.FT.
Q POND VOLUME OF 884 CU.FT. IS SUFFICIENT TO TREAT THE STORM
0 CU.FT. FROM BASIN 201.

	5	6
--	---	---



——— PROPERTY BOUNDARY
 • • • → FLOW PATH
 ▲ ROOF FLOW
 ▲ SURFACE DRAINAGE
 ——— UTILITY EASEMENT LINE
 - - - FLOWLINE
 - - - 39.05' EXISTING MAJOR CONTOUR
 - - - .05' EXISTING MINOR CONTOUR
 ~ ~ ~ PROPOSED MAJOR CONTOUR
 ~ ~ ~ PROPOSED MINOR CONTOUR
 ——— PROPOSED BASIN
 ■ ■ ■ EXISTING BASIN

C-3