

Cherne, Curtis

From: Cherne, Curtis
Sent: Tuesday, September 08, 2015 3:53 PM
To: 'Bruce Stidworthy'
Subject: carmax drainage

Bruce,

I am helping DMD with a drainage analysis along Alameda Blvd from I-25 to 2nd street.

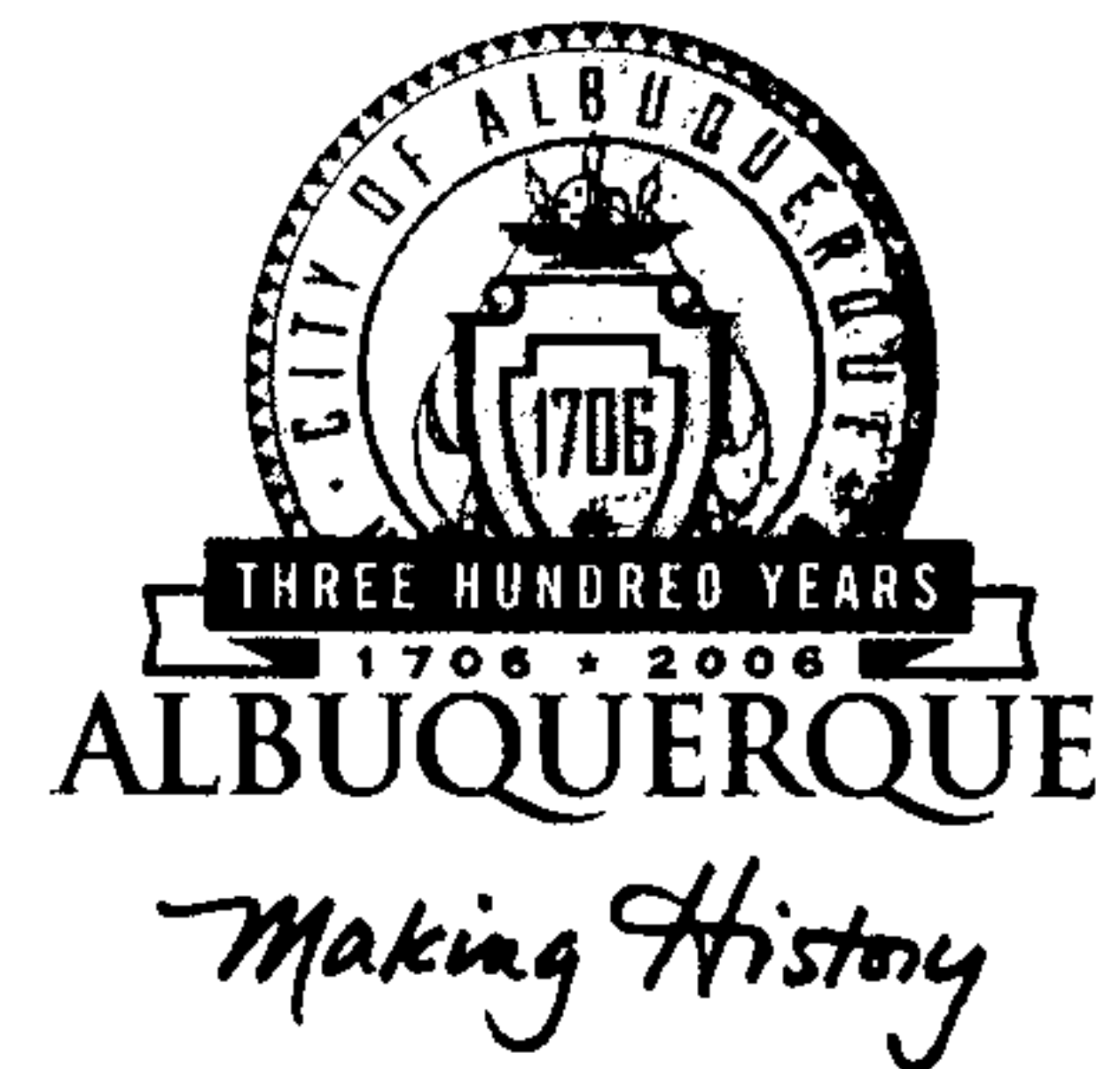
I saw you certified the Carmax g and d (C18D063)(BHI 2004). The plan checker only kept your cert of the grading plan and we don't have any drainage info.

I see there is a 12.5 inch orifice plate.

BHI puts together a great DMP sheet for large commercial projects. Could you send me the one for Carmax?

Thanks,
Curtis

CITY OF ALBUQUERQUE



November 15, 2004

Mr. Bruce Stidworthy, P.E.
BOHANNAN-HUSTON, INC.
7500 Jefferson St. NE
Albuquerque, NM 87109

Re: CARMAX
8725 PAN AMERICAN FREEWAY NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 09/13/2004 (C-18/D63)
Certification dated 11/12/2004

Dear Bruce,

P.O. Box 1293

Based upon the information provided in your submittal received 11/12/04, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

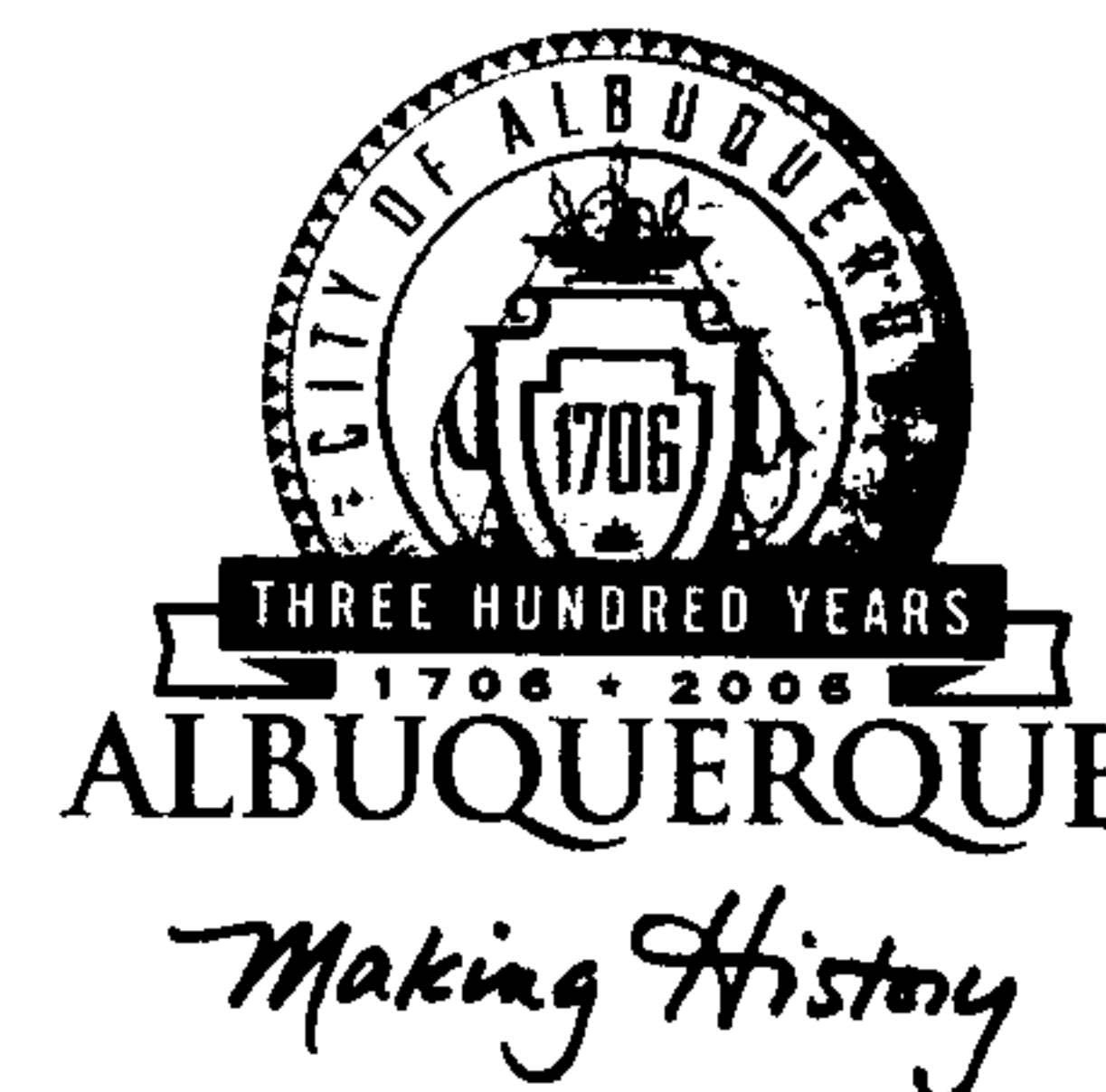
Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: Phyllis Villanueva
File

CITY OF ALBUQUERQUE



September 23, 2004

Bruce Stidworthy, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

**Re: Carmax, 8725 Pan American Freeway NE, Grading and Drainage Plan
Engineer's Stamp dated 9-19-04 (C18/D63)**

Dear Mr. Stidworthy,

Based upon the information provided in your submittal received 9-13-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

New Mexico 87103

www.cabq.gov

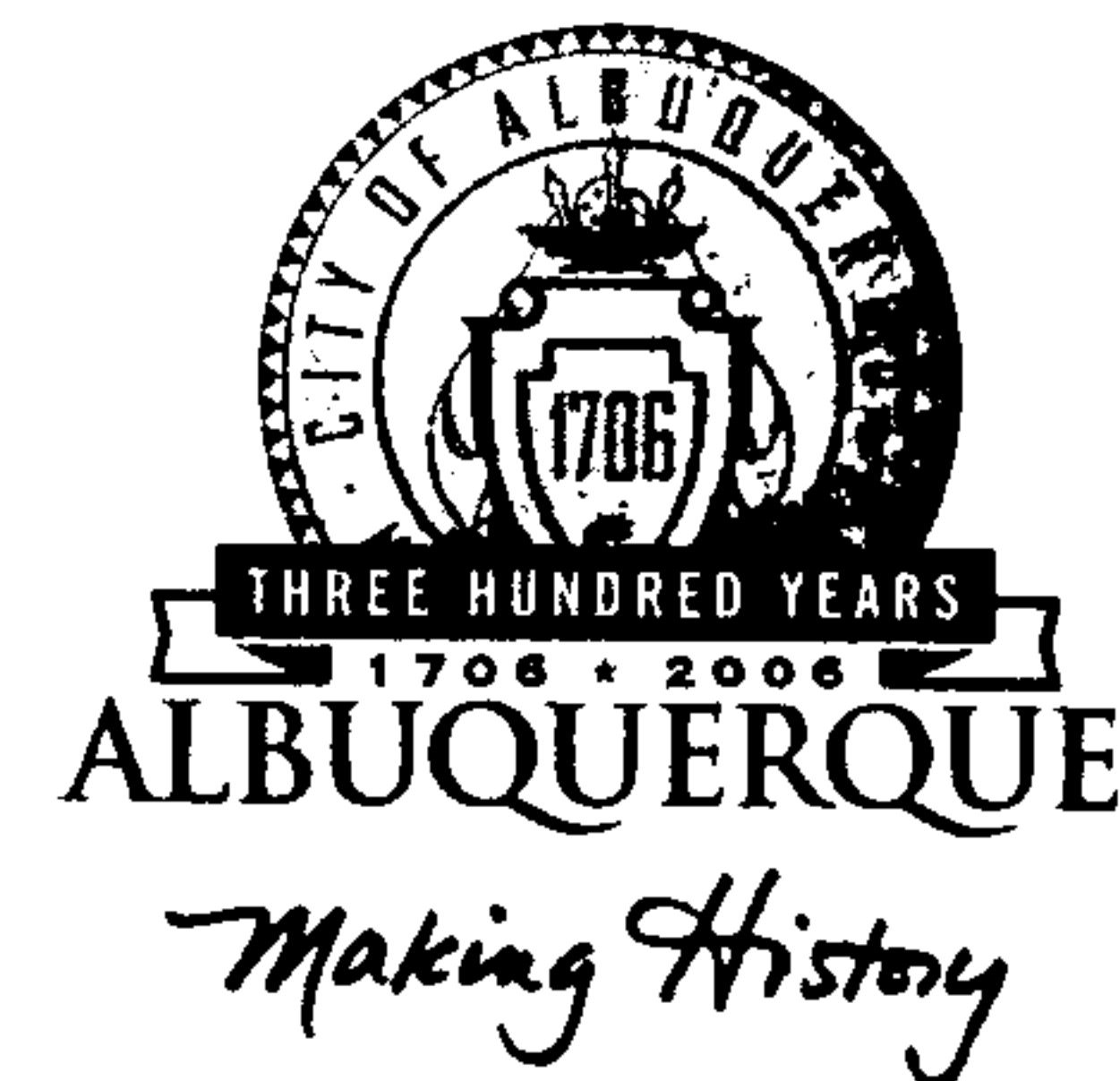
If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, DMD Storm Drainage Design
File

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 12, 2004

Bruce J. Stidworthy, P.E.
7500 Jefferson NE, Court I
Albuquerque, NM 87109-4335

Re: Certification Submittal for Final Building Certificate of Occupancy for
Carmax, [C-18 / D63]
8725 Pan American Freeway NE
Engineer's Stamp Dated 11/09/04

Dear Mr. Stidworthy :

P.O. Box 1293

The TCL / Letter of Certification submitted on November 12, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Carmax ZONE MAP/DRG. FILE # C-18/D63
DRB #: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: Tract 1, Levi Straus & Co.
CITY ADDRESS: 8725 Pan American Freeway NE

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Bruce Stidworthy/mb
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

- CHECK TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEERS CERTIFICATION (TCL)
 - ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D. APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY) - SO19 APPROVAL

- WAS A PRE-DESIGN CONFERENCE ATTENDED:**
- YES
 - NO
 - COPY PROVIDED

Rec'd 11/12/04

DATE SUBMITTED: 11/12/04 BY: Bruce Stidworthy/mb

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

November 12, 2004

Courtyard I
7500 Jefferson NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
fax: 505.798.7988
toll free: 800.877.5332

Nilo Selgado
Senior Engineer
City of Albuquerque
P O Box 1293
Albuquerque, NM 87103

Re: Carmax-8725 Pan American Freeway NE, Engineer Certification of Approved DRB Site Plan

Dear Nilo:

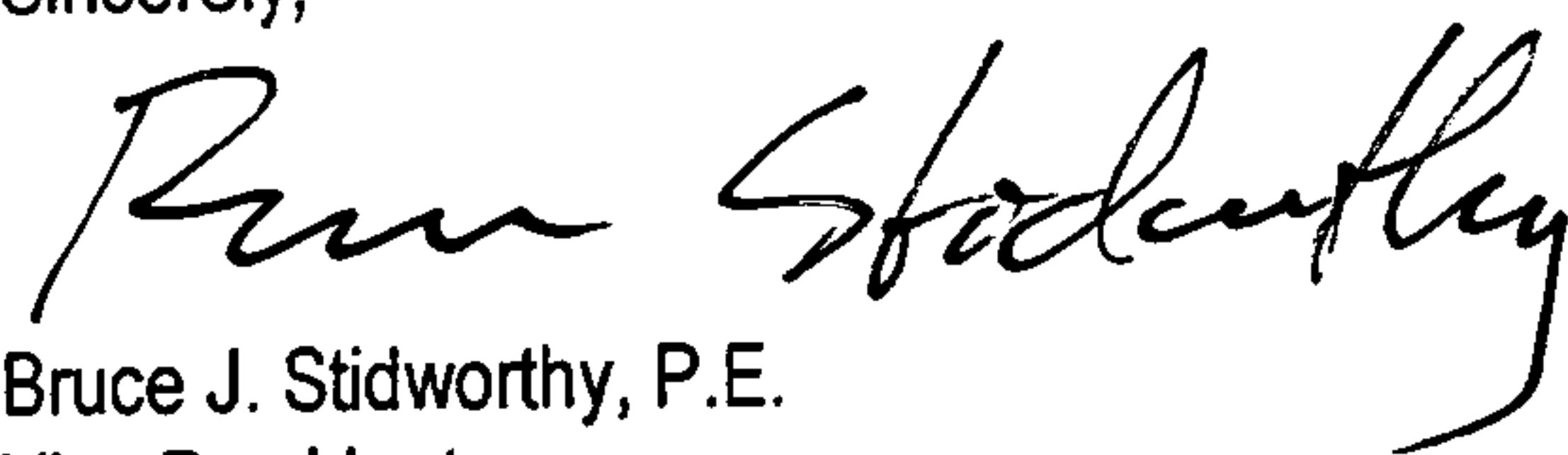
Attached is a copy of the approved DRB site plan (DRB# 1003120). With this submittal we are seeking Permanent Certificate of Occupancy for the above referenced project. A site visit was performed on 11/9/04 to visually inspect the site, and verify that the site improvements have been completed and are in substantial compliance with the DRB approved site plan.

All the deficiencies noted in the letter for Temporary Certificate of Occupancy dated October 20, 2004 were corrected. Deficiency number 7 was corrected by eliminating the handicap space from the northwest corner and relocating this space to the west in the adjacent lot (see attached plan for location). No additional work needs to be completed.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic circulation layout aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions regarding this engineer's certification, please give me a call.

Sincerely,



Bruce J. Stidworthy, P.E.
Vice President
Community Development and Planning



BJS/cc
Enclosure

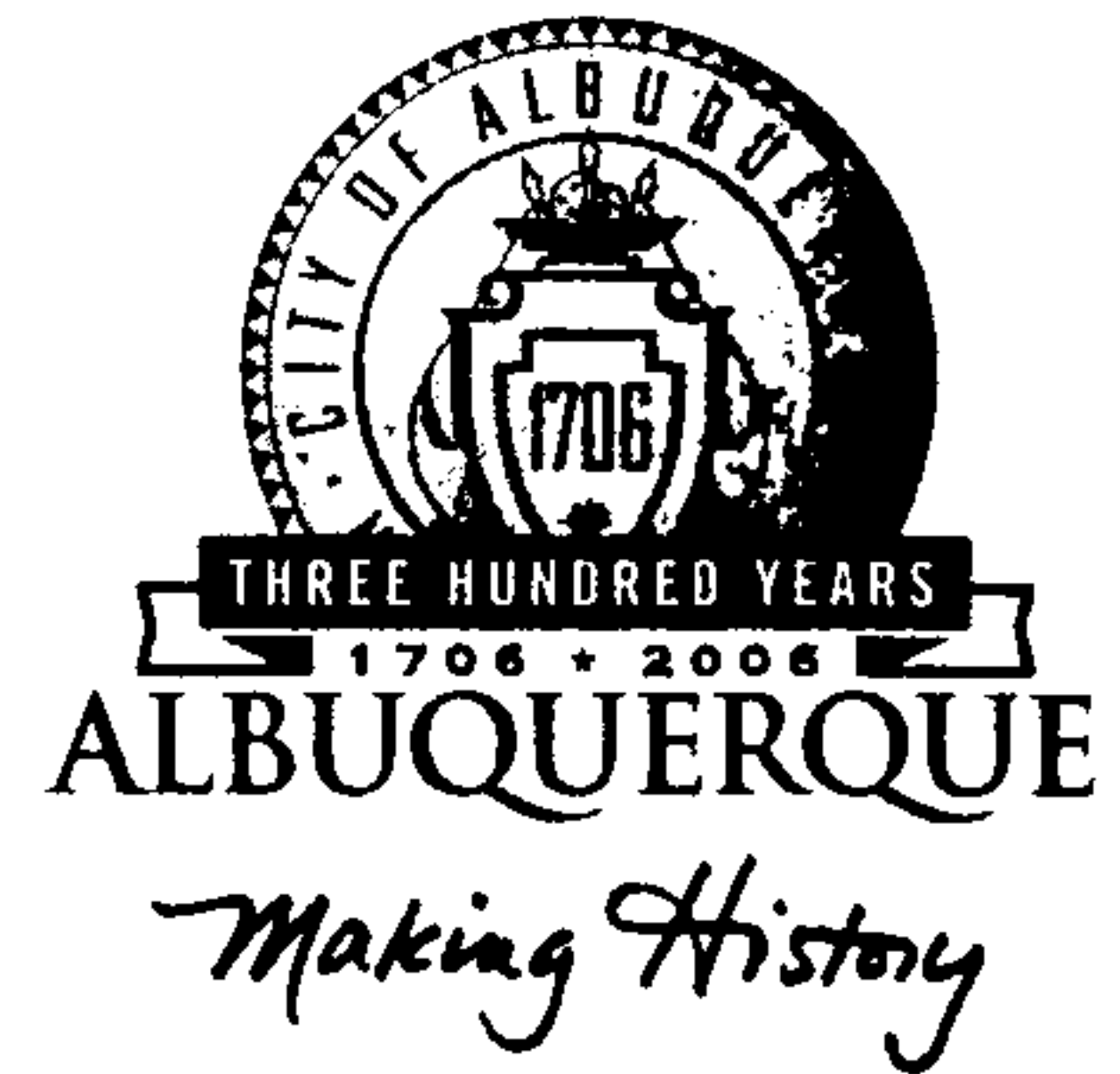
cc: David Nelson, IDI
Brian Metzger, TD Farrell
Chuck Patterson, Pieper O'Brien Herr Architects

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 21, 2004

Bruce J. Stidworthy, P.E.,
Bohannon Huston
7500 Jefferson St SE, Courtyard 1
Albuquerque, NM 87109-4335

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Carmax, [C-18 / D63]
8725 Pan American Freeway NE
Stamp Dated (No stamp provided with date)

Dear Mr. Stidworthy:

Based on the information provided on your submittal dated October 20, 2004, the above referenced project is approved for a 30-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding bullet items, mentioned in Certification letter (dated 10/20/04), issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
☐ Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

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 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEERS CERTIFICATION (TCL)
 - ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY) - SO19 APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

DATE SUBMITTED: 10/20/04 BY: Bruce Stidworthy/mb

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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