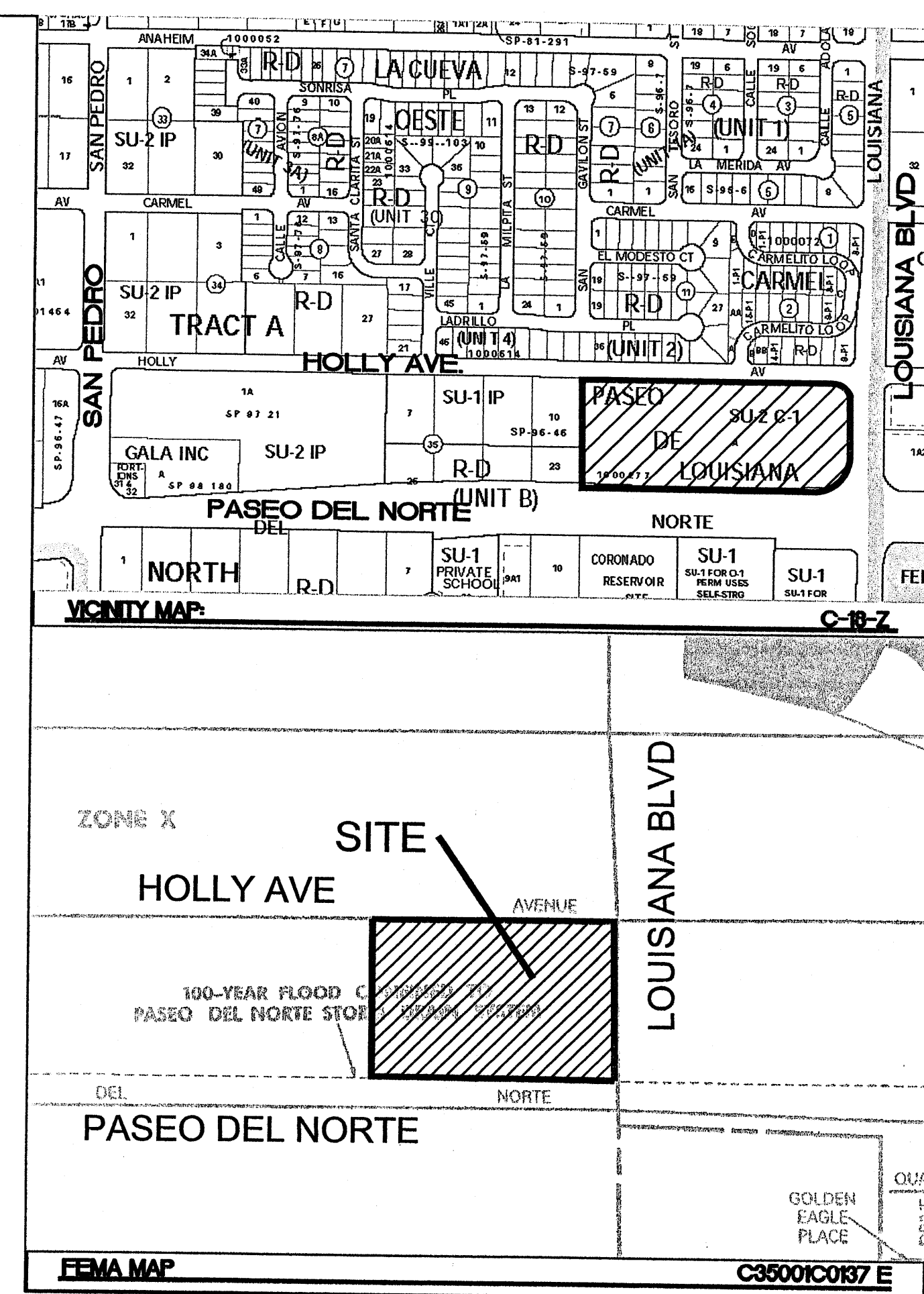
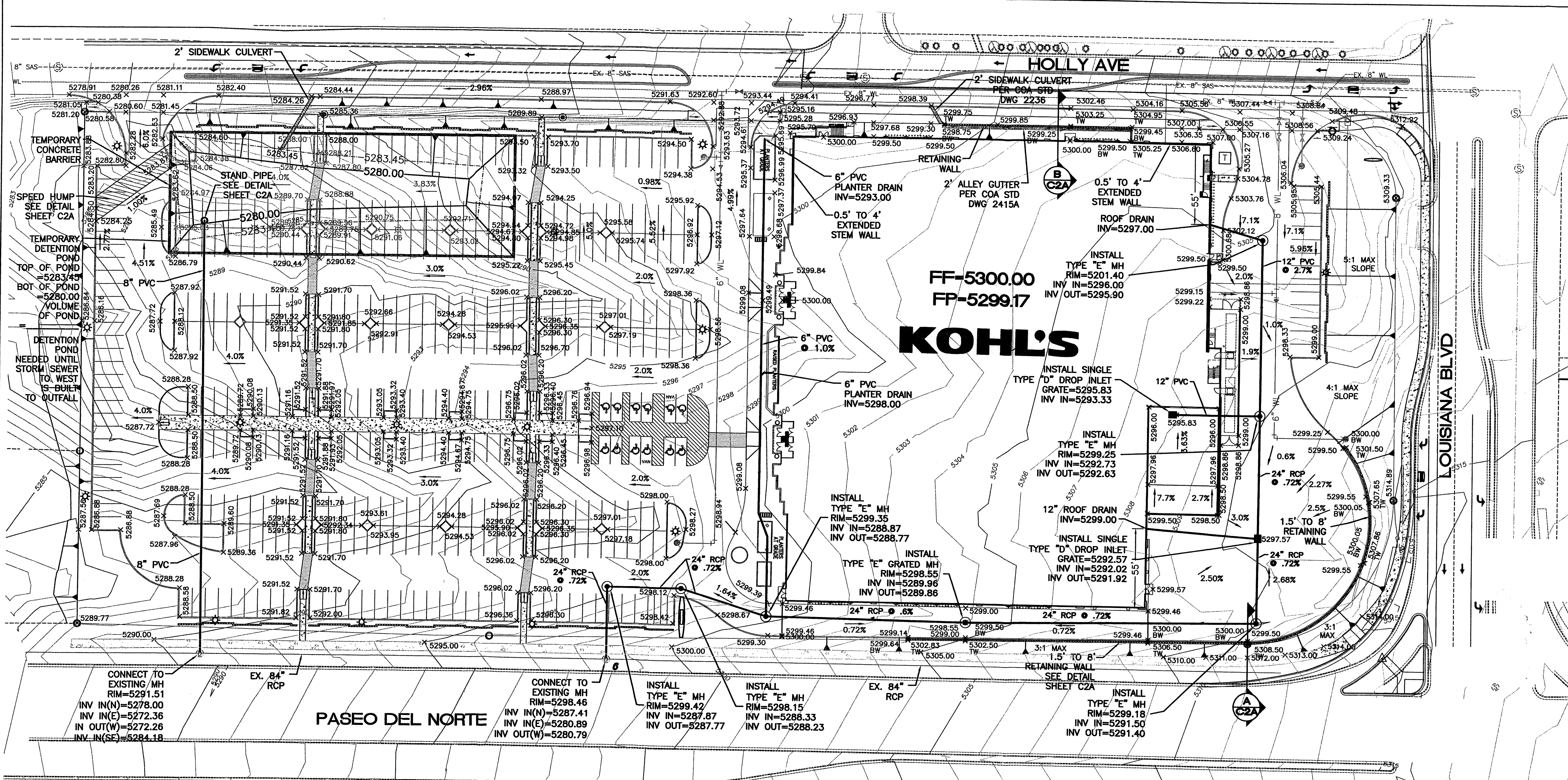




FOUNDATION PAD PREPARATION NOTES
KOHL'S DEPARTMENT STORE
LOUISIANA AND PASEO DEL NORTE NE
ALBUQUERQUE, NEW MEXICO
Terracon Project No. 66055026

Unless specifically indicated otherwise in the drawings and/or specifications, the limits of this subsurface preparation are considered to be that portion of the site directly beneath and 10 feet beyond the building and appurtenances.

Appurtenances are those items attached to the building proper typically including, but not limited to, the building sidewalks, porches, ramps, stoops, truck wells/docks, compactor pad, etc. The subbase and the vapor barrier, where required, do not extend beyond the limits of the actual building and the appurtenances.

Establish the final subgrade elevation at 10 inches below the finished floor elevations to allow for a four inch slab and a six inch subbase provided by the building contractor. The subbase shall be four inches of coarse aggregate overlain by two inches of fine aggregate. The contractor is responsible for obtaining accurate measurements or all cut and fill depths required.

Existing foundations, slabs, pavements and below grade structures shall be removed from the building area. Remove surface vegetation, topsoil, root systems, organic material, existing fill, and soft or otherwise unsuitable material from the building area. Scarify exposed subgrade to a minimum depth of 10 inches, condition to near optimum moisture content, and compact to 95% of modified proctor density. Remove and replace unsuitable areas with suitable materials.

The subsurface soils shall be densified to at least 95 percent of the modified proctor maximum dry density (ASTM D-1557) to a depth of approximately 36 inches below slab subgrade. Fill to floor slab grade as necessary with select structural fill. Fill material shall be free of organic and other deleterious materials and shall consist of clean sand (SP) containing less than 5 percent soil fines passing the No. 200 sieve (ASTM D-1140). The maximum particle size in the 4'-0" of fill within the pad area shall be 3". Fill materials consisting of fine sands with clay (SP-SC) or clayey sands (SC) can also be used, but may require considerable drying before use. Within wet areas or low spots with standing water, only the clean fine sands (SP) shall be used.

Place fill material in loose lifts not exceeding 10 inches in thickness. Adjust moisture content to be within 3 percent below to 3 percent above the optimum value, and compact to at least 95 percent of the modified proctor maximum dry density (ASTM D-1557).

The foundation system shall be isolated spread footings at columns and continuous spread footings at the walls bearing on a minimum of 48 inches of engineering fill. The footings shall be a minimum of 18 inches below exterior grade. The allowable bearing capacity at this depth shall be 3000 psf.

This foundation subsurface preparation does not constitute a complete site work specification. Information covered in this preparation governs over the contract specifications. Refer to the site work specifications and geotechnical report by Terracon dated 15 June, 2005, for information not covered in this preparation. The geotechnical report is for information only and is not considered as a design specification.

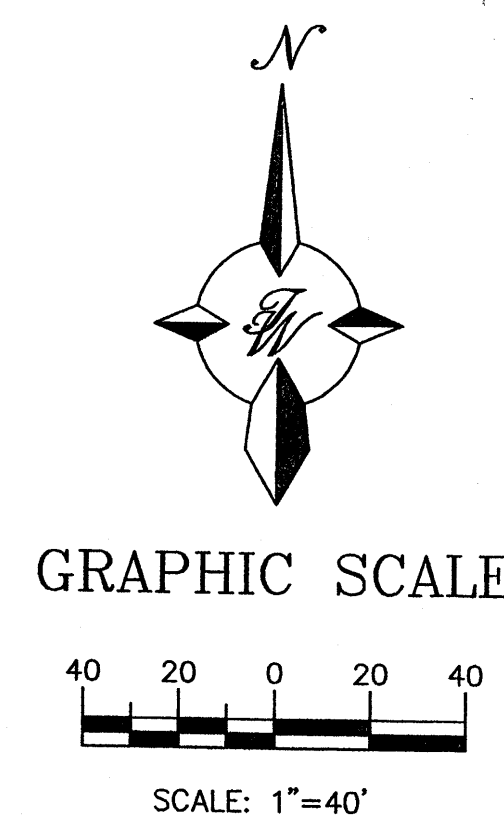
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

LEGEND

	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	SETBACK LINE
	STRIPING
	PROPOSED BUILDING
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	PROPOSED CROSSWALK
	PROPOSED BIKERACK
	PROPOSED FIRE HYDRANT
	PROPOSED SCREEN WALL
	PROPOSED RETAINING WALL
	PROPOSED PARKING LOT LIGHTING
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED SPOT ELEVATION



EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

DATE

NOV 03 2005
HYDROLOGY SECTION

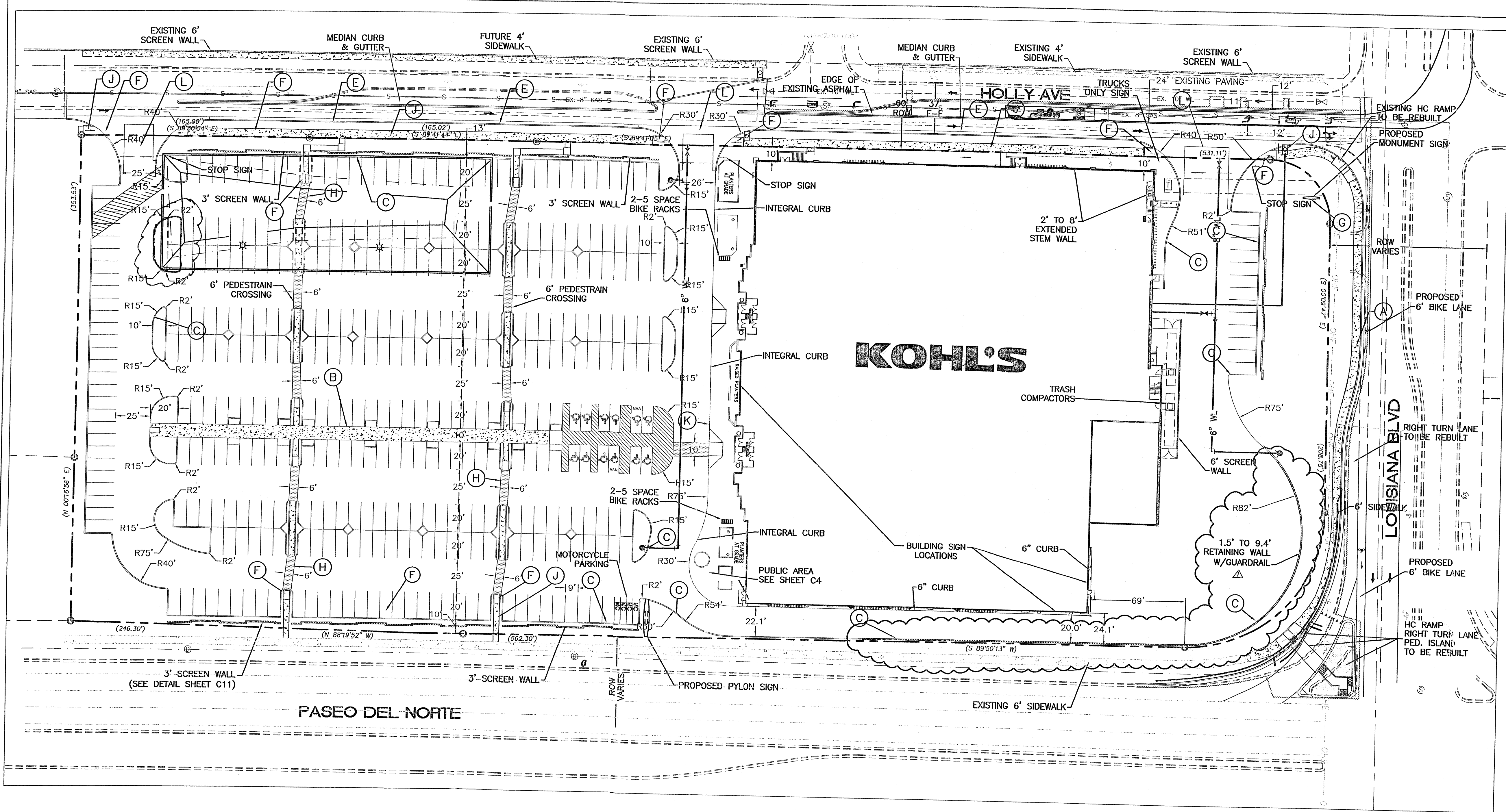
ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

KOHL'S
PASEO DEL NORTE / LOUISIANA
GRADING AND
DRAINAGE PLAN

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY
BJF
DATE
11/01/05
25017-GRB
SHEET #
C2
JOB #
25017

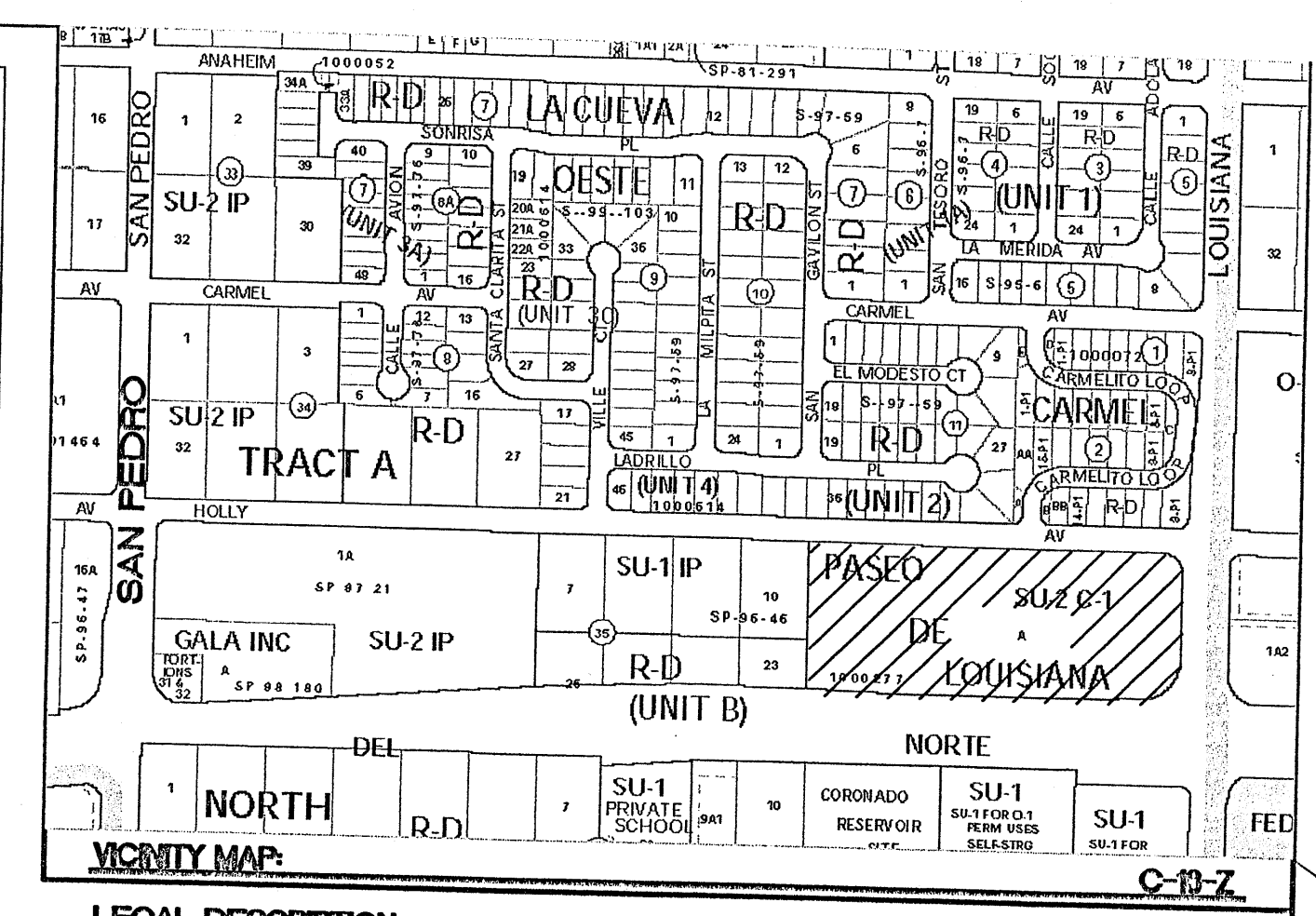
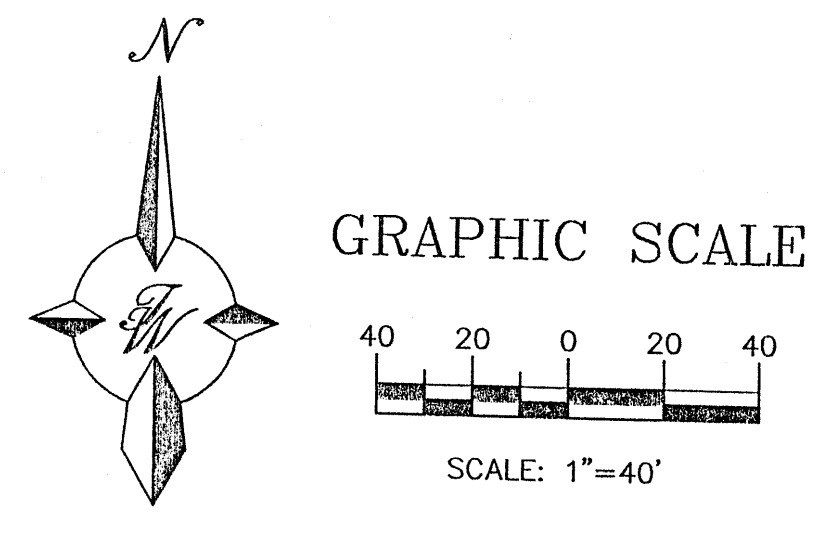


- GENERAL NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSED WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - ALL LIGHT POLES SHALL COMPLY WITH ZONING CODE REQUIREMENTS, WHICH REQUIRED THAT HEIGHTS OF LIGHT POLES WITHIN 100 FT. OF A RESIDENTIAL ZONE BE NO TALLER THAN 16 FT. AND 30 FT. ELSEWHERE
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.
 - DELIVERY TRUCKS SHALL NOT IDLE LONGER THEN 5 MINUTES WHILE ON SITE.

- KEYED NOTE:**
- (A) 6' SW PER C.O.A. STD DWG #2430
 - (B) 10' PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
 - (C) 6" CURB & GUTTER
 - (D) HC RAMP PER C.O.A. STD DWG #2441
 - (E) 8" STANDARD CURB & GUTTER PER C.O.A. STD DWG #2415A
 - (F) UNI-DIRECTIONAL HC RAMP PER C.O.A. STD DWG #2441
 - (G) INSTALL 1 - MONUMENT SIGN (50 SQ.FT. MAX.); SEE ARCH DWG FOR DETAILS
 - (H) 6' WIDE PEDESTRIAN CROSSWALK
 - (J) 4' CONCRETE SIDEWALK
 - (K) TURN DOWN CURB
 - (L) 6' VALLEY GUTTER

- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - LOT LINES
 - SETBACK LINE
 - STRIPING
 - PROPOSED BUILDING
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - PROPOSED CROSSWALK (PATTERN CONCRETE)
 - PROPOSED BIKERACK
 - PROPOSED FIRE HYDRANT
 - PROPOSED SCREEN WALL
 - PROPOSED RETAINING WALL
 - PROPOSED PARKING LOT LIGHTING

SITE DATA TABLE	
	LOT
TOTAL ACREAGE:	7.35 AC.
EXISTING ZONING:	SU2 - C1
PROPOSED ZONING:	SU2 - C1
BUILDING SIZE:	95,766 SF
MAX FAR:	-
PROPOSED USE:	RETAIL
TOTAL PARKING PROVIDED:	405
TOTAL PARKING REQUIRED:	374
MOTORCYCLE PARKING PROVIDED:	4
HC PROVIDED:	12
HC REQUIRED:	12
BIKE SPACES PROVIDED:	20
BIKE SPACES REQUIRED:	20
BUILDING HEIGHT:	TBD
LANDSCAPE PROVIDED:	37,004 SF
LANDSCAPE REQUIRED:	34,704 SF
15% OF NET LOT AREA	



LEGAL DESCRIPTION:
TRACT A, PASEO DE LOUISIANA

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

- INDEX TO DRAWINGS**
- C1 SITE PLAN FOR BUILDING PERMIT
 - C2 GRADING AND DRAINAGE PLAN
 - C2A RETAINING WALL P&P
 - C3 MASTER UTILITY PLAN
 - C4 WEST (FRONT) ELEVATIONS
 - C5 WEST (FRONT) ELEVATIONS
 - C6 SOUTH (RIGHT) ELEVATIONS
 - C7 NORTH (LEFT) ELEVATIONS
 - C8 EAST (BACK) ELEVATIONS
 - C9 PYLON SIGN ELEVATIONS
 - C10 MONUMENT SIGN ELEVATIONS
 - C11 DETAILS
 - C11A RETAINING WALL DETAILS
 - C12 TRUCK TURNING EXHIBIT
 - C13 PHOTOMETRIC PLAN
 - L1 LANDSCAPING PLAN
 - L1.1 IRRIGATION PLAN
 - L2.1 IRRIGATION PLAN HOLLY AVE
 - L3 LANDSCAPE DETAILS

RECEIVED
NOV 15 2006

ADMINISTRATIVE AMENDMENT
File # 25017-SP-44-0011 Project # 1000574
Retaining wall change
Paul B. Bohannon
DATE

REVISIONS

NO.	DATE	REMARKS	BY
1	6/20/06	CHANGED RETAINING WALL TO (1.5' TO 9.4' WITH GUARDRAIL)	JN

ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

KOHL'S
PASEO DEL NORTE / LOUISIANA

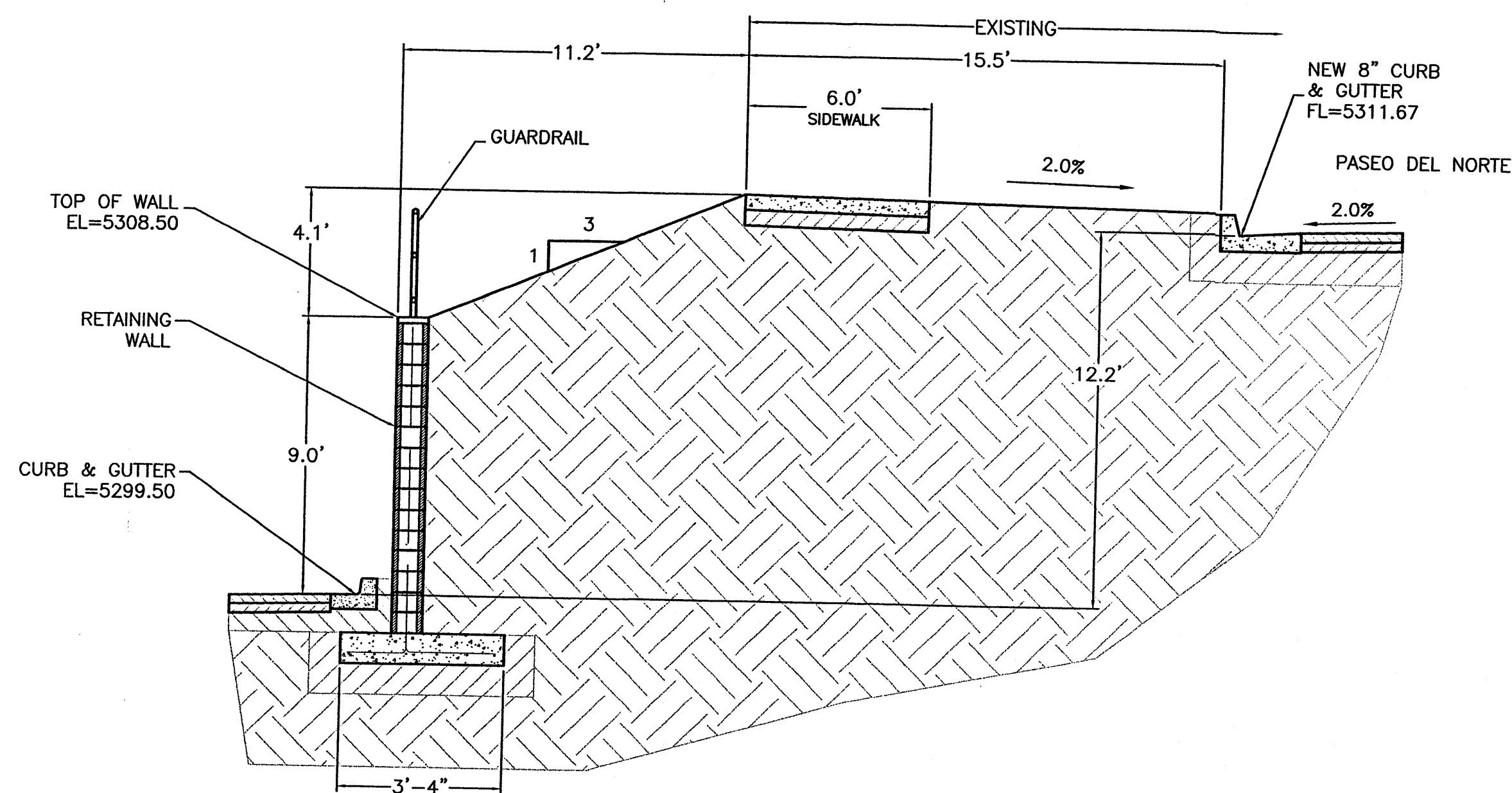
SITE PLAN FOR BUILDING PERMIT

TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

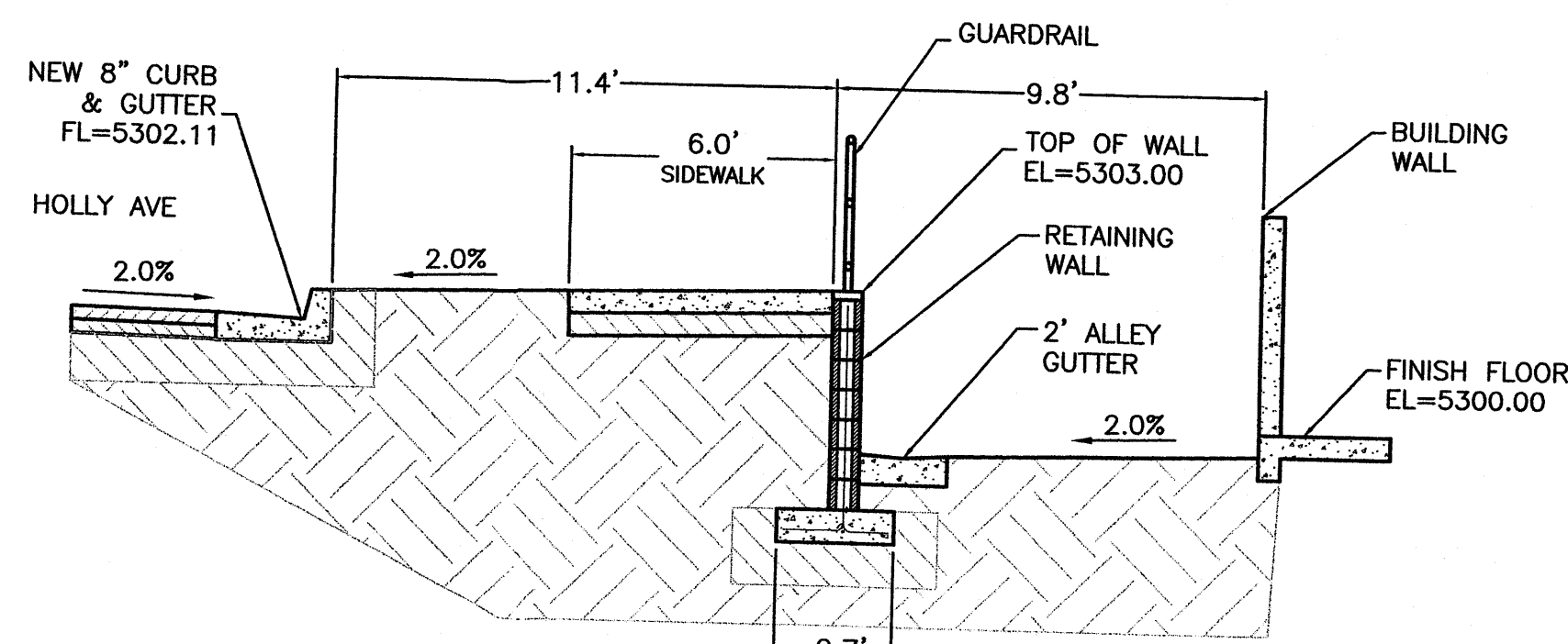
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DATE 06/20/06
25017-SP-44

SHEET #
C1

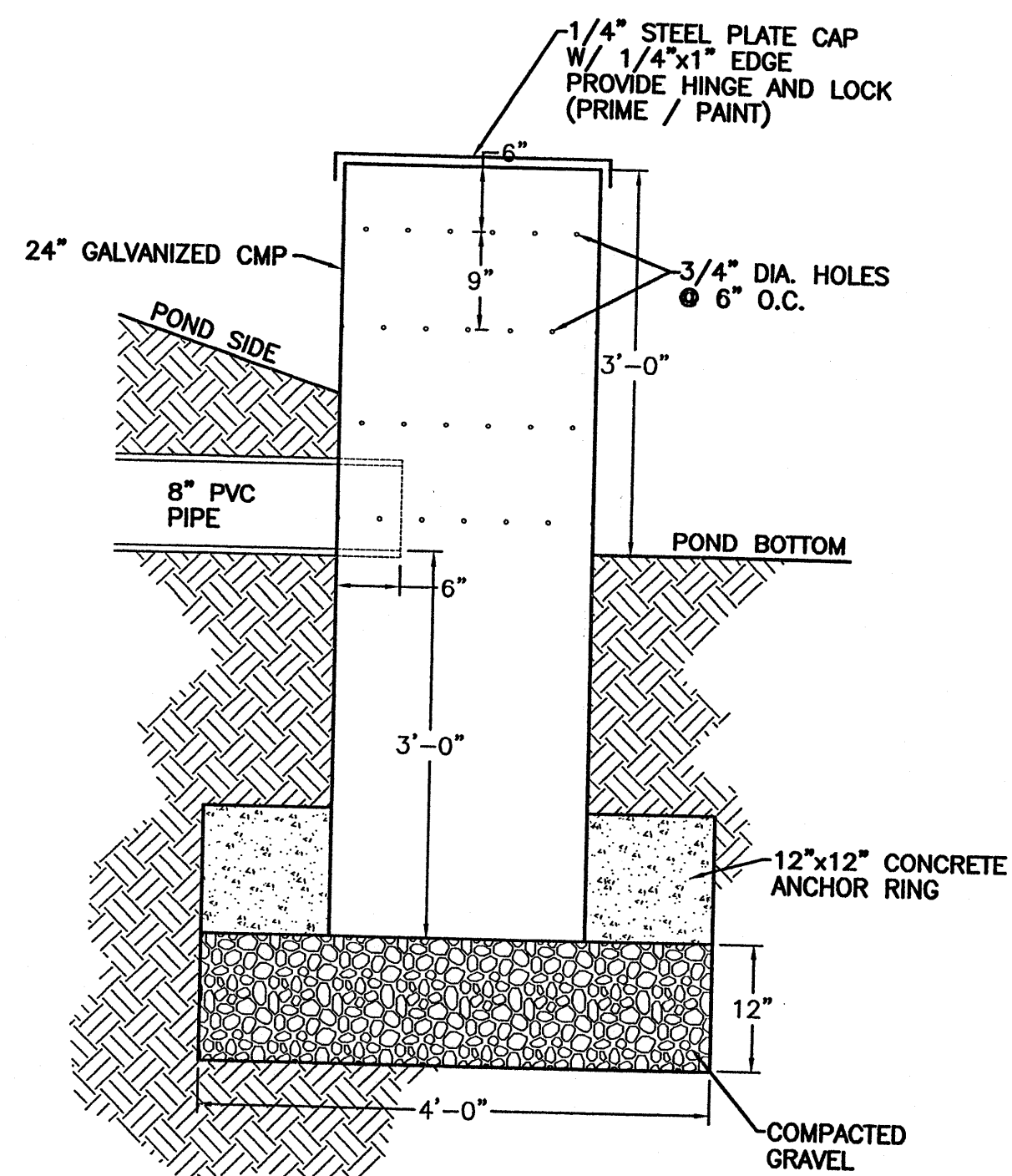
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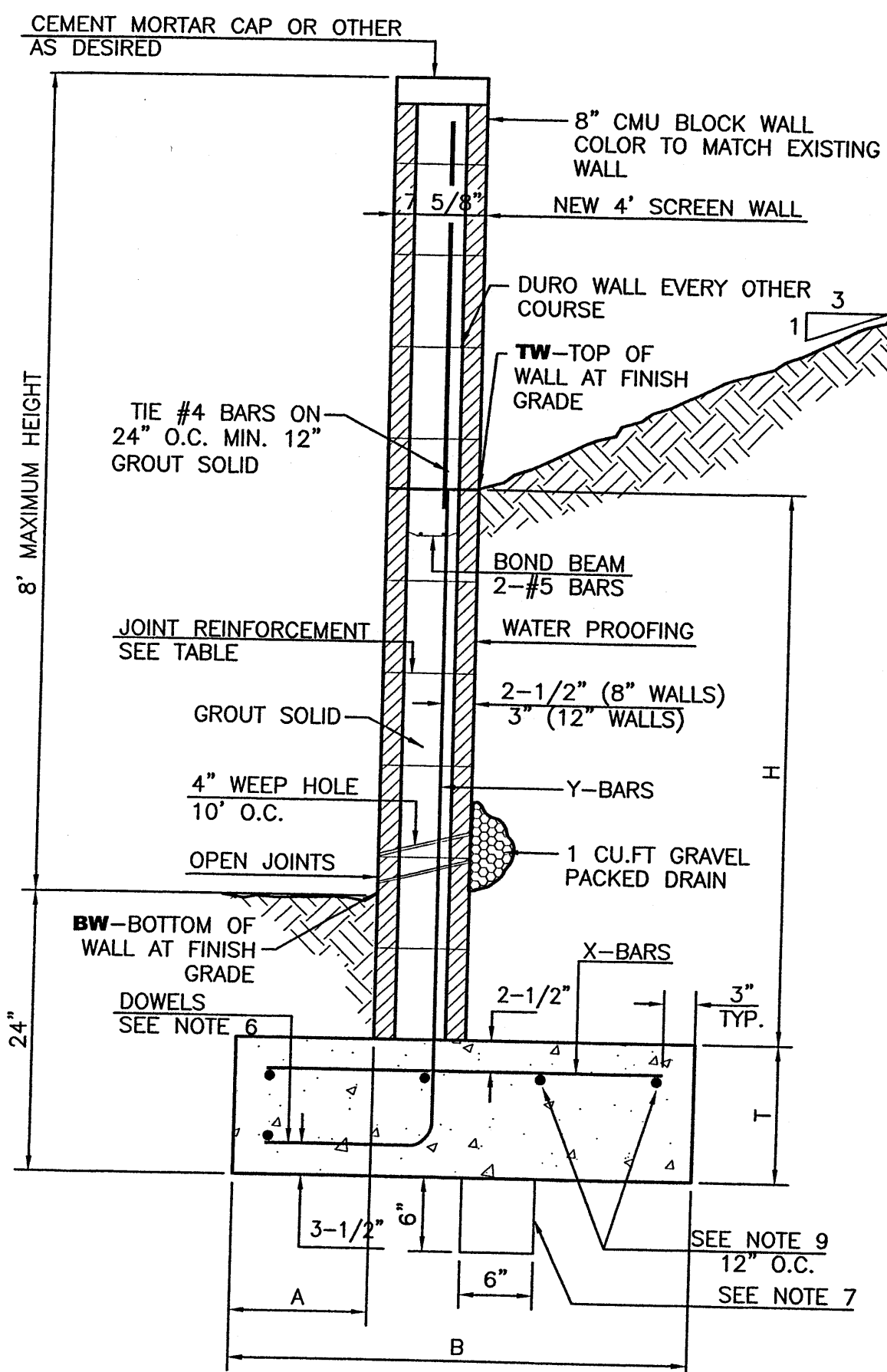
SECTION A
NTS



SECTION B
NTS



STAND PIPE DETAIL
NTS



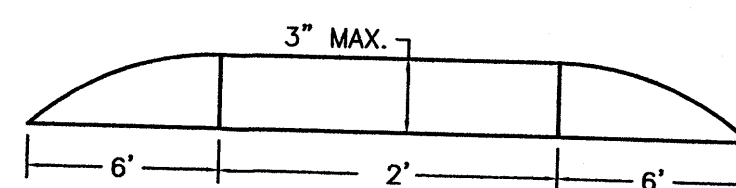
RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @24" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

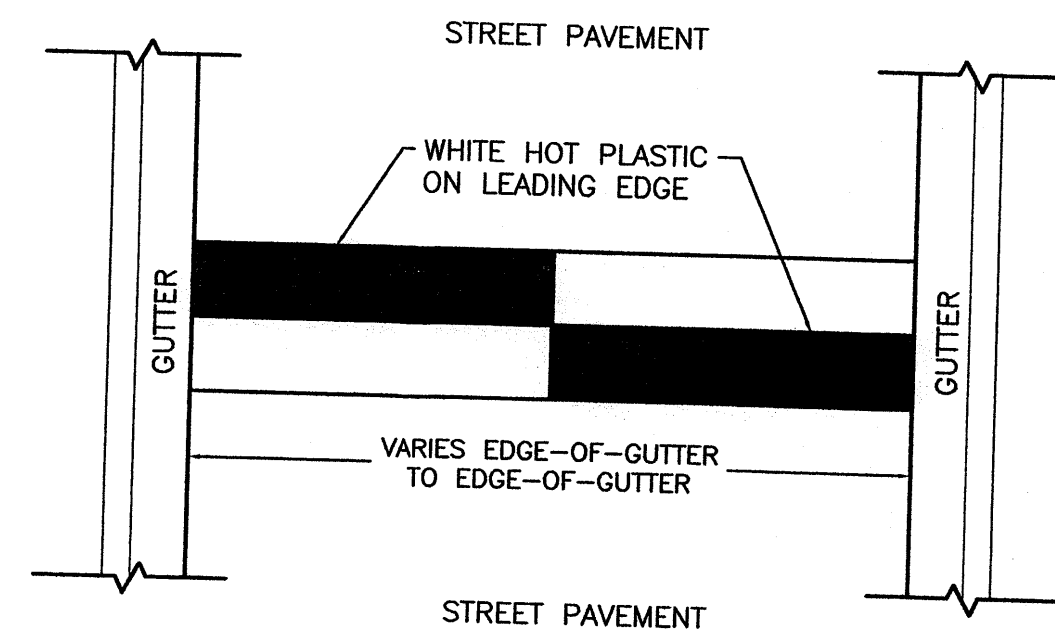
12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

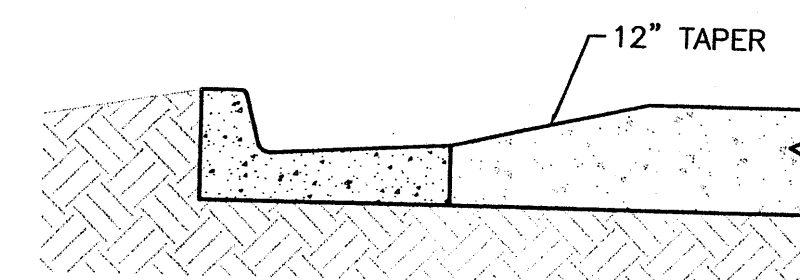
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUREX-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



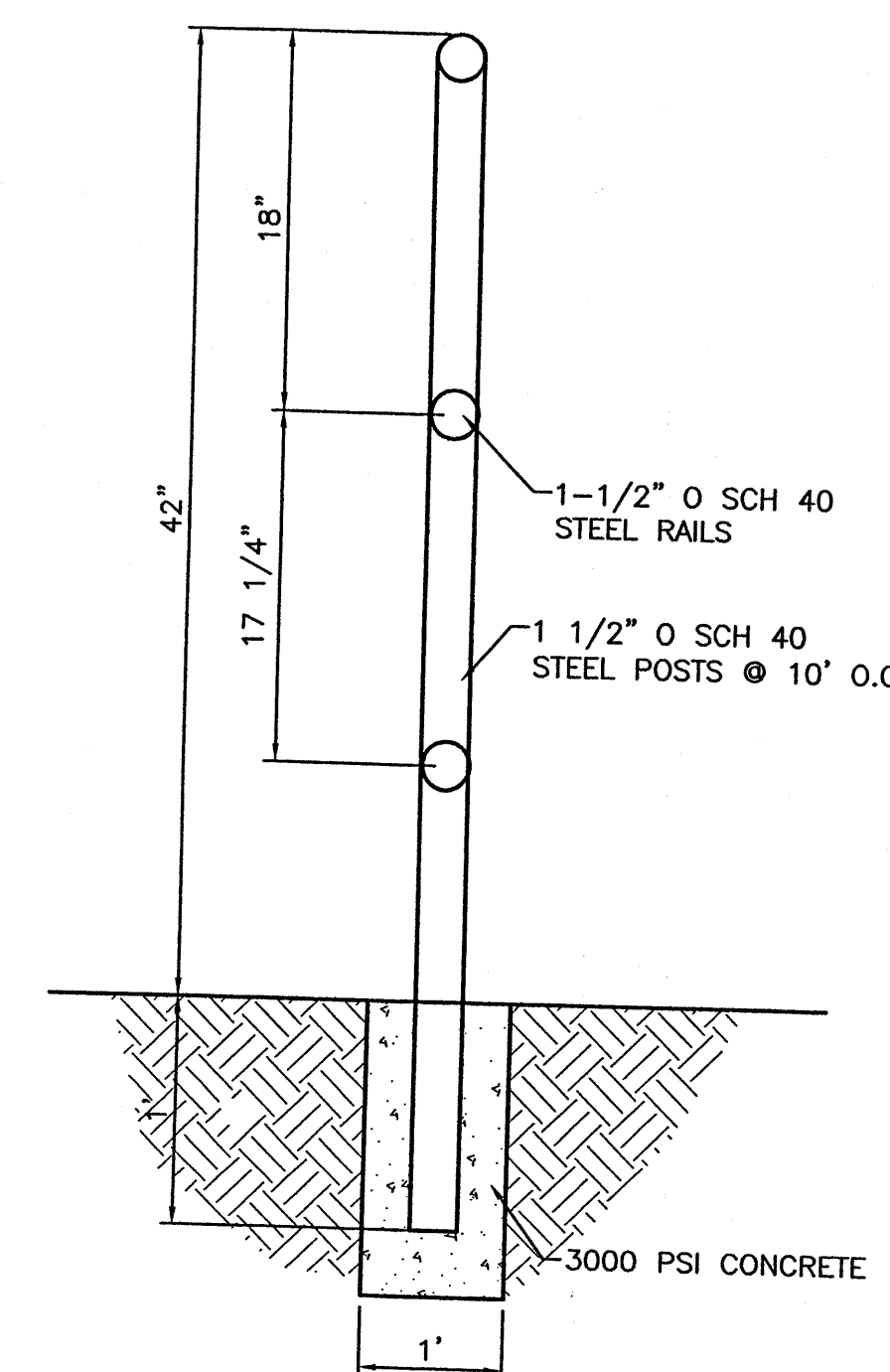
SPEED HUMP PROFILE
NTS



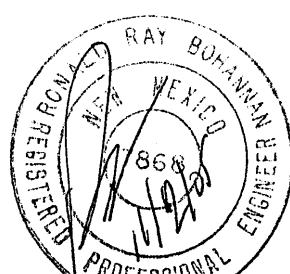
SPEED HUMP PLAN VIEW
NTS

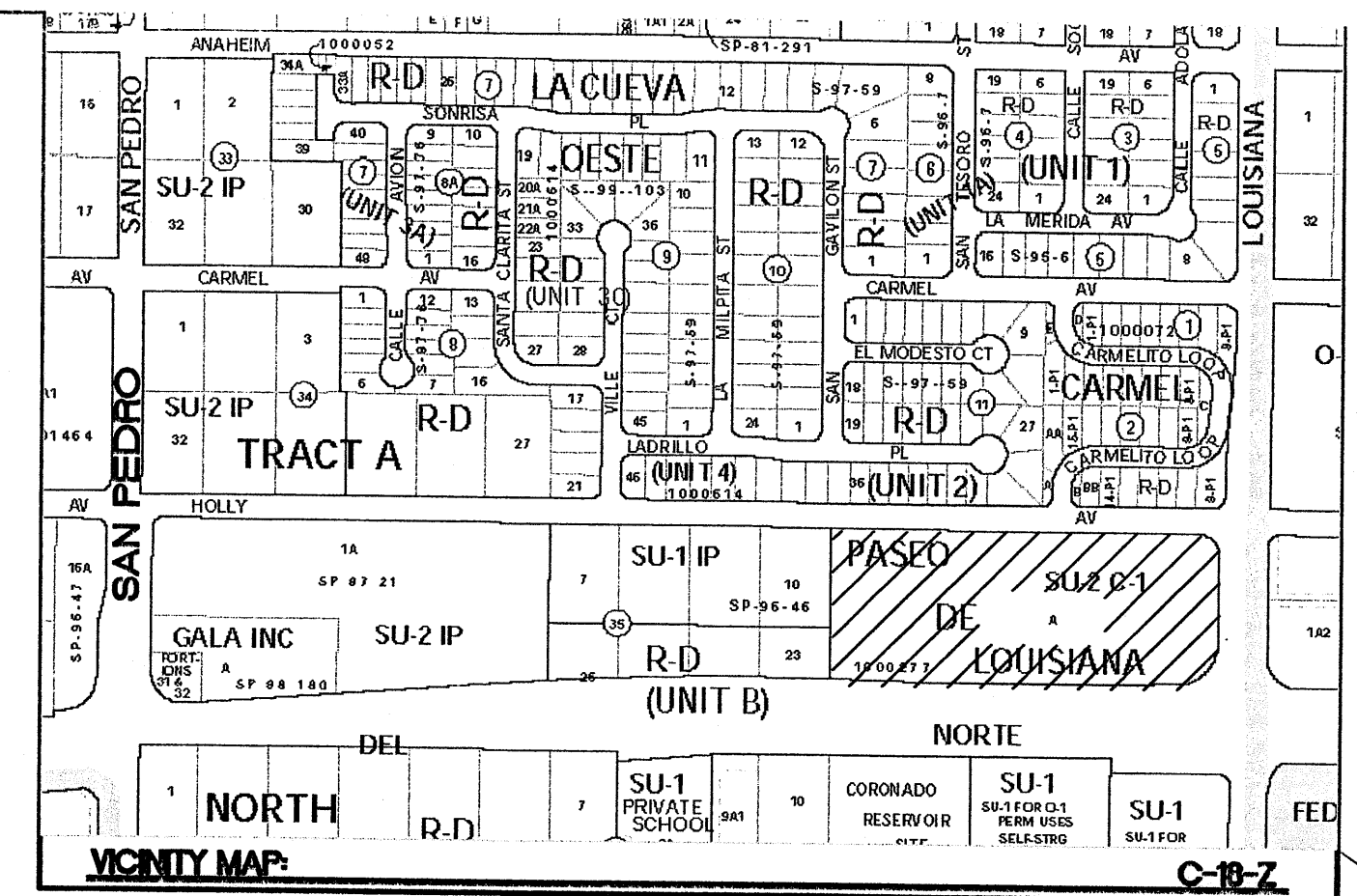
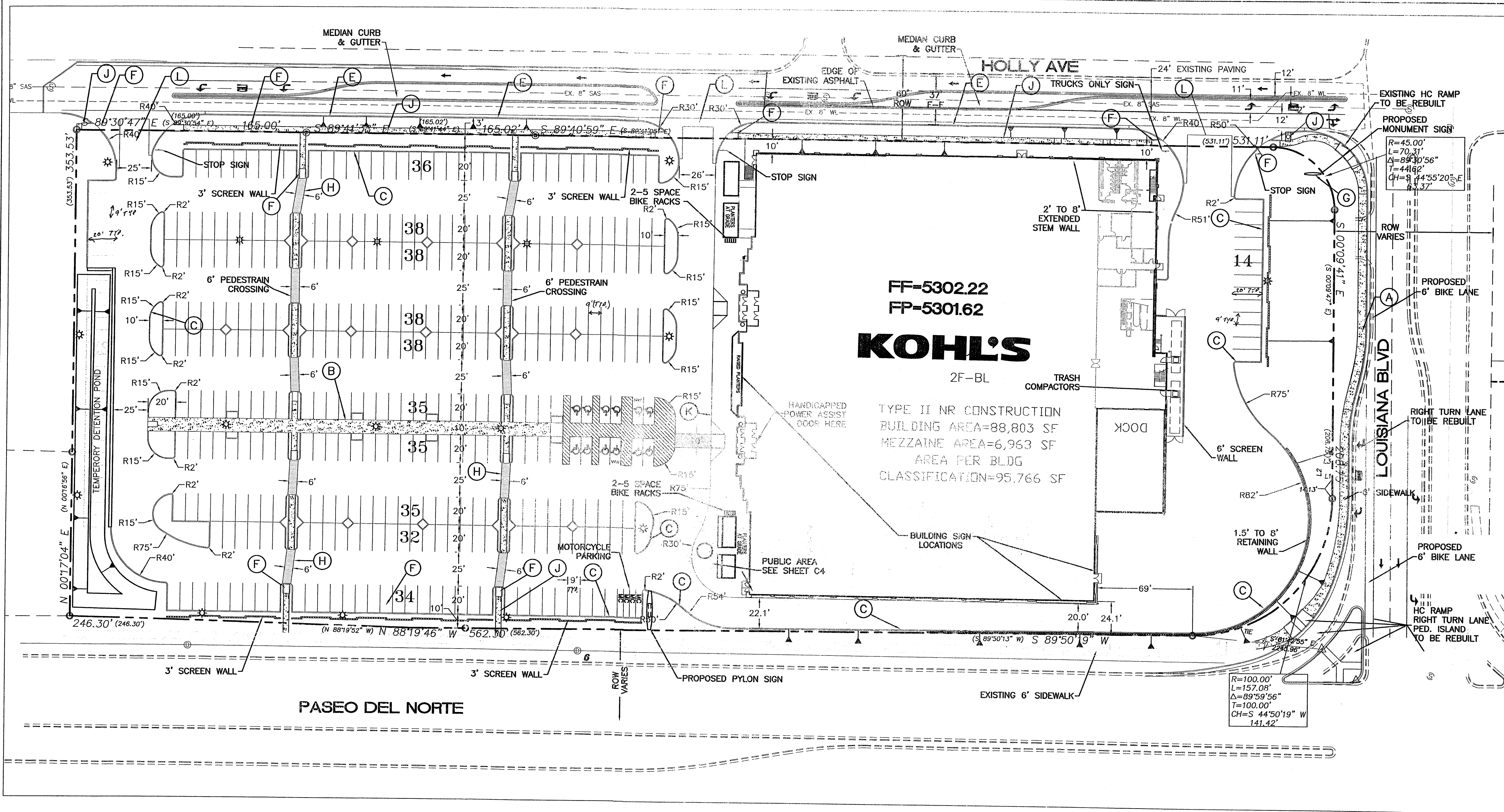


SPEED HUMP CURB TREATMENT
NTS



GUARD RAIL DETAIL
NTS

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	KOHL'S PASEO DEL NORTE / LOUISIANA GRADING AND DRAINAGE DETAIL SHEET		DRAWN BY BJF
			DATE 11/01/05
			25017-GRB
			SHEET # C2A
		 <i>Tierra West, LLC</i> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 25017



SITE DATA TABLE	
	LOT
TOTAL ACREAGE:	7.35 AC.
EXISTING ZONING:	SU2 - C1
PROPOSED ZONING:	SU2 - C1
BUILDING SIZE:	95,766 SF
MAX FAR:	-
PROPOSED USE:	RETAIL
TOTAL PARKING PROVIDED:	405
TOTAL PARKING REQUIRED:	374
MOTORCYCLE PARKING PROVIDED:	4
HC PROVIDED:	12
HC REQUIRED:	12
BIKE SPACES PROVIDED:	20
BIKE SPACES REQUIRED:	20
BUILDING HEIGHT:	TBD
LANDSCAPE PROVIDED:	37,004 SF
LANDSCAPE REQUIRED:	34,704 SF
15% OF NET LOT AREA	

PROJECT NUMBER: 1000579
APPLICATION NUMBER: OS-DRB-01513

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 10/5/05, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

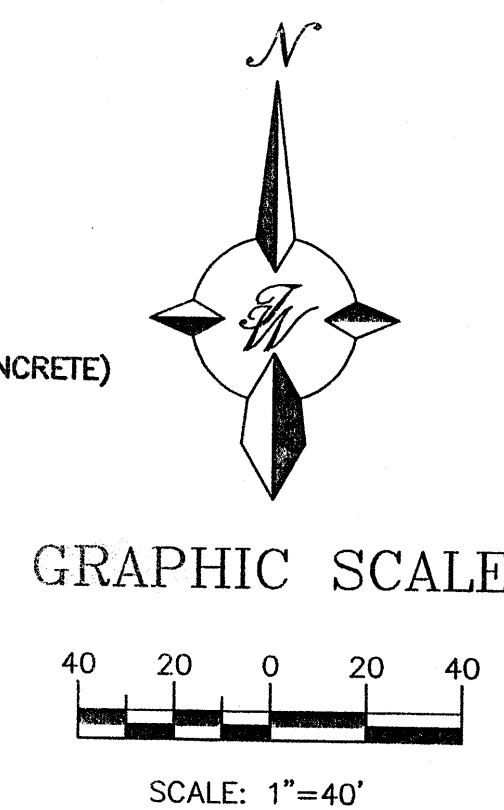
Engineer, Transportation Division	10-5-05
Date	10/5/05
Water Utility Development	10/5/05
Date	10/5/05
Parks & Recreation Department	1/25/06
Date	1/25/06
City Engineer	1/26/06
Date	1/26/06
* Environmental Health Department (conditional)	1/26/06
Date	1/26/06
Solid Waste Management	1/26/06
Date	1/26/06
DRB Chairperson, Planning Department	1/26/06
Date	1/26/06
* Environmental Health, if necessary	

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. MASTER UTILITY PLAN
 - C4. WEST (FRONT) ELEVATIONS
 - C5. WEST (FRONT) ELEVATIONS
 - C6. SOUTH (RIGHT) ELEVATIONS
 - C7. NORTH (LEFT) ELEVATIONS
 - C8. EAST (BACK) ELEVATIONS
 - C9. PYLON SIGN ELEVATIONS
 - C10. MONUMENT SIGN ELEVATIONS
 - C11. DETAILS
 - C12. TRUCK TURNING EXHIBIT
 - C13. PHOTO METRIC PLAN
 - L1. LANDSCAPING PLAN

LEGEND

EXISTING CURB & GUTTER	EXISTING CURB & GUTTER
PROPOSED CURB & GUTTER	PROPOSED CURB & GUTTER
BOUNDARY LINE	BOUNDARY LINE
EXISTING BOUNDARY LINE	EXISTING BOUNDARY LINE
EASEMENT	EASEMENT
CENTERLINE	CENTERLINE
RIGHT-OF-WAY	RIGHT-OF-WAY
LOT LINES	LOT LINES
SETBACK LINE	SETBACK LINE
STRIPING	STRIPING
PROPOSED BUILDING	PROPOSED BUILDING
EXISTING SIDEWALK	EXISTING SIDEWALK
PROPOSED SIDEWALK	PROPOSED SIDEWALK
PROPOSED CROSSWALK (PATTERN CONCRETE)	PROPOSED CROSSWALK (PATTERN CONCRETE)
PROPOSED BIKERACK	PROPOSED BIKERACK
PROPOSED FIRE HYDRANT	PROPOSED FIRE HYDRANT
PROPOSED SCREEN WALL	PROPOSED SCREEN WALL
PROPOSED RETAINING WALL	PROPOSED RETAINING WALL
PROPOSED PARKING LOT LIGHTING	PROPOSED PARKING LOT LIGHTING

FOR REFERENCE ONLY



ENGINEER'S SEAL	KOHL'S PASEO DEL NORTE / LOUISIANA	DRAWN BY BJF
RONALD R. BOHANNAN P.E. #7868	SITE PLAN FOR BUILDING PERMIT	DATE 09/21/05
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	25017-SPB
		SHEET # C1
		JOB # 25017