

**From:** Abiel X. Carrillo  
**To:** ["David Soule"](#)  
**Subject:** RE: C18D064B - Legacy NAA Apartments - Stamp Date 3/25/2016  
**Date:** Tuesday, May 10, 2016 11:13:00 AM

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Sounds good, then the information provided in the Revised Version of the plan dated 4/8/2016, received by email 5/9/2016 is approved for Site Plan for Building Permit, with the understanding that the Building Permit approval will require a future re-submittal to address comments provided for that approval request.

Thanks,

## **Abiel Carrillo, PE, CFM**

**Principal Engineer - Hydrology**  
**Planning Department**

Development Review Services Division  
City of Albuquerque  
505-924-3986  
[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

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**From:** David Soule [<mailto:david@riograndeengineering.com>]  
**Sent:** Tuesday, May 10, 2016 11:09 AM  
**To:** Abiel X. Carrillo  
**Subject:** RE: C18D064B - Legacy NAA Apartments - Stamp Date 3/25/2016

yes please and thank you.  
David

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**From:** Abiel X. Carrillo [<mailto:acarrillo@cabq.gov>]  
**Sent:** Tuesday, May 10, 2016 11:04 AM  
**To:** David Soule  
**Subject:** RE: C18D064B - Legacy NAA Apartments - Stamp Date 3/25/2016

Thanks, I know we are trying to get this one through, can I get your concurrence that the next iteration of the report will show how those inlets comply with the Alameda/Oakland masterplans, and that if in reviewing the report we need to change them again that your owner/architect is ok with coming back and amending the infrastructure list?

## **Abiel Carrillo, PE, CFM**

**Principal Engineer - Hydrology**  
**Planning Department**

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Albuquerque, NM 87102

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**From:** David Soule [<mailto:david@riograndeengineering.com>]  
**Sent:** Monday, May 09, 2016 4:06 PM  
**To:** Abiel X. Carrillo  
**Subject:** RE: C18D064B - Legacy NAA Apartments - Stamp Date 3/25/2016

Abiel, please find the attached revised infrastructure list and site plan package, We have added additional inlets to the existing stubs and provided RCP to all the inlets in the right of way. We are having weekly design meeting with the architect so some of the grading will be slightly adjusted and we will submit the report in accordance with your additional comments below. Thank you very much  
David Soule  
Rio Grande Engineering  
321.9099

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**From:** Abiel X. Carrillo [<mailto:acarrillo@cabq.gov>]  
**Sent:** Wednesday, May 04, 2016 2:56 PM  
**To:** David Soule  
**Subject:** RE: C18D064B - Legacy NAA Apartments - Stamp Date 3/25/2016

David,

So, per this morning, out of the list below (for Prelim Plat/SPBP) I struck the comments that have been addressed

## **Abiel Carrillo, PE, CFM**

**Principal Engineer - Hydrology**

**Planning Department**

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**From:** Abiel X. Carrillo  
**Sent:** Thursday, April 07, 2016 12:00 PM  
**To:** David Soule  
**Cc:** Cherne, Curtis  
**Subject:** C18D064B - Legacy NAA Apartments - Stamp Date 3/25/2016

Mr. Soule,

This email is being sent in lieu of an attached comment letter in order to expedite the response for initial reviews. Responses to comments should continue to be included in the re-submittal. A reply to this email with responses to comments will not be considered a re-submittal.

Based on the information provided in your submittal received 3-24-2016, the above-referenced Grading and Drainage Report and Grading Plan cannot be approved for Preliminary Plat, Site Development for Building Permit, or Grading Permit. The plan can be approved for Site Plan for Subdivision, however, since it only involves the consolidation of the lots. The following sets of comments would need to be addressed prior to the applicable approval:

**Preliminary Plat and Site Plan for Building Permit (DRB #1009881):**

1. The Report (or a supplement) needs to show how the inlet types and sizes were selected along Alameda and Oakland. The Infrastructure List (which is tied to the SPBP) needs to reflect the sizes and types as well, since the work order involves removing and replacing inlets, and only installing a portion of the trunk along the frontage. [Please find revised Infrastructure list showing the double C and single A inlet at each existing stub.](#)
- ~~2. The Drainage Plan should not rely on the proposed restriction of discharge to the adjacent property, even if it is currently owned by the same entity, and even though the overage is small. This is possible, but it appears to be much more feasible to reduce the peak discharge of this project below the allowable rate per the latest NAA Drainage Master Plan.~~
3. All pipes in the City Right of Way need to be either RCP or HPPP, the connection into the Oakland Ave Right of Way shows a 12" HDPE extension into the inlet. [The attached plan has the corrected rcp within the right of way](#)
- ~~4. Show the diameter of all new and existing manholes (that are to be tied to) on Oakland and Alameda on the Plan.~~

[PROVIDE IN A FUTURE SUBMITTAL :](#)

**Grading (ESC) Permit:**

1. An Erosion and Sediment Control Plan needs to be approved by the City's Stormwater Quality Engineer.
2. Provide a Benchmark for the project.
3. There appears to be a disconnect between the information in the Grading Plan and the analysis completed in the Report.
4. Describe the check dams that are called out (dimensions, etc), or show a detail on the plan.
5. Show the modified grate detail (DWG #2220) on the plan since it is not published yet.
6. In general, the pipe layout consists of 12" diameter pipes; it is not clear that the interior inlets need to be 30" and/or Double D grated.

7. Provide a cross-section for the typical installation of the inline drains near the top of the first flush ponding areas. The typical detail provided is a general layout from the product catalog.
8. Clarify the distribution of discharge to the three outlet points by labeling the discharges on the Basin Map to facilitate future research of this project. Provide a full size Basin Map as a part of the Grading Plan.
9. Consider using drop manholes just before the outlets instead of laying the entire interior pipe network so deep (8'+). It may be difficult for the Owner to maintain deep, 12" lines that have Tee connections.
10. If the project will be phased, provide a phasing plan.
11. Minor comments: address typos on the plan labels, label the street names on the exhibits; improve the quality of Sheet C3, the HGL exhibits in the report, and provide the full page of the city projects included. Most of these are not legible or difficult to relate to the Report/Plan.

Any question just let me know.

**Abiel Carrillo, P.E.**

**Principal Engineer - Hydrology  
Planning Department**

Development Review Services Division

City of Albuquerque

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Albuquerque, NM 87102



LIGHTING LEGEND

- TYPE 'SA'. 18" TALL POLE LIGHT.
- TYPE 'SB'. 12" TALL POLE LIGHT.
- TYPE 'SC'. 7" TALL POLE LIGHT.
- TYPE 'SD'. LED UPLIGHT.
- TYPE 'SE'. CARPORT LIGHT.
- TYPE 'SF'. WALL SCONCE AT 6"-6" B.O.F. ADA COMPLIANT.
- TYPE 'SG'. 18" TALL POLE LIGHT.

B.O.F. - HEIGHT IS MEASURED FROM BOTTOM OF FIXTURE OR FIXTURE LENS TO ABOVE FINISHED FLOOR.

T.O.F. - HEIGHT MEASURED FROM TOP OF FIXTURE TO ABOVE FINISHED FLOOR.

DEVELOPMENT DATA

NET SITE AREA :  
11.6221 ACRES (506,259 S.F.)

ZONING :  
CURRENT: SU-2

BUILDING HEIGHT :  
PROVIDED: 38 FEET

DENSITY :  
PROPOSED: 19.96 DU/ACRE

SETBACKS PROVIDED :

|           | REAR (N) | SIDE (W) | FRONT (S) | SIDE (E) |
|-----------|----------|----------|-----------|----------|
| BUILDINGS | 15'      | 59'      | 15'       | 59'      |
| PARKING   | 22'      | 5'       | 15'       | 5'       |

UNIT MIX

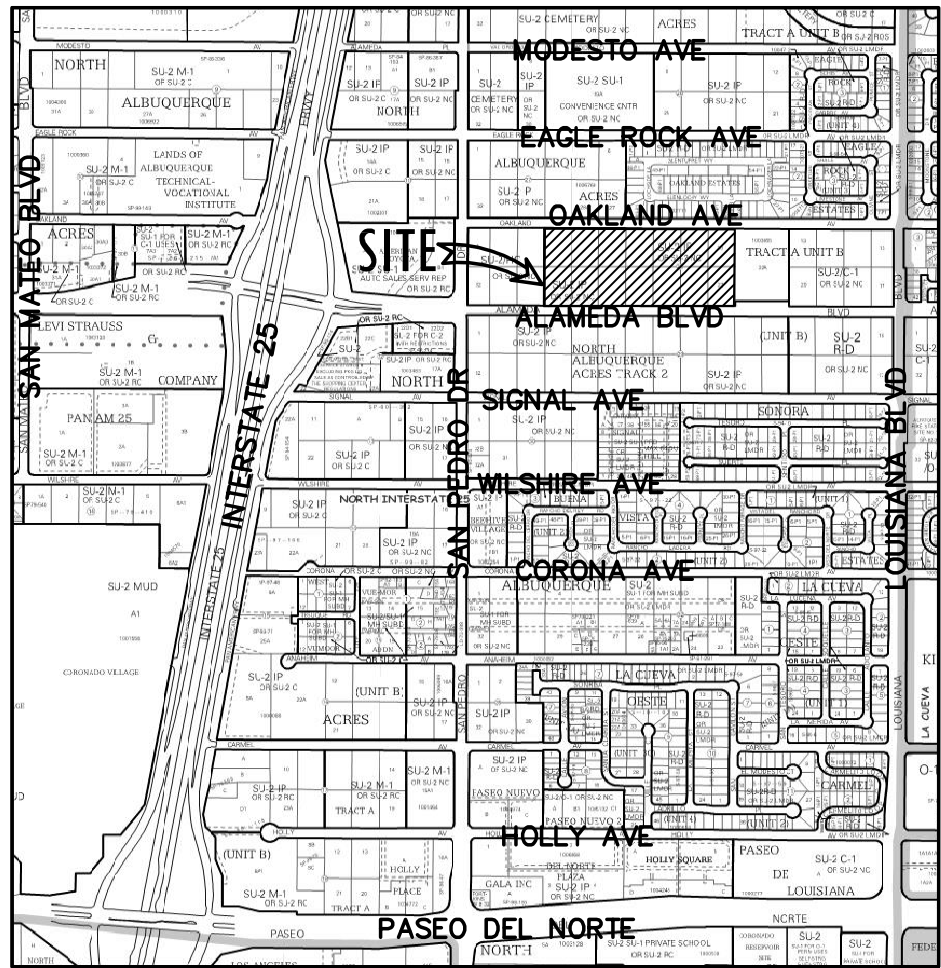
|                         | A1  | A2  | B1    | C1    | UNITS/BLDG | NO. BLDGS | TOTAL UNITS |
|-------------------------|-----|-----|-------|-------|------------|-----------|-------------|
| LIVABLE STORAGE PAT/BAL | 719 | 874 | 1,033 | 1,220 | 28         | 19        | 24          |
| BLDG TYPE 1             | 12  | 8   | 8     | 20    | 2          | 2         | 40          |
| BLDG TYPE 2             | 10  | 6   | 16    | 6     | 96         | 6         | 96          |
| BLDG TYPE 3             | 12  | 8   | 20    | 3     | 60         | 3         | 60          |
| BLDG TYPE 4             | 8   | 8   | 18    | 2     | 32         | 2         | 32          |
| BLDG TYPE 5             | 2   | 2   | 2     | 2     | 4          | 2         | 4           |
| TOTAL                   | 84  | 4   | 104   | 40    | 15         | 232       | 232         |

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

|                                     | SF REQ. PER DU | # OF DU'S | TOTAL SF REQUIRED | TOTAL SF PROVIDED |
|-------------------------------------|----------------|-----------|-------------------|-------------------|
| 1 BEDROOM                           | 400            | 88        | 35,200            |                   |
| 2 BEDROOM                           | 500            | 104       | 52,000            |                   |
| 3 BEDROOM                           | 600            | 40        | 24,000            |                   |
| PROVIDED SITE OPEN SPACE            |                |           |                   | 224,907           |
| PROVIDED BALCONY PRIVATE OPEN SPACE |                |           |                   | 14,848            |
| TOTAL (excess of 126,555 SF)        |                | 232       | 111,200           | 239,755           |

PARKING SPACE REQUIREMENTS

|                                                               | PARKING RATIO REQUIRED | PARKING SPACES |
|---------------------------------------------------------------|------------------------|----------------|
| UNIT A1, A2 < 1,000 SF                                        | 84 - 1 BR / 1 BATH     | 1.5 / 1        |
| UNIT B1 > 1,000 SF                                            | 104 - 2 BR / 2 BATH    | 2 / 2          |
| UNIT C1 > 1,000 SF                                            | 40 - 3 BR / 2 BATH     | 2 / 2          |
| Total Parking Spaces Required                                 |                        | 420            |
| OPEN PARKING PROVIDED                                         |                        | 189            |
| CARPORT PARKING PROVIDED                                      |                        | 157            |
| GARAGE PARKING PROVIDED                                       |                        | 75             |
| Total Parking Provided                                        |                        | 421            |
| Accessible Parking Required                                   |                        | 12             |
| OPEN ACCESSIBLE PARKING PROVIDED                              |                        | 7              |
| CARPORT ACCESSIBLE PARKING PROVIDED                           |                        | 3              |
| GARAGE ACCESSIBLE PARKING PROVIDED                            |                        | 2              |
| Total Accessible Parking Provided                             |                        | 12             |
| Bicycle Parking Required (1 SPACE FOR EVERY 2 DWELLING UNITS) |                        | 116            |
| GARAGE BICYCLE RACK                                           |                        | 75             |
| Total Bicycle Parking Provided                                |                        | 117            |



VICINITY MAP  
NOT TO SCALE

PROJECT NUMBER:  
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|                                              |      |
|----------------------------------------------|------|
| Traffic Engineering, Transportation Division | Date |
| ABCWUA                                       | Date |
| Parks and Recreation Department              | Date |
| City Engineer                                | Date |
| Solid Waste Management                       | Date |
| DRB Chairperson, Planning Department         | Date |

KEYNOTES ①

- 9'x16' PARKING SPACE WITH 2' OVERHANG, TYPICAL, SEE DETAIL 01/A1.20.
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 05/A1.20.
- ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE DRIVEWAY CROSSING MARKING.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE, SEE DET 06/A1.20.
- DOUBLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 13/A1.20.
- SINGLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 07/A1.20.
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A1.21.
- RESIDENT ONLY REMOTE CONTROL ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 28/A1.21.
- GATE CONTROL BOX AND SITE DIRECTORY MAP, SEE DETAIL 17/A1.21. PROVIDE KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- PEDESTRIAN ENTRY GATE, SEE DETAIL 23/A1.21.
- POOL GATE, SEE DETAIL 24/A1.21.
- WROUGHT IRON PERIMETER VIEW FENCE , SEE DETAIL 18 & 19/A1.21.
- CMU/WROUGHT IRON COMBO PERIMETER FENCE, SEE DETAIL 27/A1.21.
- CMU PERIMETER WALL, SEE DETAIL 16/A1.21.
- WROUGHT IRON POOL FENCE, SEE DETAIL 19/A1.21.
- 6' SIDEWALK CONNECTING TO EACH BUILDING AND TO PUBLIC WAYS.
- SITE LIGHTING - SEE LIGHTING LEGEND.
- 4' SIDEWALK, TYPICAL ON SITE.
- 3'-6" SIDEWALK AT STAIR APPROACH, TYPICAL.
- 6' SIDEWALK, TYPICAL AT PARKING, SEE DETAIL 09/A1.20.
- 10' MULTI-USE ASPHALT TRAIL
- 6' SIDEWALK DETACH 6' FROM STREET CURB AT OAKLAND AVE.
- MONUMENT SIGN, SEE DETAIL 29/A1.21.
- BICYCLE PARKING RACK FOR 6 BICYCLES, SEE DETAIL 30/A1.21.
- FLAG POLE.
- POOL EQUIPMENT AT POOL RAMADA.
- FIRE RISER LOCATION, SEE BUILDING PLANS ( ALL BUILDINGS SHALL HAVE PIV)
- ALL IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER
- LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS MEASURED FROM GUTTER PAN WILL NOT BE ALLOWED WITHIN THE CLEAR SITE TRIANGLES

INDEX OF SHEETS

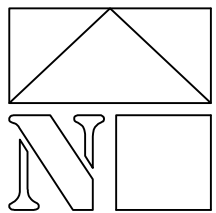
|                                    |
|------------------------------------|
| A110-SITE PLAN FOR BUILDING PERMIT |
| A120-SITE PLAN DETAILS             |
| A121-SITE PLAN DETAILS             |
| A314-BUILDING 1 ELEVATIONS         |
| A324-BUILDING 2 ELEVATIONS         |
| A334-BUILDING 3 ELEVATIONS         |
| A343-BUILDING 4 ELEVATIONS         |
| A352-BUILDING 5 ELEVATIONS         |
| A512-REC BUILDING ELEVATIONS       |
| LS101-LANDSCAPE PLAN               |
| C1-GRADING SHEET 1                 |
| C2-GRADING SHEET 2                 |
| C3- GRADING DETAILS                |
| C4-MASTER UTILITY SHEET 1          |
| C5-MASTER UTILITY SHEET 2          |

LEGEND

- DENOTES PROPERTY LINE
- ① BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- 10 NO. OF PARKING SPACES  
NO. OF COVERED SPACES
- 10 DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- 10 FIRE HYDRANT

PRELIMINARY SITE PLAN

10' 11' 125' 150' 100'  
SCALE: 1" = 50'-0"



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SAN PEDRO AND ALAMEDA  
Albuquerque, New Mexico



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PRELIMINARY  
NOT FOR  
CONSTRUCTION

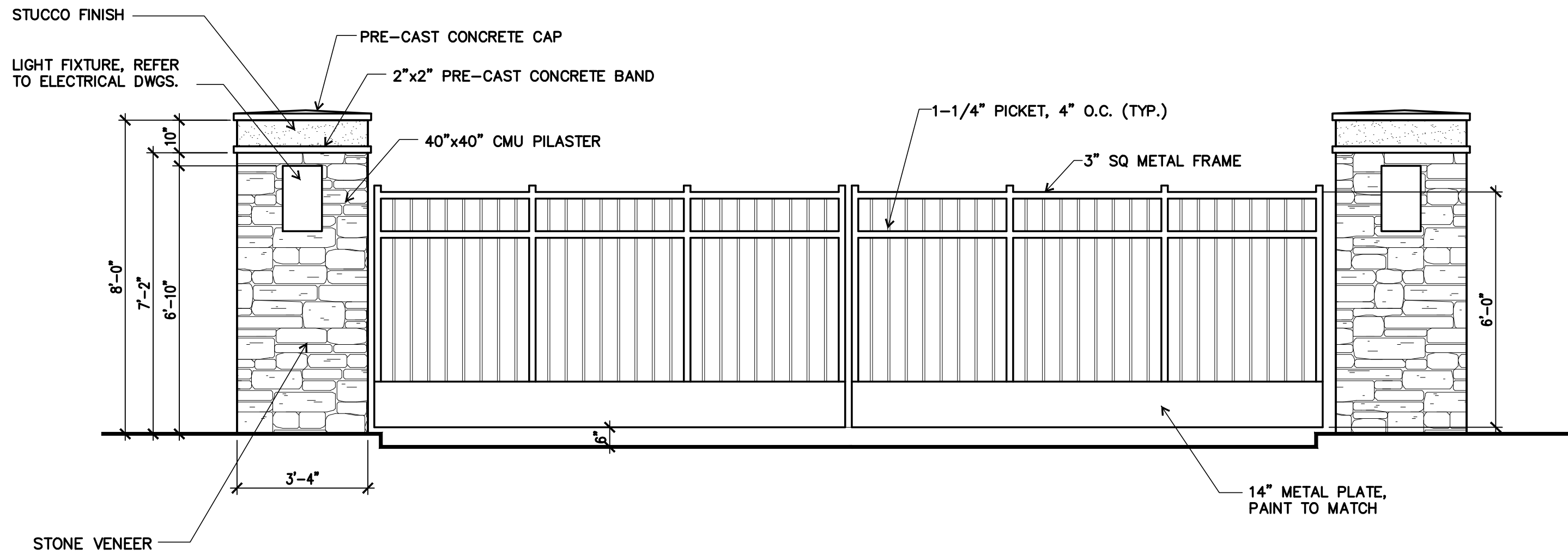




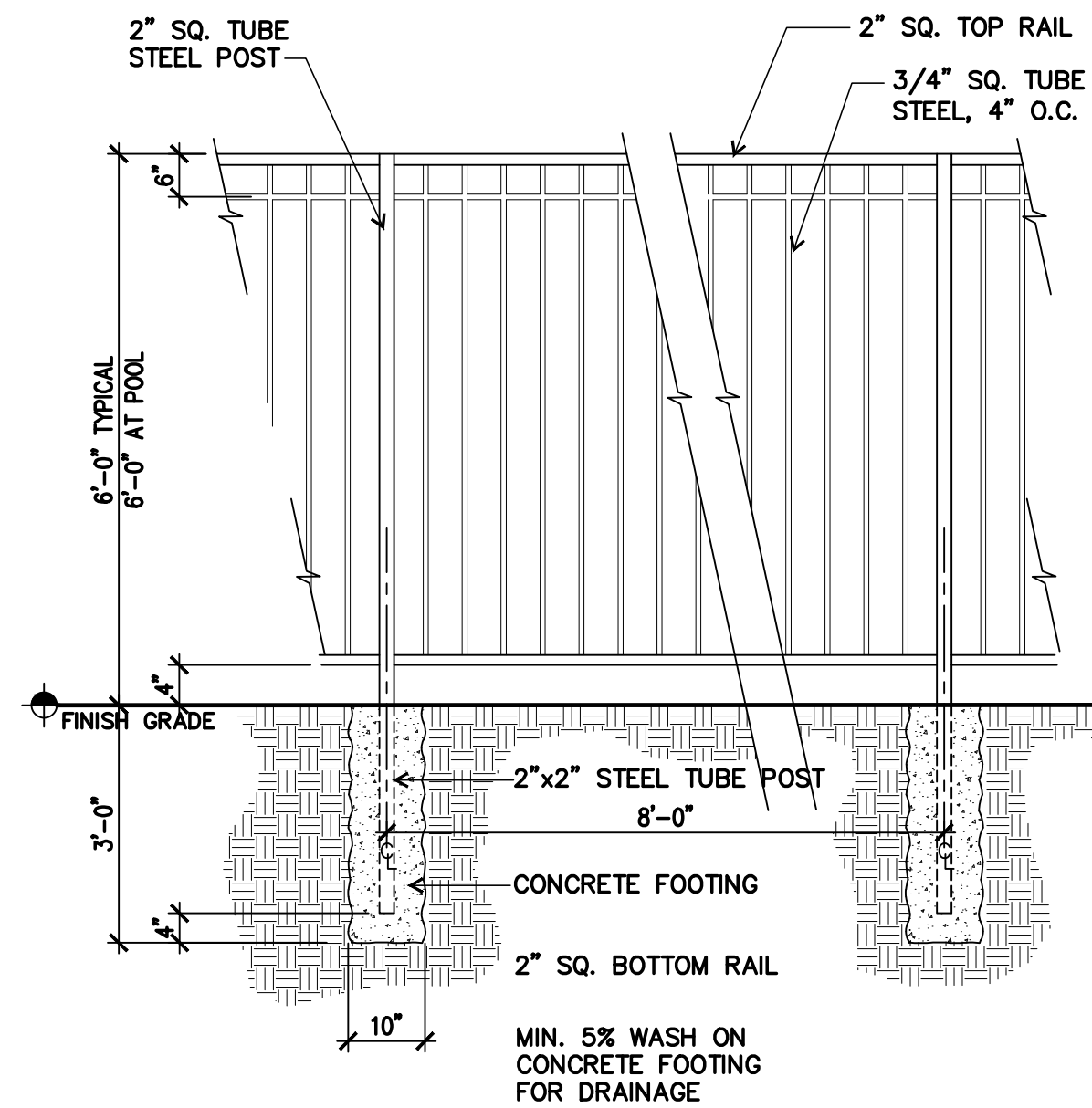




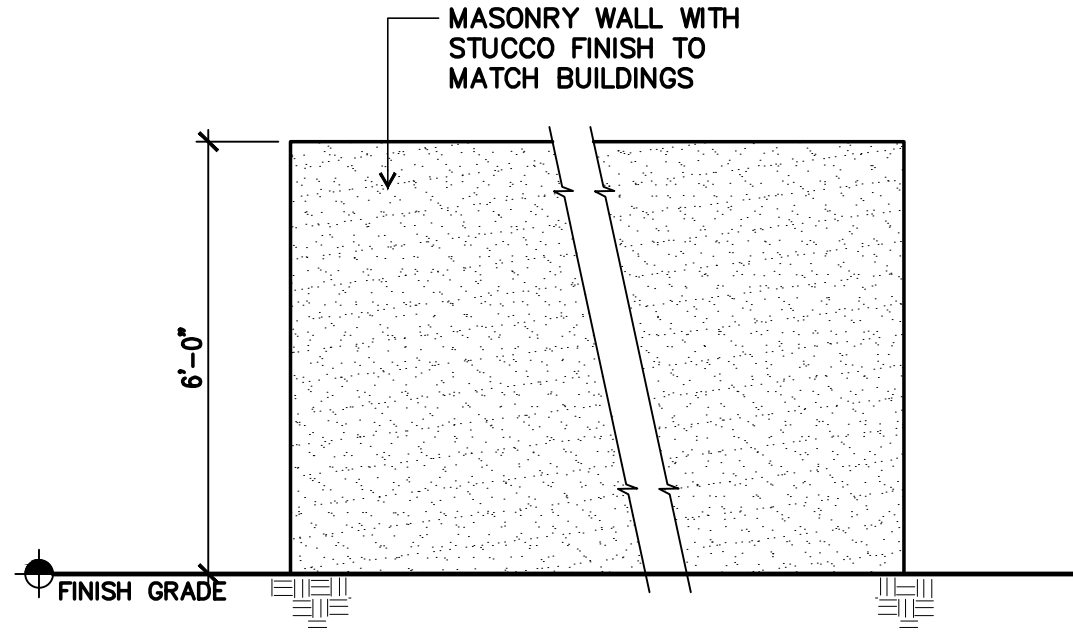
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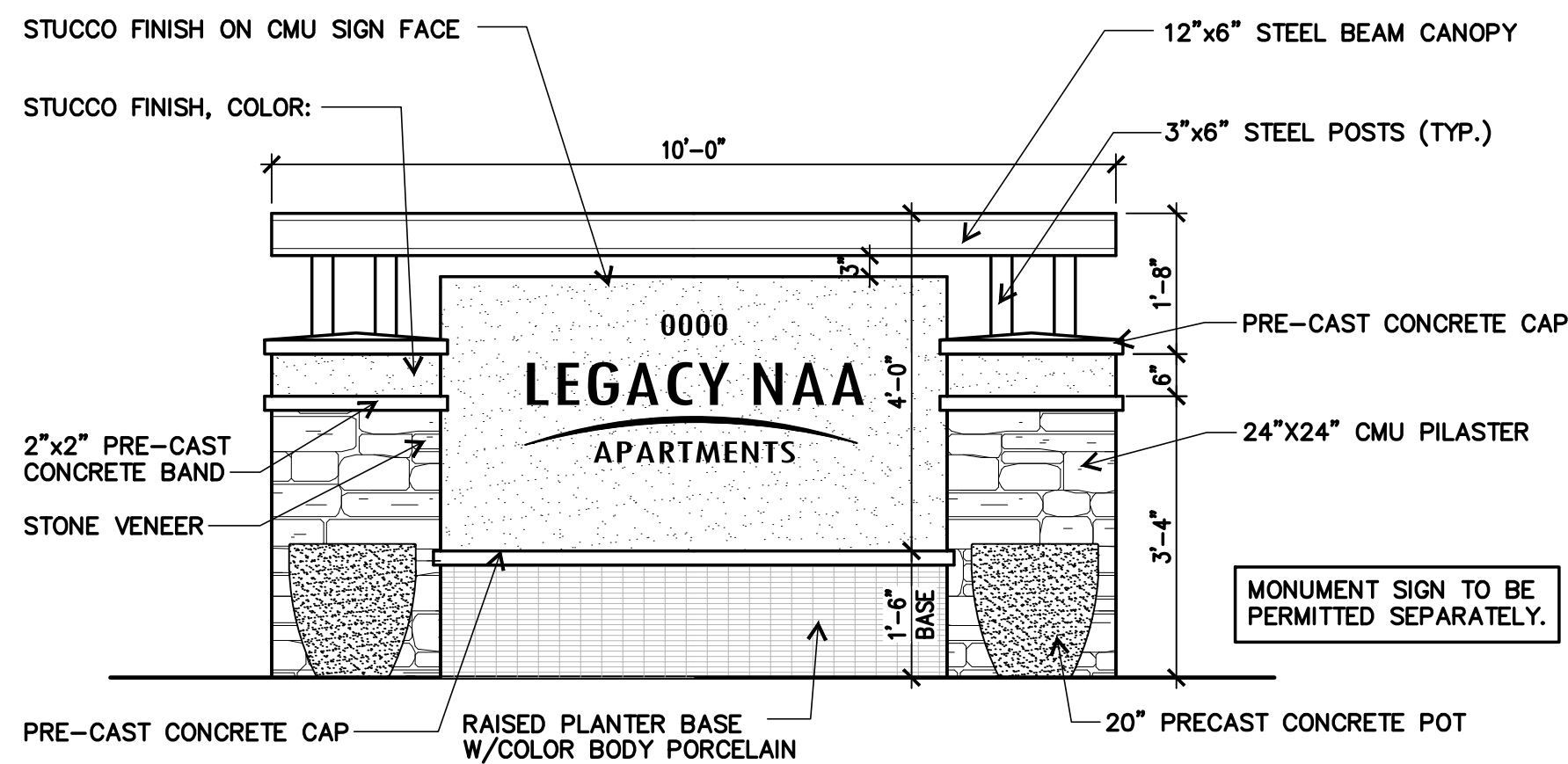
28 VEHICULAR ENTRY GATE



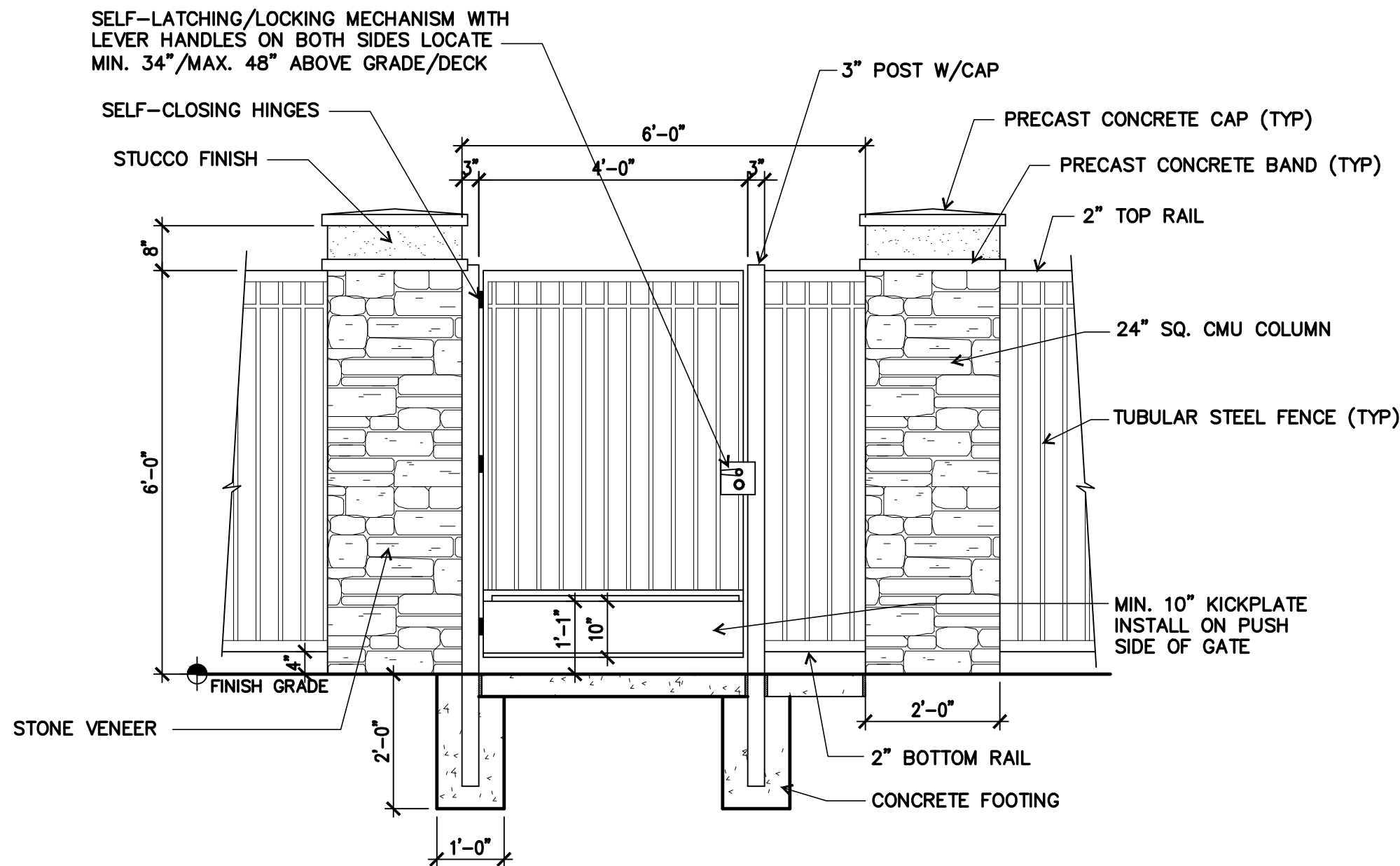
19 TUBULAR STEEL FENCE



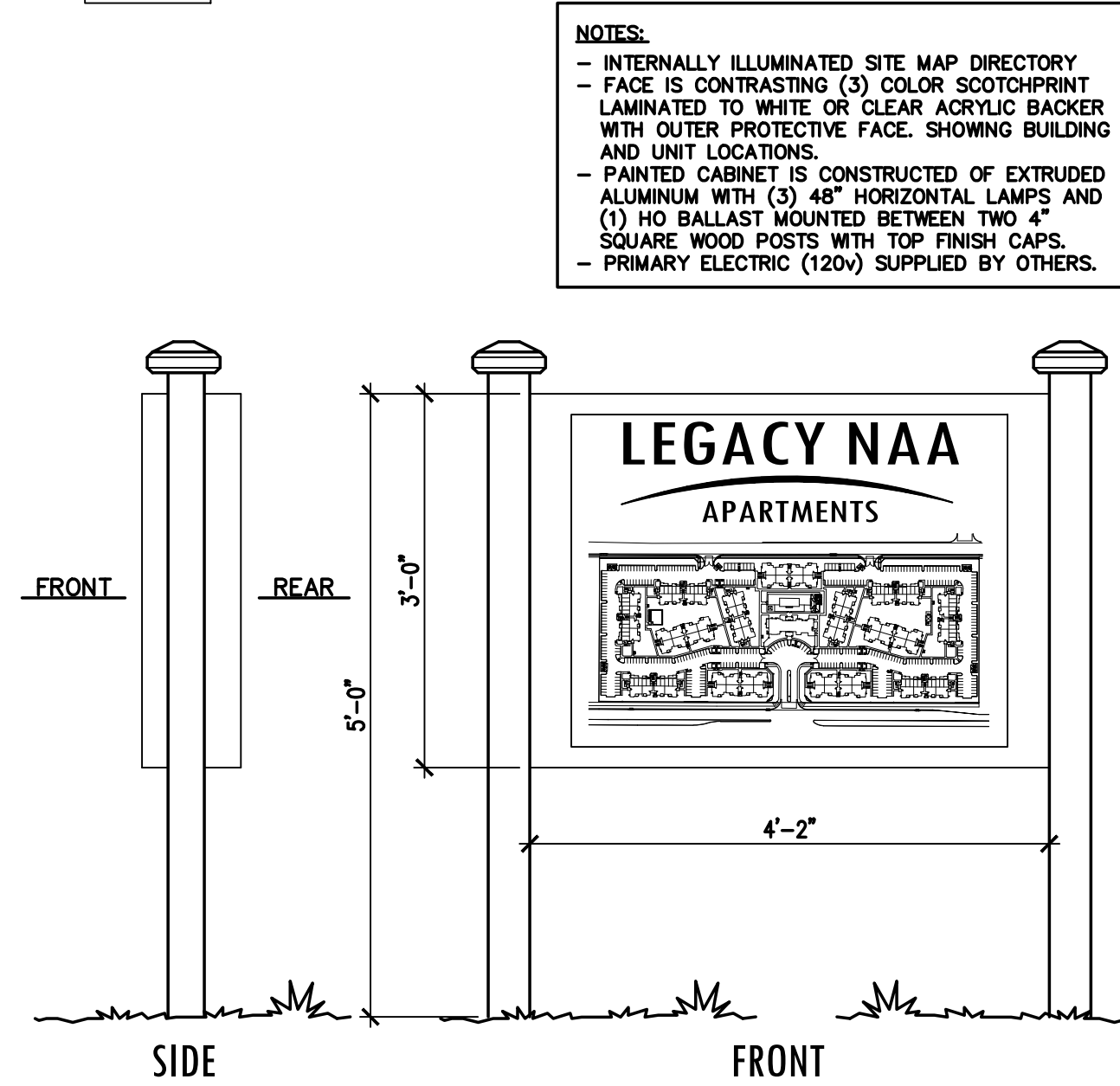
16 PERIMETER MASONRY WALL



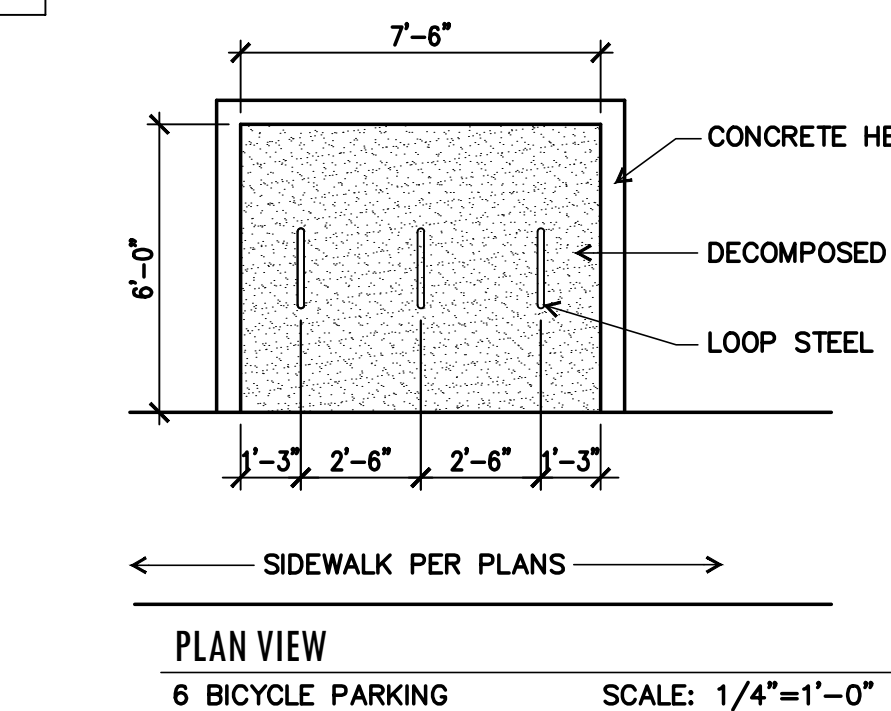
29 ENTRY MONUMENT ELEVATION



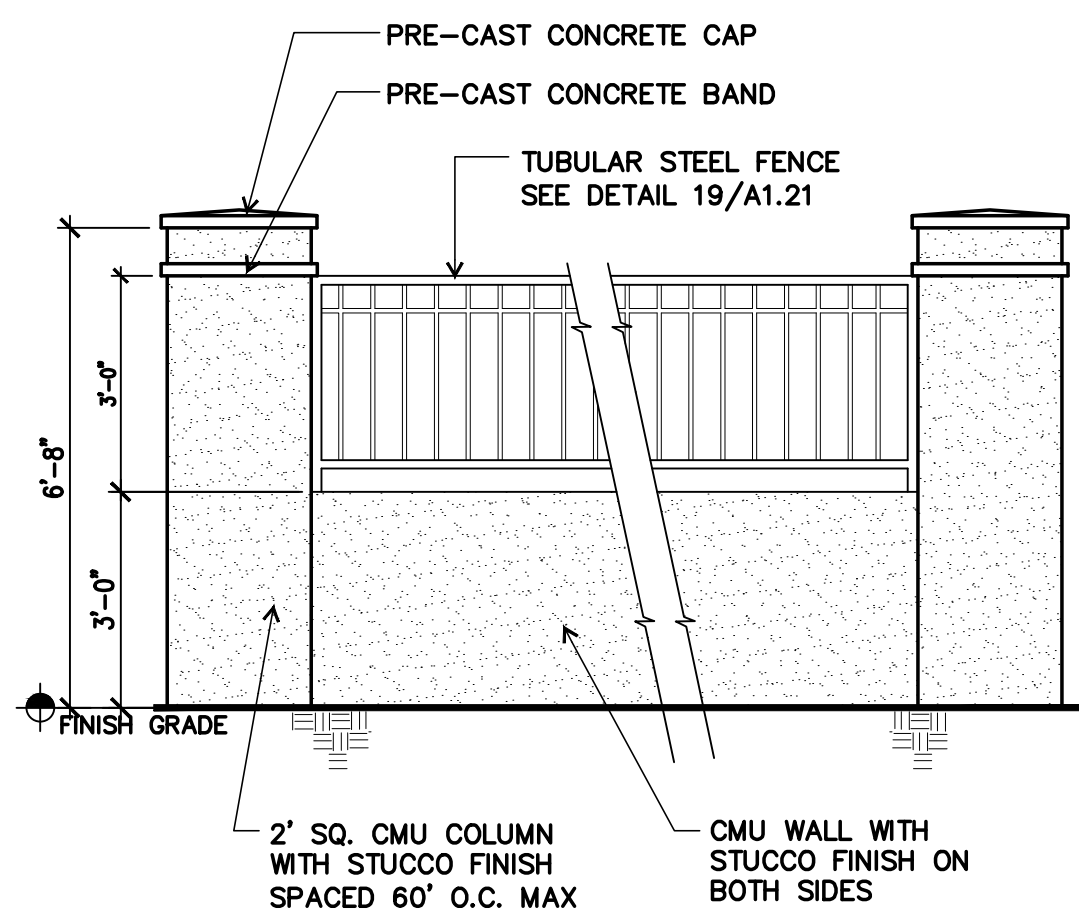
23 PEDESTRIAN ENTRY GATE



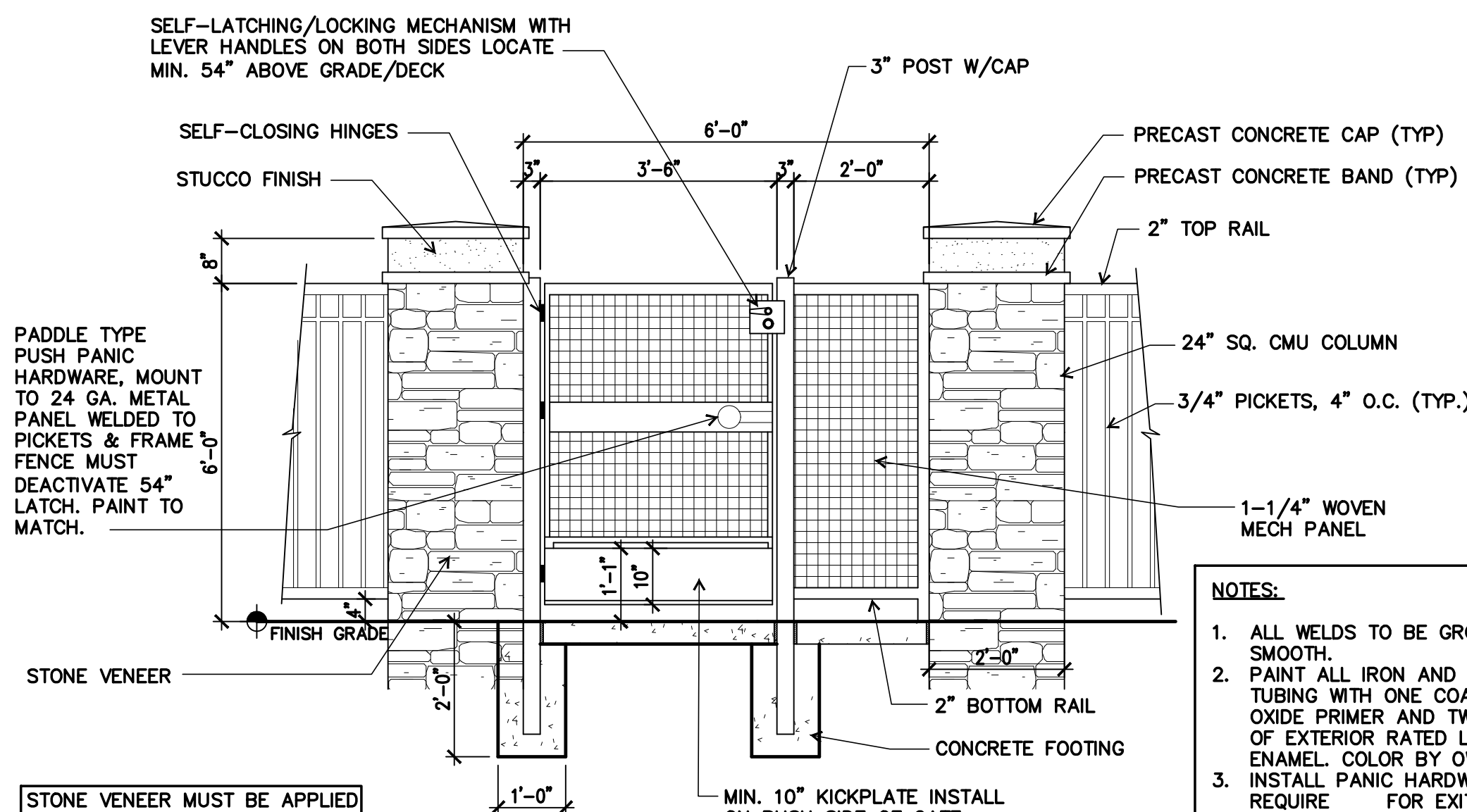
17 SITE DIRECTORY MAP



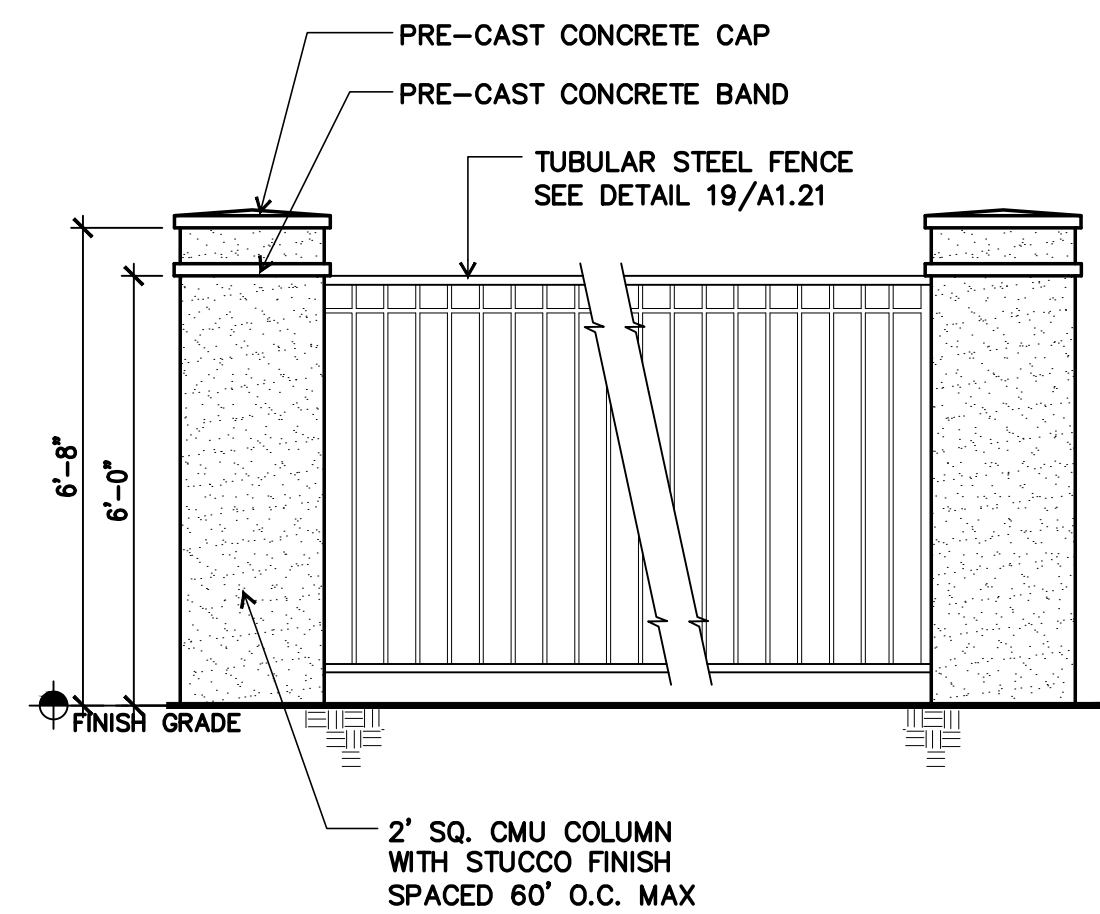
30 BICYCLE PARKING



27 PILASTER AT CMU/TUBULAR COMBO FENCE



24 PEDESTRIAN ENTRY GATE AT POOL FENCE

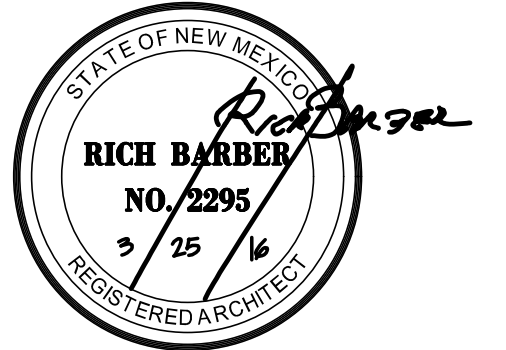


18 PILASTER AT PERIMETER TUBULAR STEEL FENCE

# LEGACY NAA APARTMENTS

SAN PEDRO AND ALAMEDA  
Albuquerque, New Mexico

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**ORB**  
Architecture, LLC  
WorldHQ@ORBArch.com



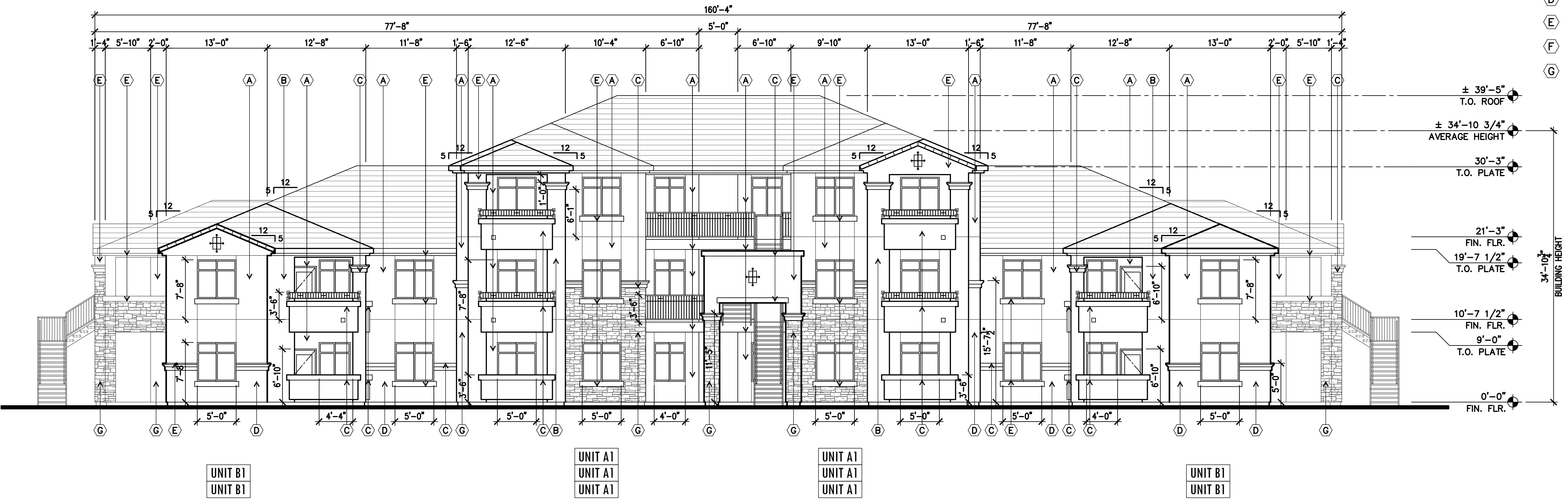
**L H I**  
LEGACY  
HOSPITALITY

- NOTES:
1. REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION, TYPICAL. THESE DRAWINGS ARE ARCHITECTURAL ONLY.
  2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

DATE: MARCH 25, 2016 ORB # 15-218

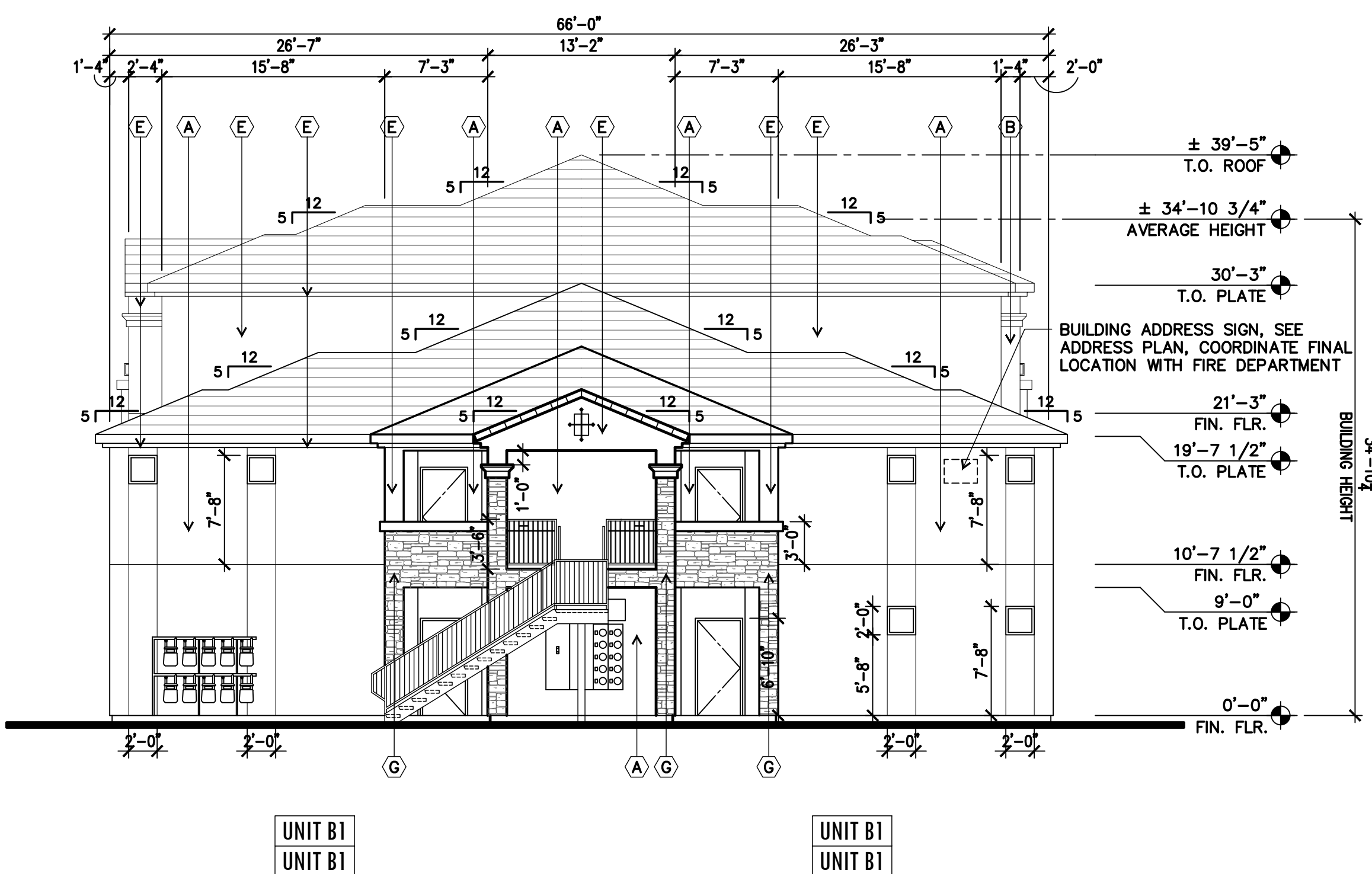
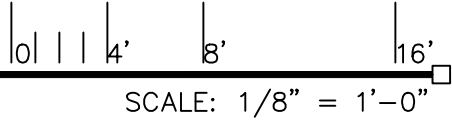
**A1.21**  
SITE DETAILS  
16 - 30





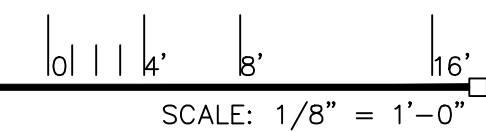
FRONT/REAR ELEVATION

BUILDING TYPE 1



SIDE ELEVATION

BUILDING TYPE 1

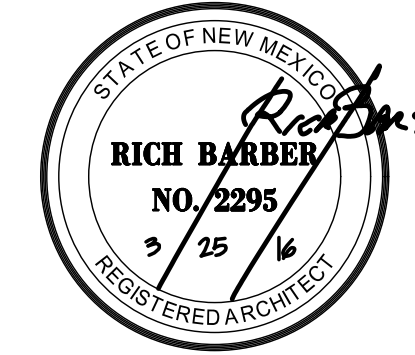


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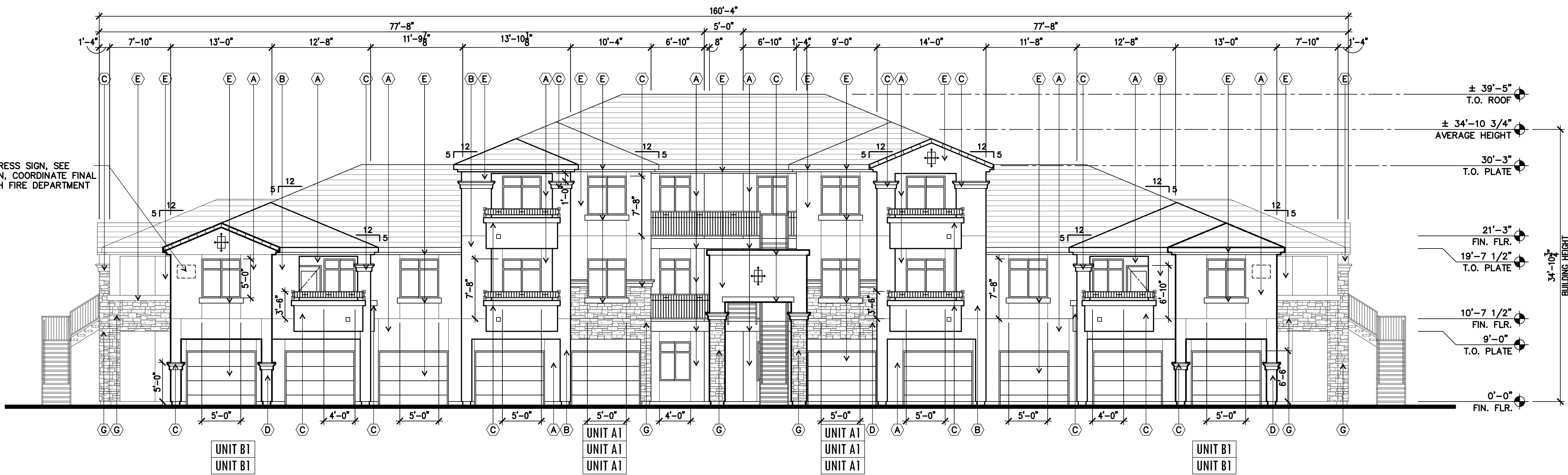
A3.14

BUILDING TYPE 1  
EXTERIOR ELEVATIONS



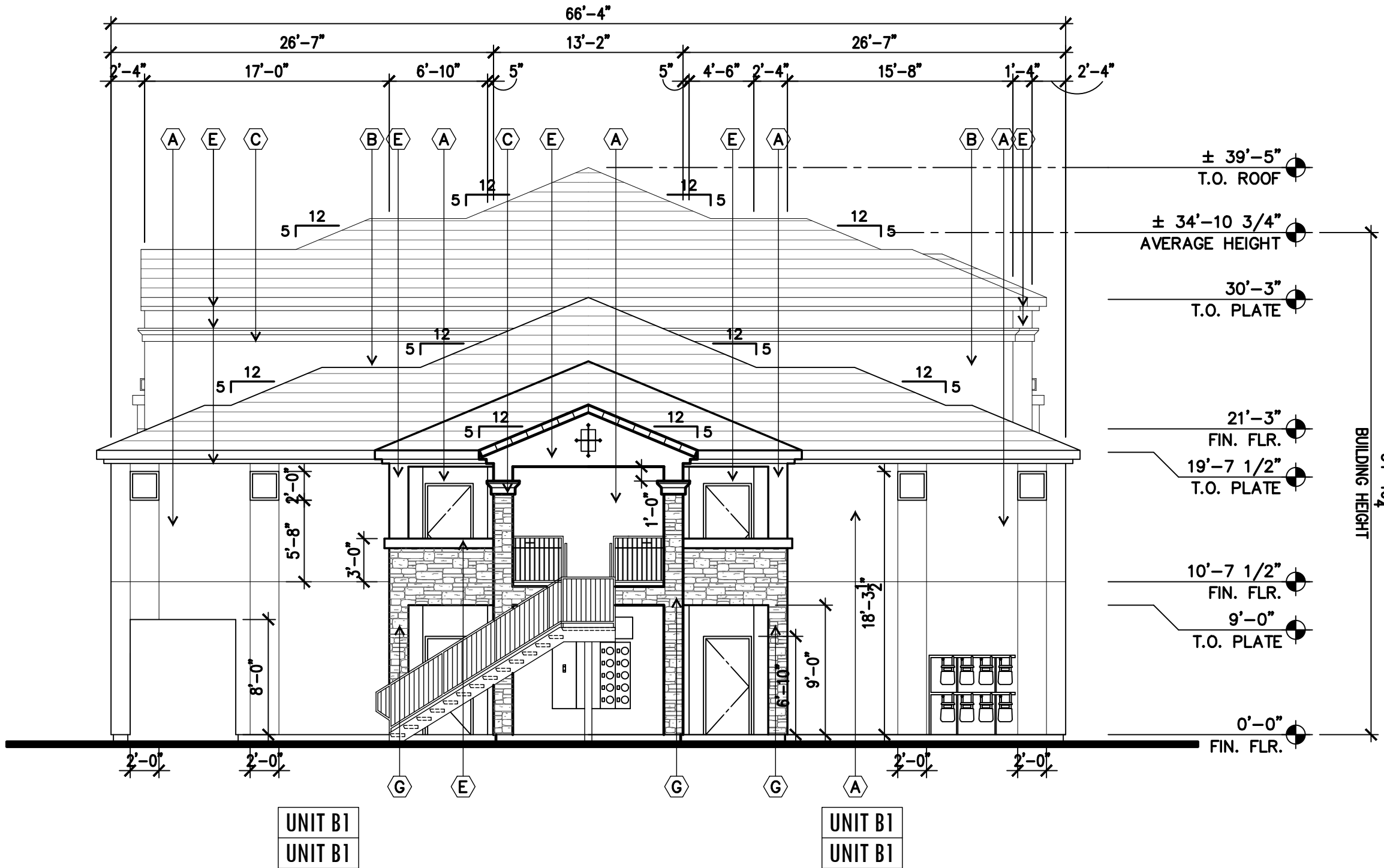
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BUILDING ADDRESS SIGN, SEE ADDRESS PLAN, COORDINATE FINAL LOCATION WITH FIRE DEPARTMENT



FRONT/REAR ELEVATION

BUILDING TYPE 1 SCALE: 1/8" = 1'-0"



SIDE ELEVATION

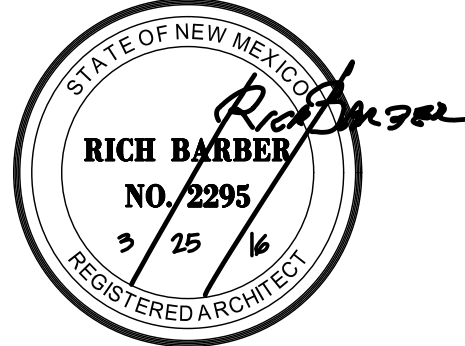
BUILDING TYPE 1 SCALE: 1/8" = 1'-0"

MATERIAL KEY NOTES:

- (A) STUCCO FINISH BEIGE
- (B) STUCCO FINISH LIGHT BROWN
- (C) STUCCO FINISH DARK BROWN
- (D) STUCCO FINISH BROWN
- (E) STUCCO FINISH LIGHT BEIGE
- (F) TILE ROOF
- (G) STONE VENEER

LEGACY NAA  
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Albuquerque, New Mexico

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A3.24

BUILDING TYPE 2  
EXTERIOR ELEVATIONS

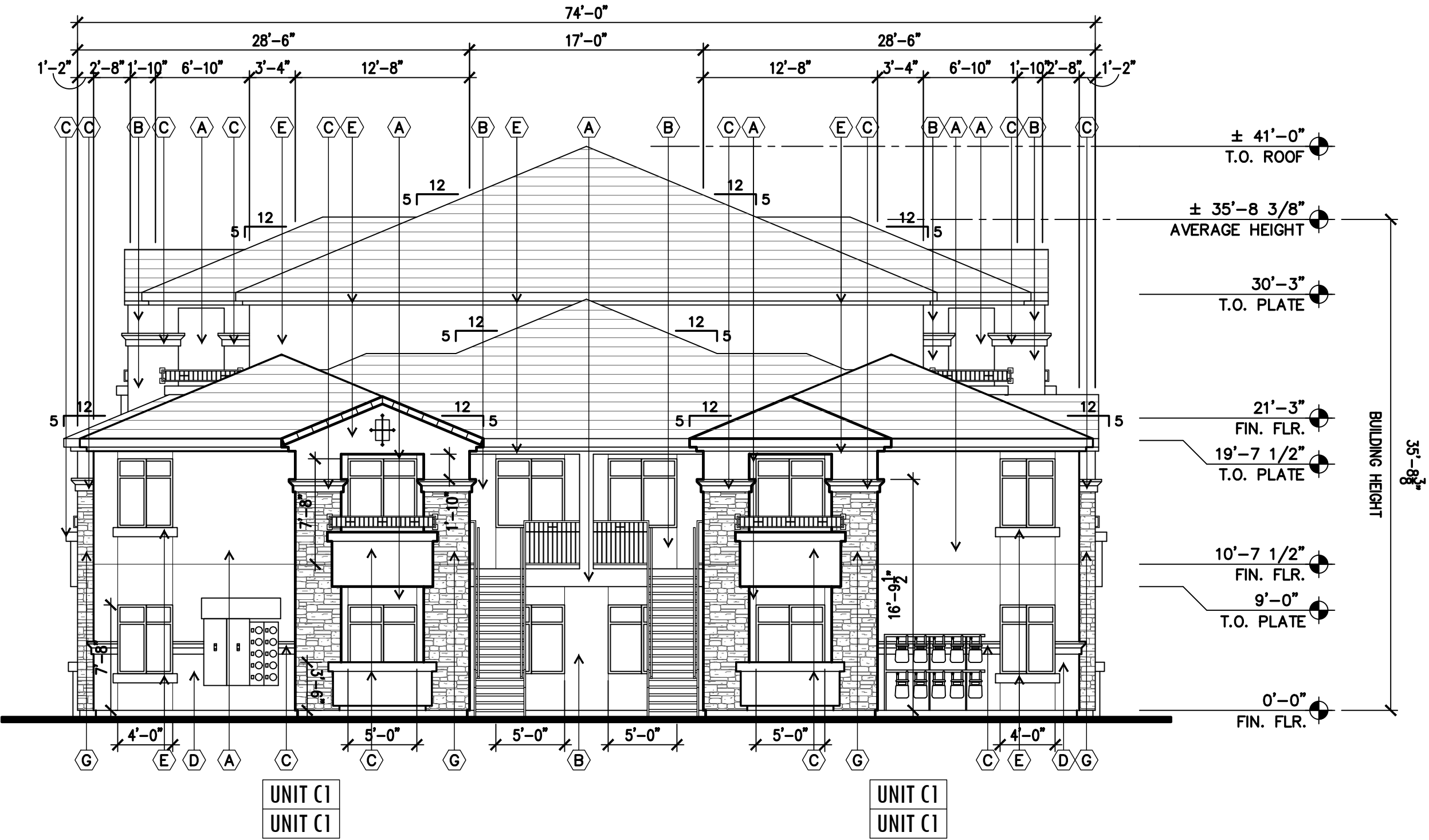




**FRONT/REAR ELEVATION**

BUILDING TYPE 3

SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**

BUILDING TYPE 3

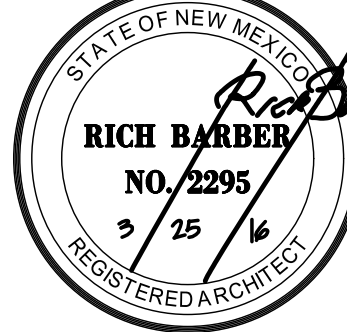
SCALE: 1/8" = 1'-0"

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APARTMENTS**

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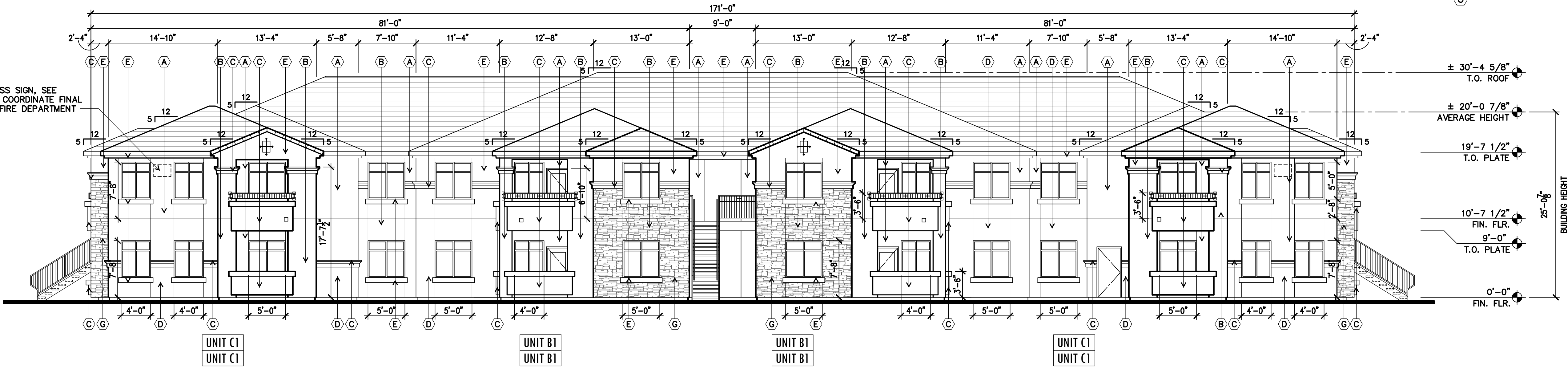
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DATE: MARCH 25, 2016 ORB # 15-218

**A3.34**

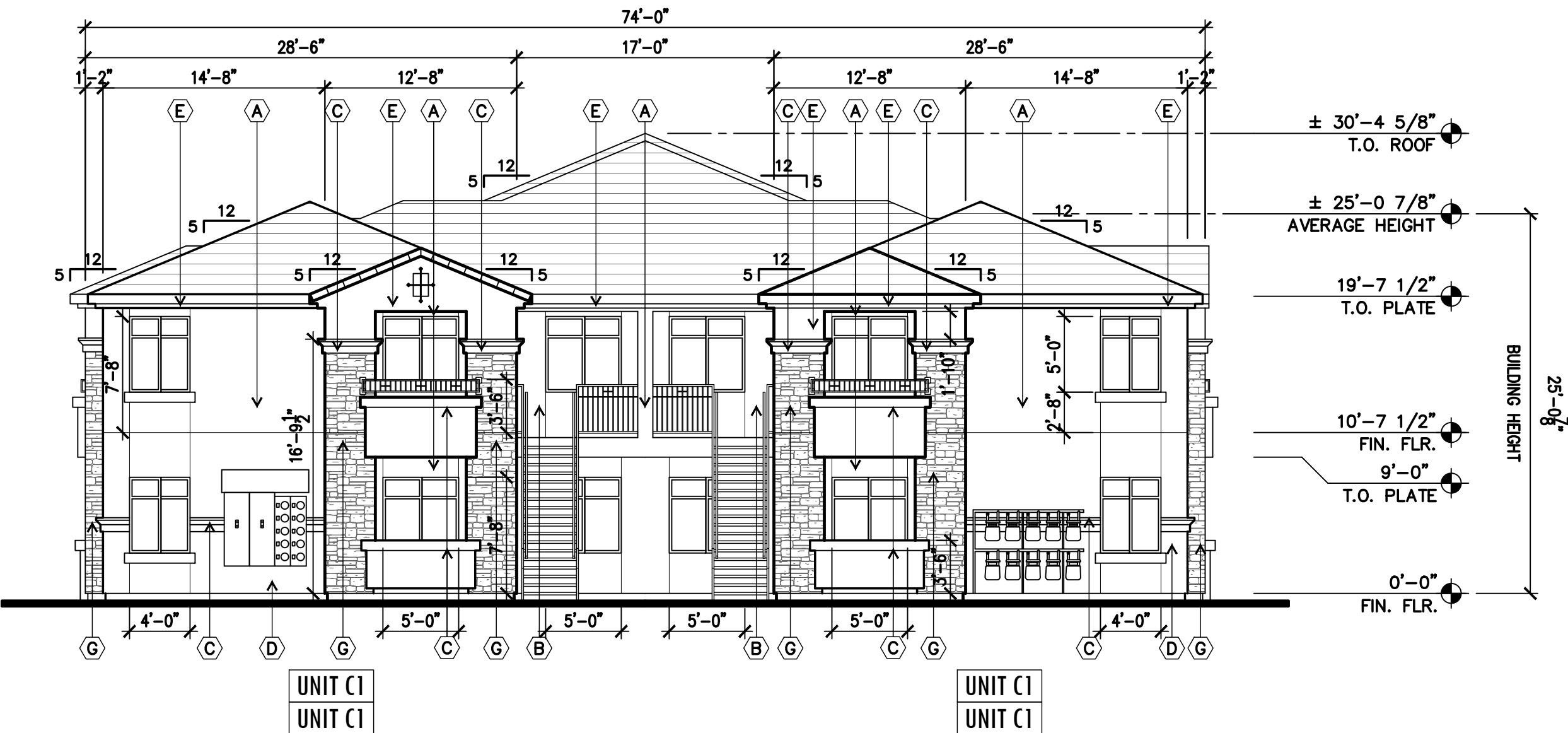
BUILDING TYPE 3  
EXTERIOR ELEVATIONS





- MATERIAL KEY NOTES:
- (A) STUCCO FINISH BEIGE
  - (B) STUCCO FINISH LIGHT BROWN
  - (C) STUCCO FINISH DARK BROWN
  - (D) STUCCO FINISH BROWN
  - (E) STUCCO FINISH LIGHT BEIGE
  - (F) TILE ROOF
  - (G) STONE VENEER

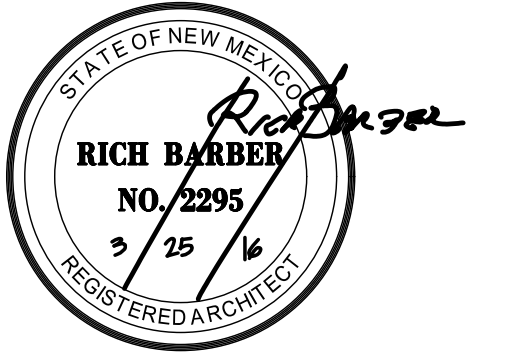
FRONT/REAR ELEVATION  
BUILDING TYPE 4  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
BUILDING TYPE 4  
SCALE: 1/8" = 1'-0"

LEGACY NAA  
APARTMENTS  
SAN PEDRO AND ALAMEDA  
Albuquerque, New Mexico

Office of Rich Barber  
**ORB** Architecture, LLC  
WorldHQ@ORBArch.com

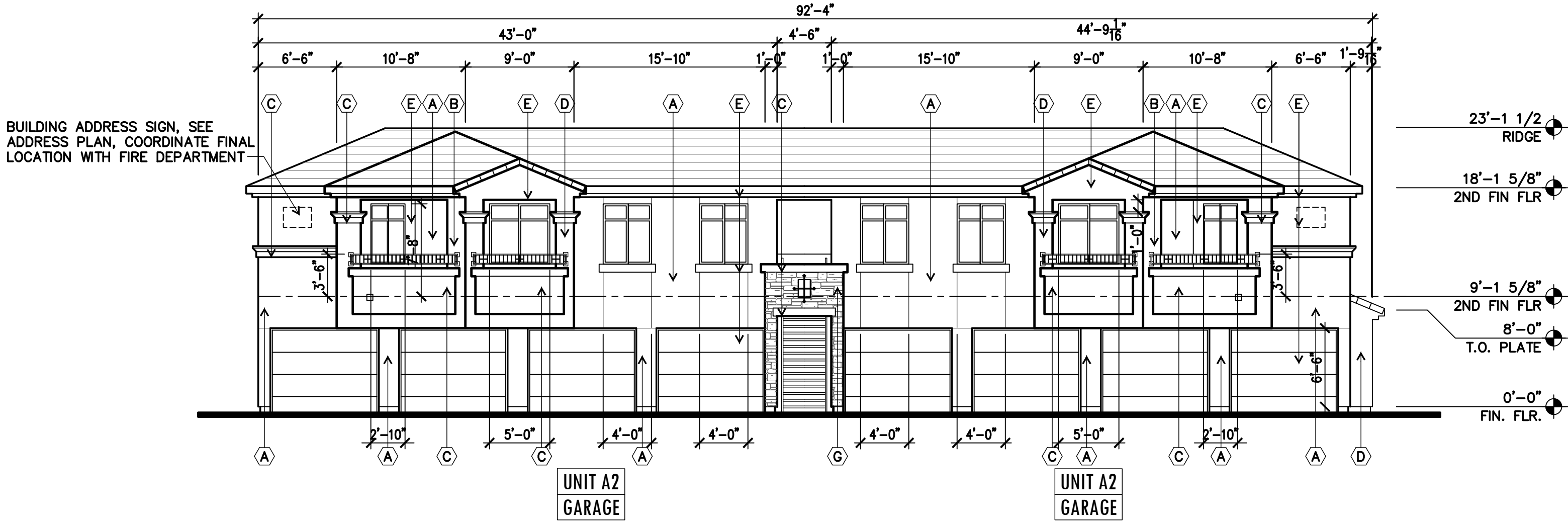


DATE: MARCH 25, 2016 ORB # 15-218

A3.43  
BUILDING TYPE 4  
EXTERIOR ELEVATIONS



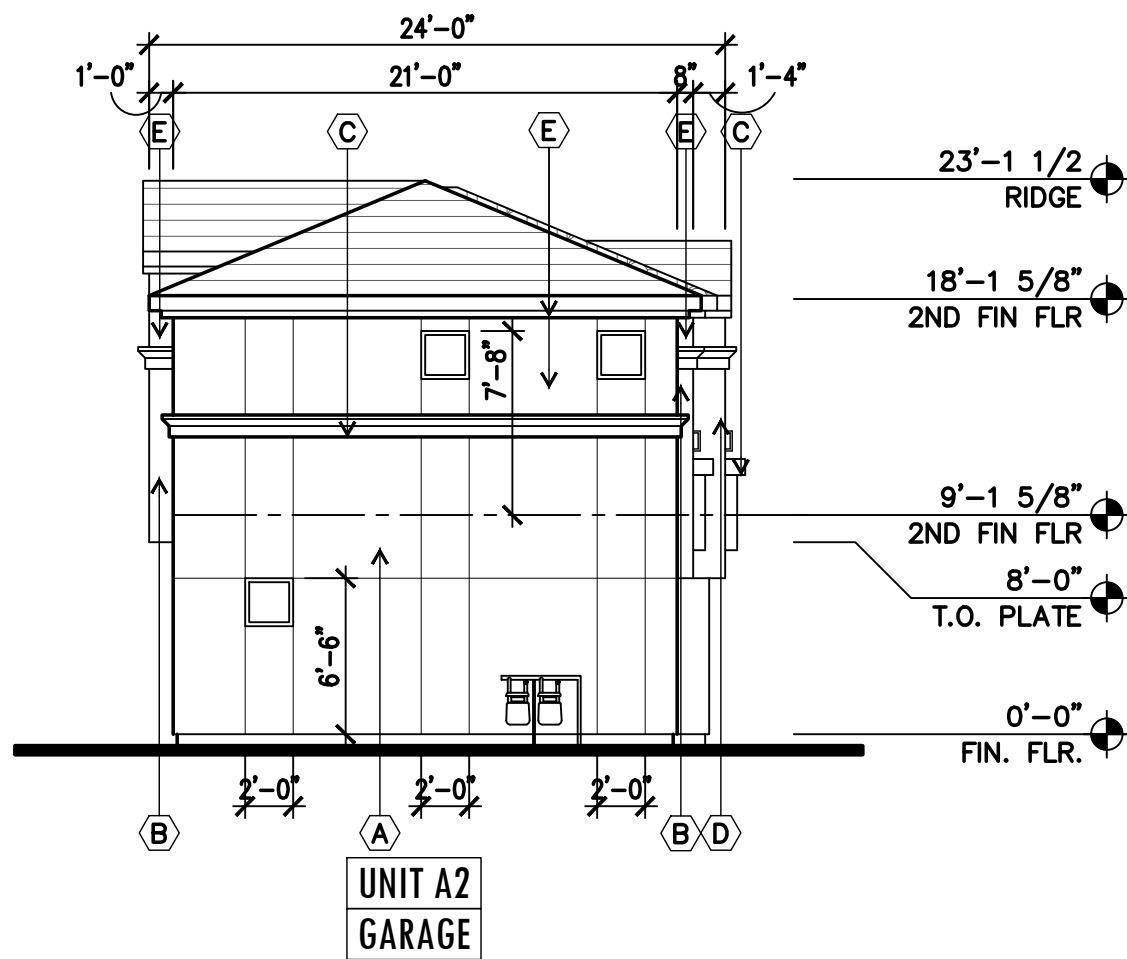
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### FRONT ELEVATION

BUILDING TYPE 5

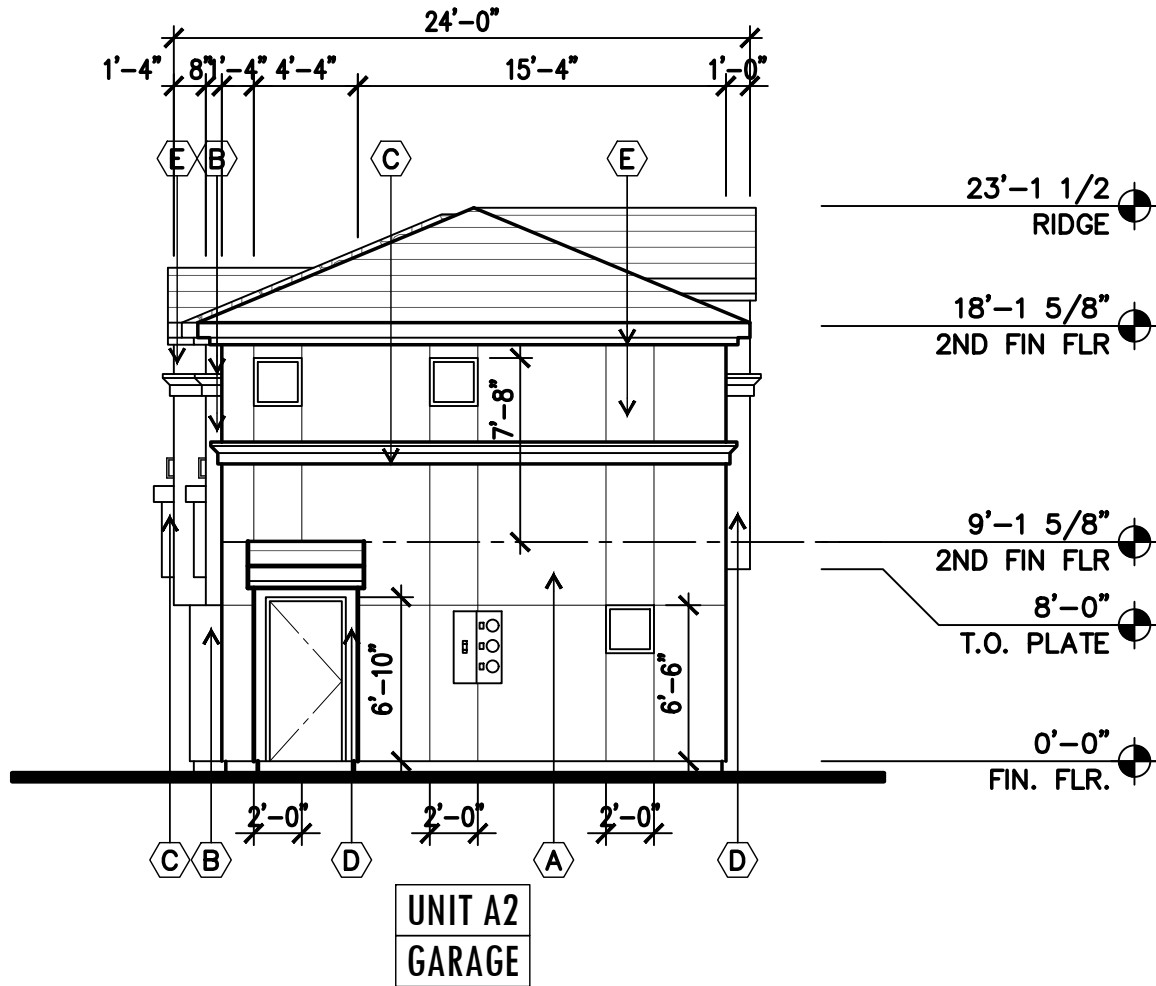
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### LEFT ELEVATION

BUILDING TYPE 5

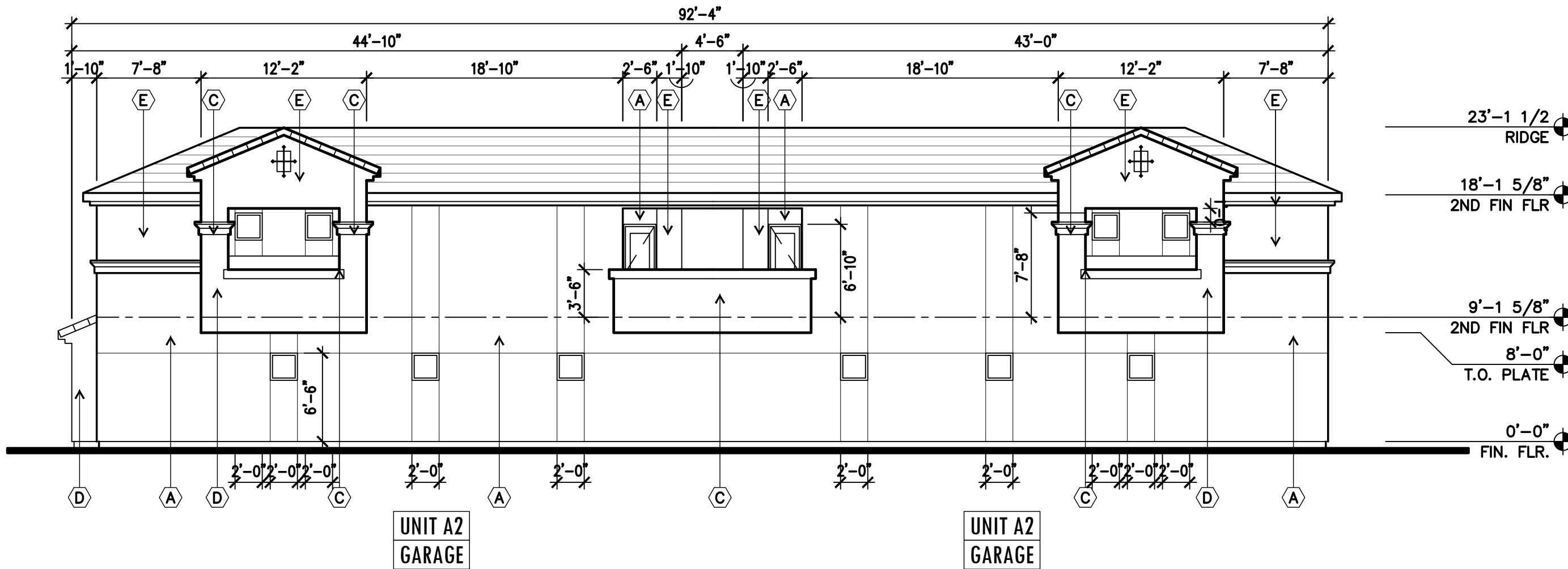
SCALE: 1/8" = 1'-0"



### RIGHT ELEVATION

BUILDING TYPE 5

SCALE: 1/8" = 1'-0"



### REAR ELEVATION

BUILDING TYPE 5

SCALE: 1/8" = 1'-0"

#### MATERIAL KEY NOTES:

- (A) STUCCO FINISH BEIGE
- (B) STUCCO FINISH LIGHT BROWN
- (C) STUCCO FINISH DARK BROWN
- (D) STUCCO FINISH BROWN
- (E) STUCCO FINISH LIGHT BEIGE
- (F) TILE ROOF
- (G) STONE VENEER

## LEGACY NAA APARTMENTS

SAN PEDRO AND ALAMEDA  
Albuquerque, New Mexico

Office of Rich Barber  
**ORB**  
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**L H I**  
LEGACY  
HOSPITALITY

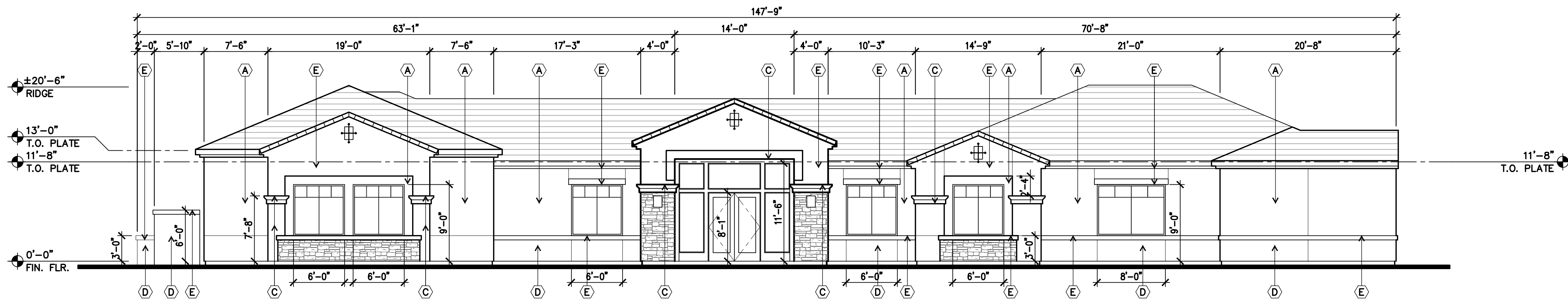
DATE: MARCH 25, 2016 ORB # 15-218

# A3.52

BUILDING TYPE 5  
EXTERIOR ELEVATIONS



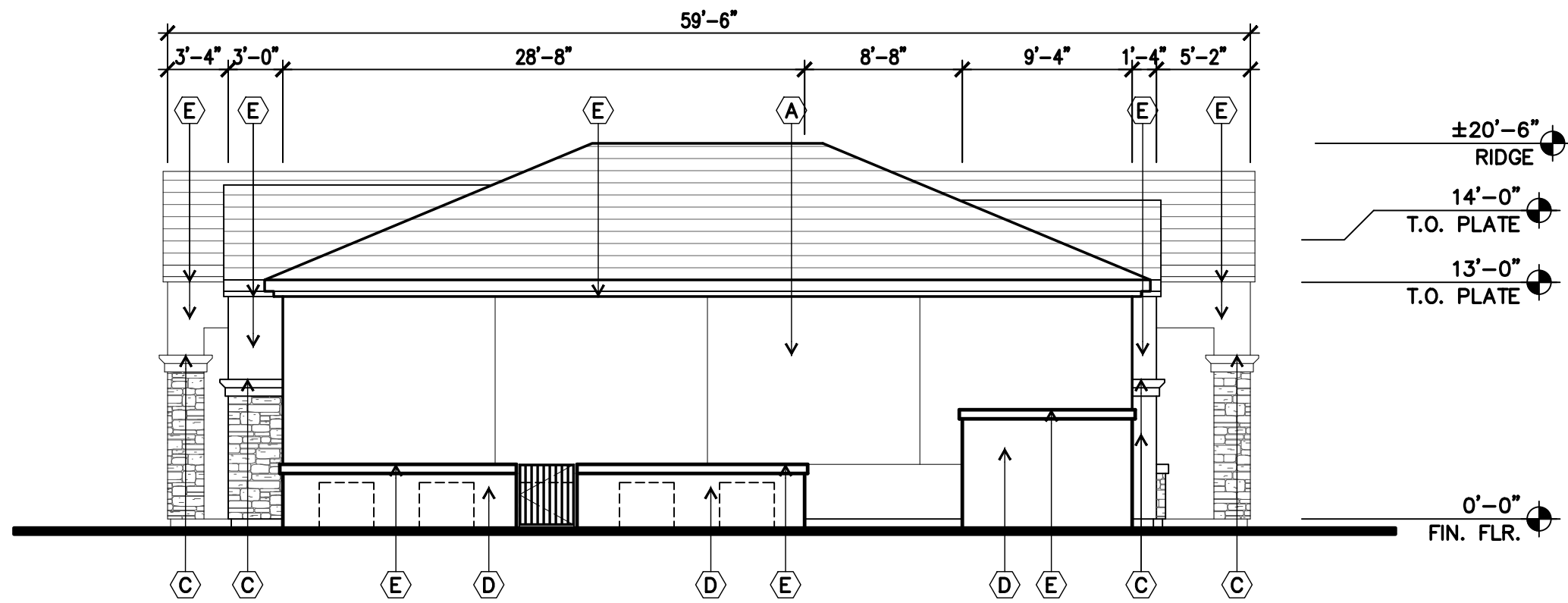
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## FRONT ELEVATION

REC/LEASING OFFICE

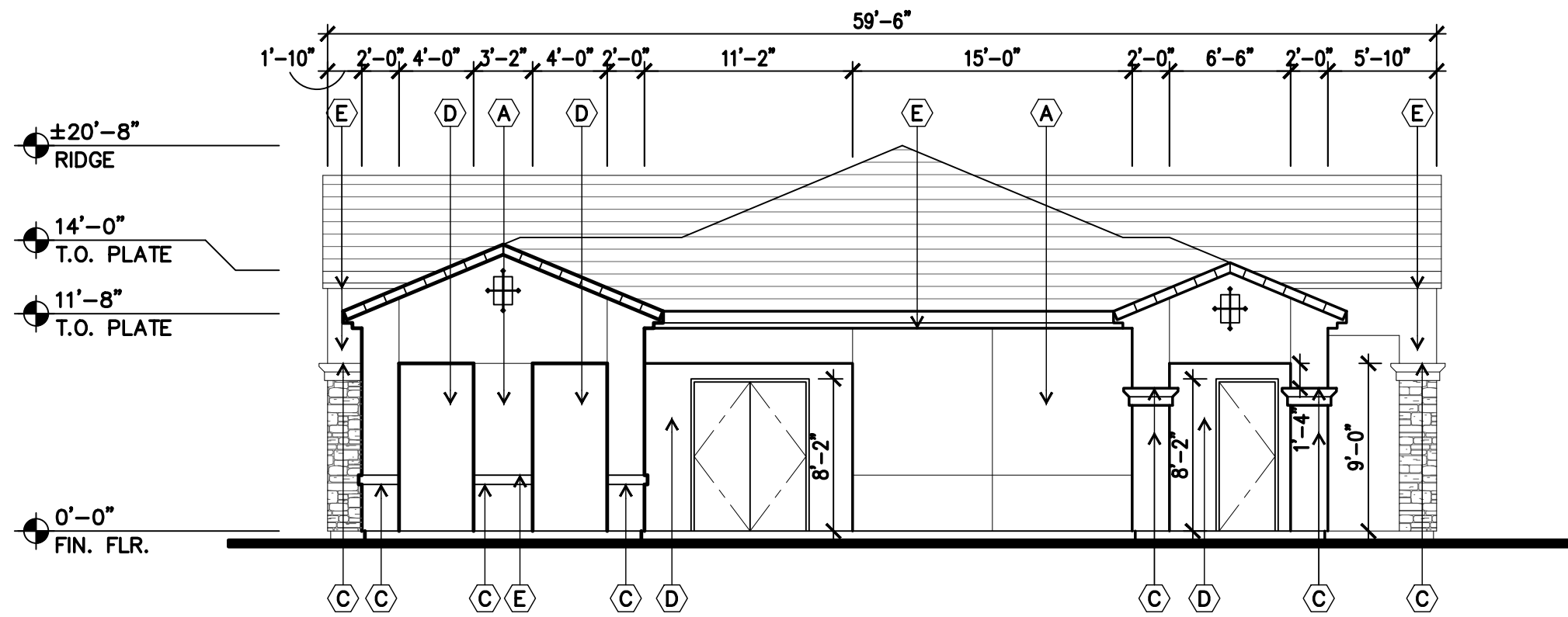
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## LEFT ELEVATION

REC/LEASING OFFICE

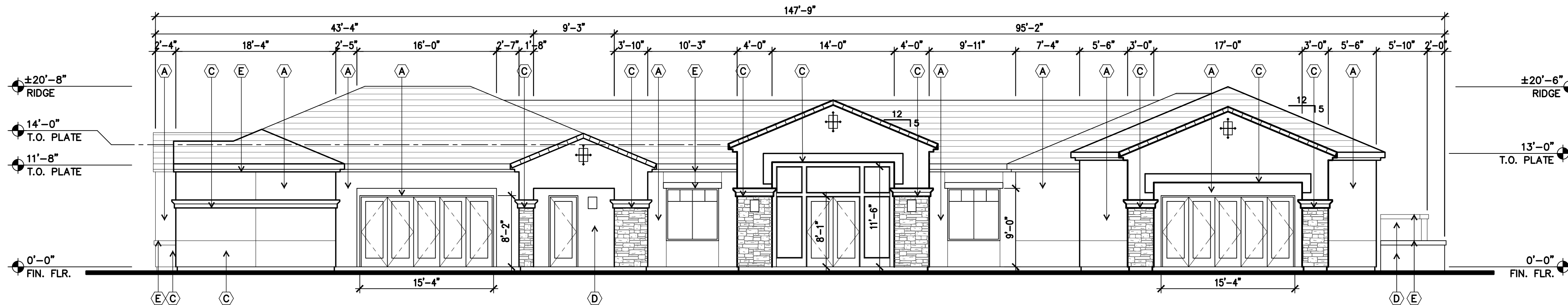
SCALE: 1/8" = 1'-0"



## RIGHT ELEVATION

REC/LEASING OFFICE

SCALE: 1/8" = 1'-0"



## REAR ELEVATION

REC/LEASING OFFICE

SCALE: 1/8" = 1'-0"

### MATERIAL KEY NOTES:

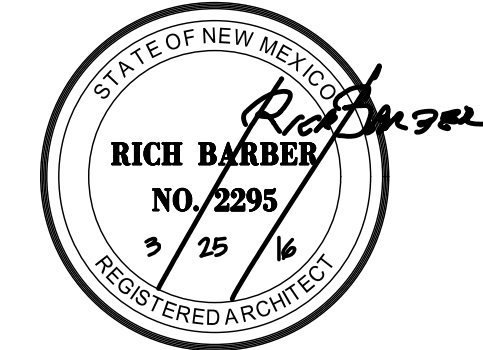
- (A) STUCCO FINISH BEIGE
- (B) STUCCO FINISH LIGHT BROWN
- (C) STUCCO FINISH DARK BROWN
- (D) STUCCO FINISH BROWN
- (E) STUCCO FINISH LIGHT BEIGE
- (F) TILE ROOF
- (G) STONE VENEER

# LEGACY NAA APARTMENTS

SAN PEDRO AND ALAMEDA  
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**L H I**  
LEGACY  
HOSPITALITY

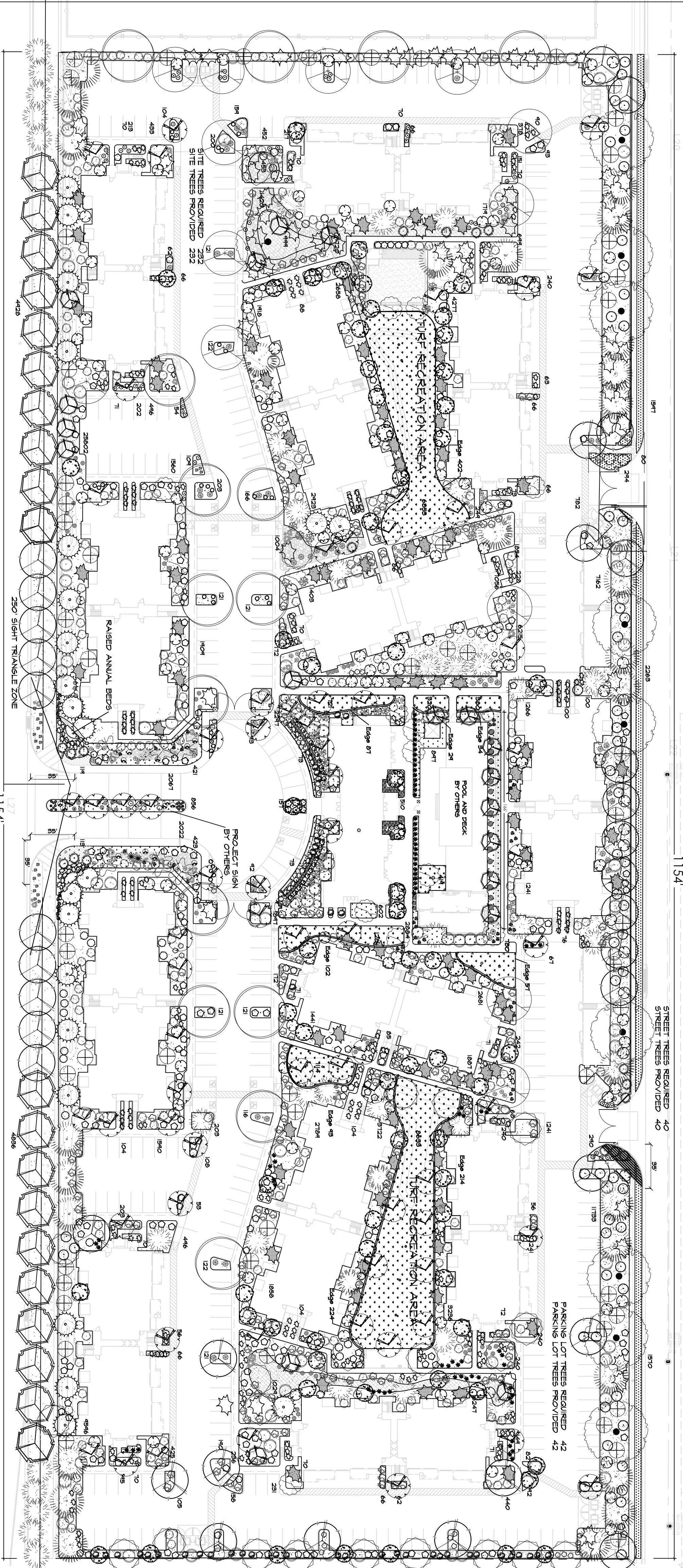
DATE: MARCH 25, 2016 ORB # 15-218

# A5.12

REC/LEASING/FITNESS  
ELEVATIONS



OAKLAND AVE. NE



ALAMEDA BLVD. NE

LANDSCAPE LEGEND

SIZE COMMERCIAL HEIGHTS 100' HGT.

Trees

15 2' cal Honey Locust 50x45 2025 30375 M  
Gleditsia triacanthos

22 2' cal Yucca sp. 35x25 625 13750 M

13 2' cal Chinese Pistache 40x35 23215 1023 M

10 2' cal Bay Oak 50x45 2025 20250 M

15 5' cal Pinyon 30x20 400 16000 M

64 2' cal Chaparral Pear 20x15 400 21600 M

34 2' cal Pinyon 30x20 400 16000 M

40 4 - 6' Pinyon 30x20 400 16000 M

24 8-10' Pinyon 50x30 900 28000 M

22 8-10' Pinyon 50x30 900 28000 M

23 15' cal Oak 15x12 144 3312 M

4 4 - 6' Pinyon 15x6 90 180 M

350 Total Trees 20542

Shrubs & Groundcovers

84 15' cal Flameleaf Smoke 10x15 225 20025 L

15' cal Desert Willow 20x25 625 15000 M

6 15' cal Yucca 20x20 625 9750 M

123 1' cal Spanish Broom 6x6 64 1072 L

64 1' cal Apple Pome 6x7 49 3136 L

1' cal Foliage Paradox 6x7 49 3136 M

1' cal Yucca 20x20 625 9750 M

5' cal Buffalo Juniper 1/2 1/4 11808 M

1' cal Fern Bush 5x6 36 2164 L

64 1' cal Chamaecrista 12x12 144 8208 M

5' cal Nanking Cherry 12x12 144 8208 M

5' cal Red Clusterberry 8x10 100 8400 M

1' cal Mop Pine 6x6 36 1008 M

28 1' cal Pinyon 3x5 25 1025 M

41 1' cal Pinyon 3x5 25 1025 M

275 1' cal Pinyon 3x5 25 1025 M

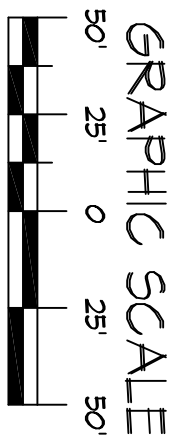
1' cal Pinyon 3x5 25 1025 M

1' cal Pinyon 3x5 25 1025 M

1' cal Pinyon 3x5 25 1025 M

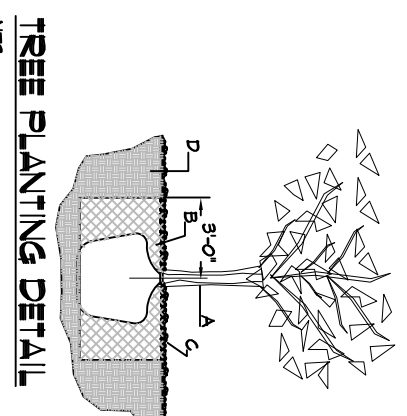
1' cal Pinyon 3x5 25 1025 M

191242 Total Landscape Area

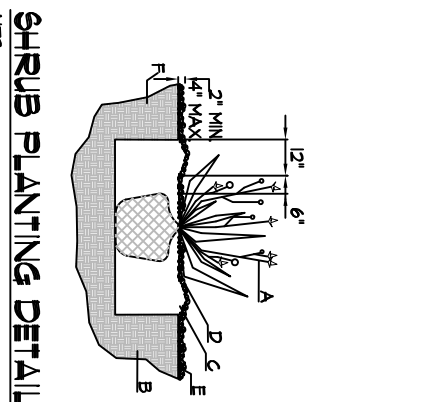


SCALE 1" = 50'-0"

TREE PLANTING DETAIL

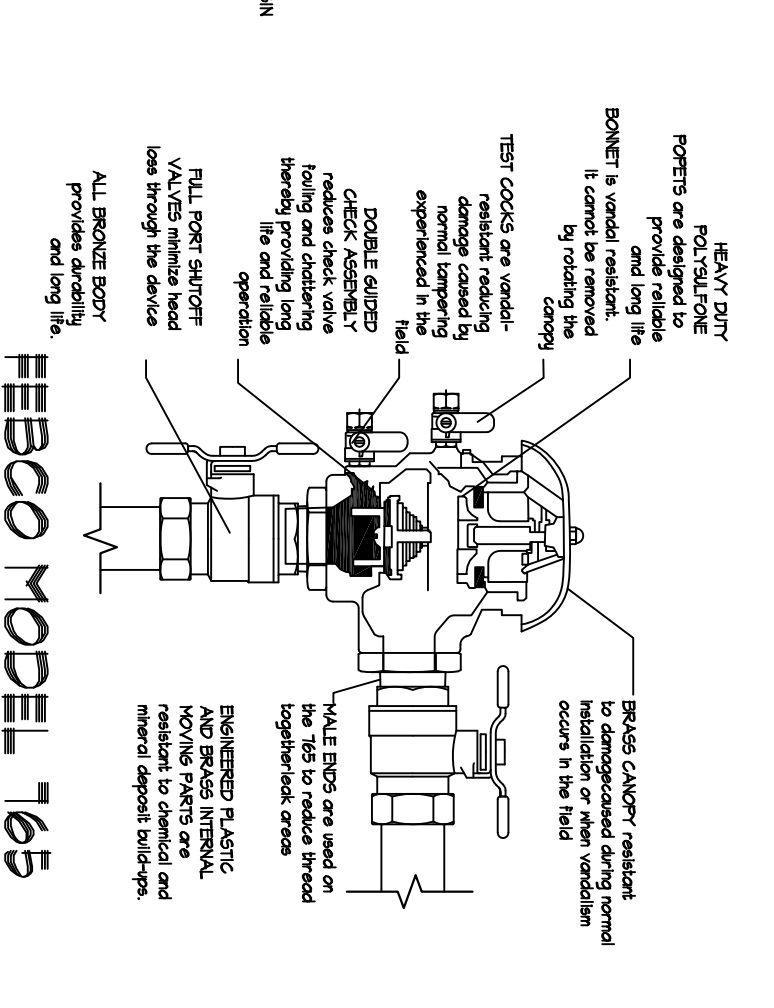


SHRUB PLANTING DETAIL



THESE DETAILS ARE TO BE USED IN ALL PLANTING AREAS. THE TREE PLANTING DETAIL IS TO BE USED FOR ALL TREE PLANTING. THE SHRUB PLANTING DETAIL IS TO BE USED FOR ALL SHRUB PLANTING. THE TREE PLANTING DETAIL IS TO BE USED FOR ALL TREE PLANTING. THE SHRUB PLANTING DETAIL IS TO BE USED FOR ALL SHRUB PLANTING.

FEBCO MODEL 165



LANDSCAPE CALCULATIONS

|                              |                     |
|------------------------------|---------------------|
| TOTAL LOT AREA (±)           | 11,621 AC (506,254) |
| TOTAL BUILDING AREA (±)      | 13,470              |
| NET LOT AREA (±)             | 314,784             |
| LANDSCAPE REQUIREMENT        | X .15               |
| TOTAL LANDSCAPE REQUIRED (±) | 56,218              |
| TOTAL LANDSCAPE PROVIDED     | 191,242             |
| TOTAL XERISCAPE AREA         | 107,038             |
| TOTAL TURF                   | 20,504              |
| TOTAL GROUNDCOVER READ 75%   | 149,431             |
| TOTAL GROUND COVER PROVIDED  | 150,280             |

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas.

IRRIGATION NOTES:  
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owner's responsibility to ensure that negative water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netfilm spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk pinned in place. Netfilm shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 gph Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others. Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

LEGACY NAA APARTMENTS  
SAN PEDRO AND ALAMEDA  
Albuquerque, NM

LANDSCAPE PLAN

The design contained herein remain the property of The Hilltop Landscaping Architects & Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or a job order placed.

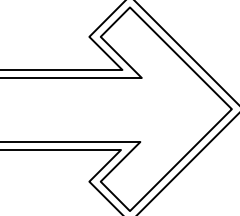
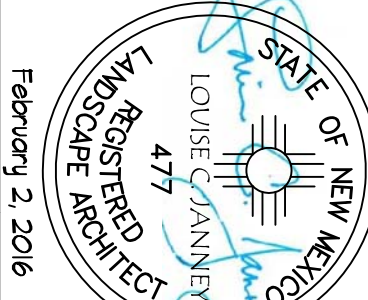


DRAWN BY  
REVISION #  
DATE

SHEET #

The Hilltop  
1909 Edith NE,  
Albuquerque, NM 87104  
Cont. Lic. #26455  
Ph. (505) 848-4640  
Fax (505) 848-7737  
danny@hilltoplandscaping.com

Landscape Architect



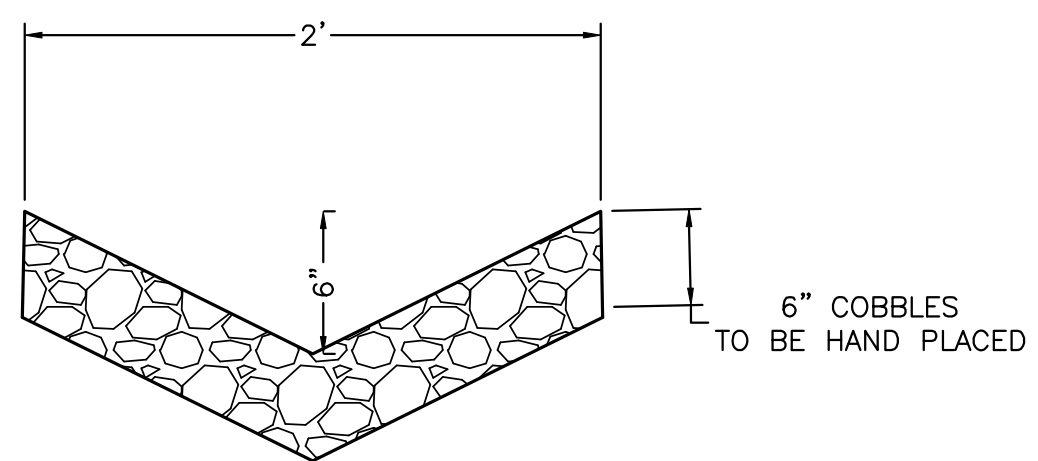
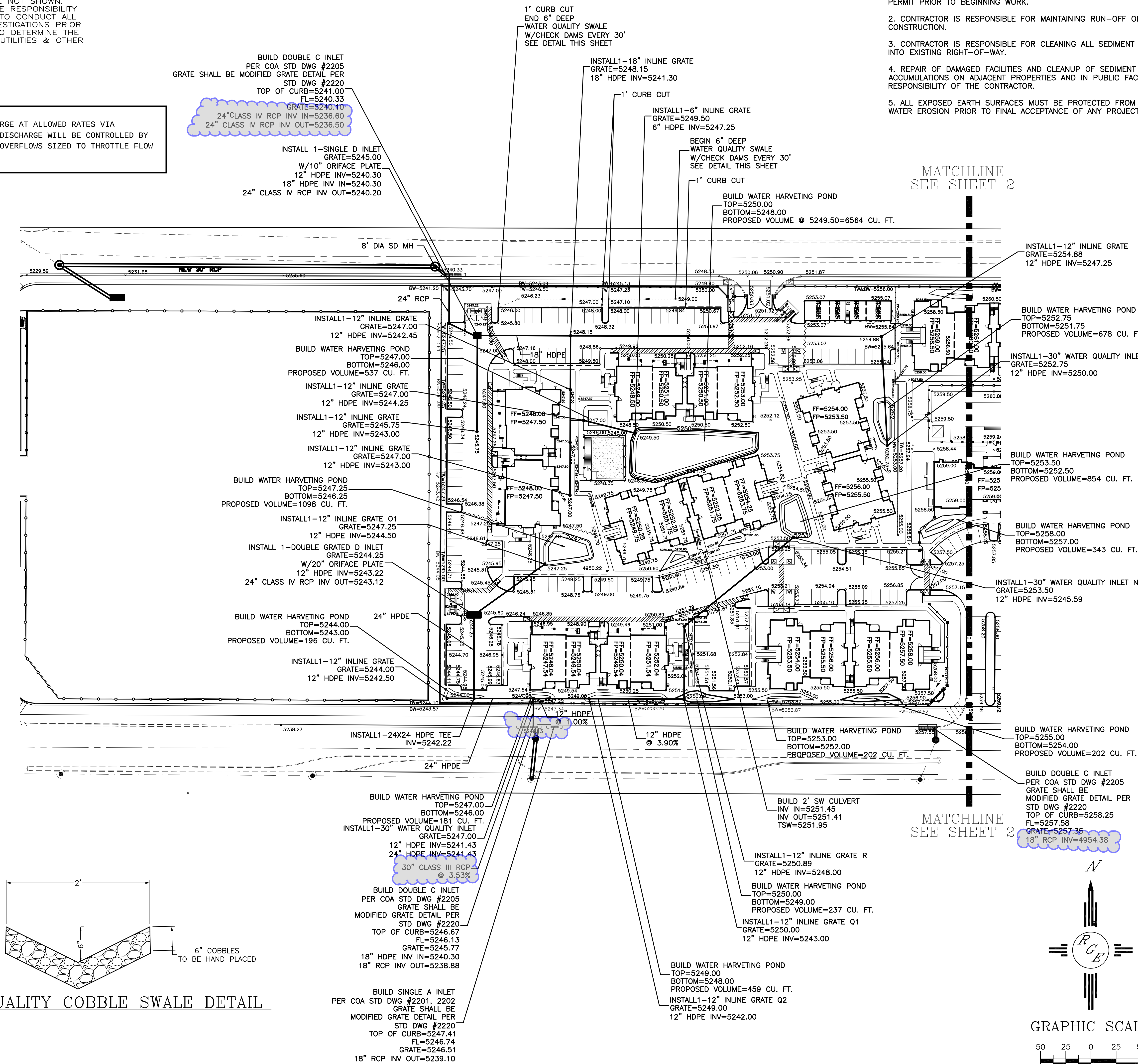


CAUTION:  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

DRAINAGE NARRATIVE  
THE SITE WILL DISCHARGE AT ALLOWED RATES VIA  
GROUND STORM DRAIN. DISCHARGE WILL BE CONTROLLED BY  
INTERIOR PONDS WITH OVERFLOWS SIZED TO THROTTLE FLOW  
TO ALLOWED.

BUILD DOUBLE C INLET  
PER COA STD DWG #2205  
GRATE SHALL BE MODIFIED GRATE DETAIL PER  
STD DWG #2220  
TOP OF CURB=5241.00  
FL=5240.33  
GRATE=5240.10  
24" CLASS IV RCP INV IN=5236.60  
24" CLASS IV RCP INV OUT=5236.50

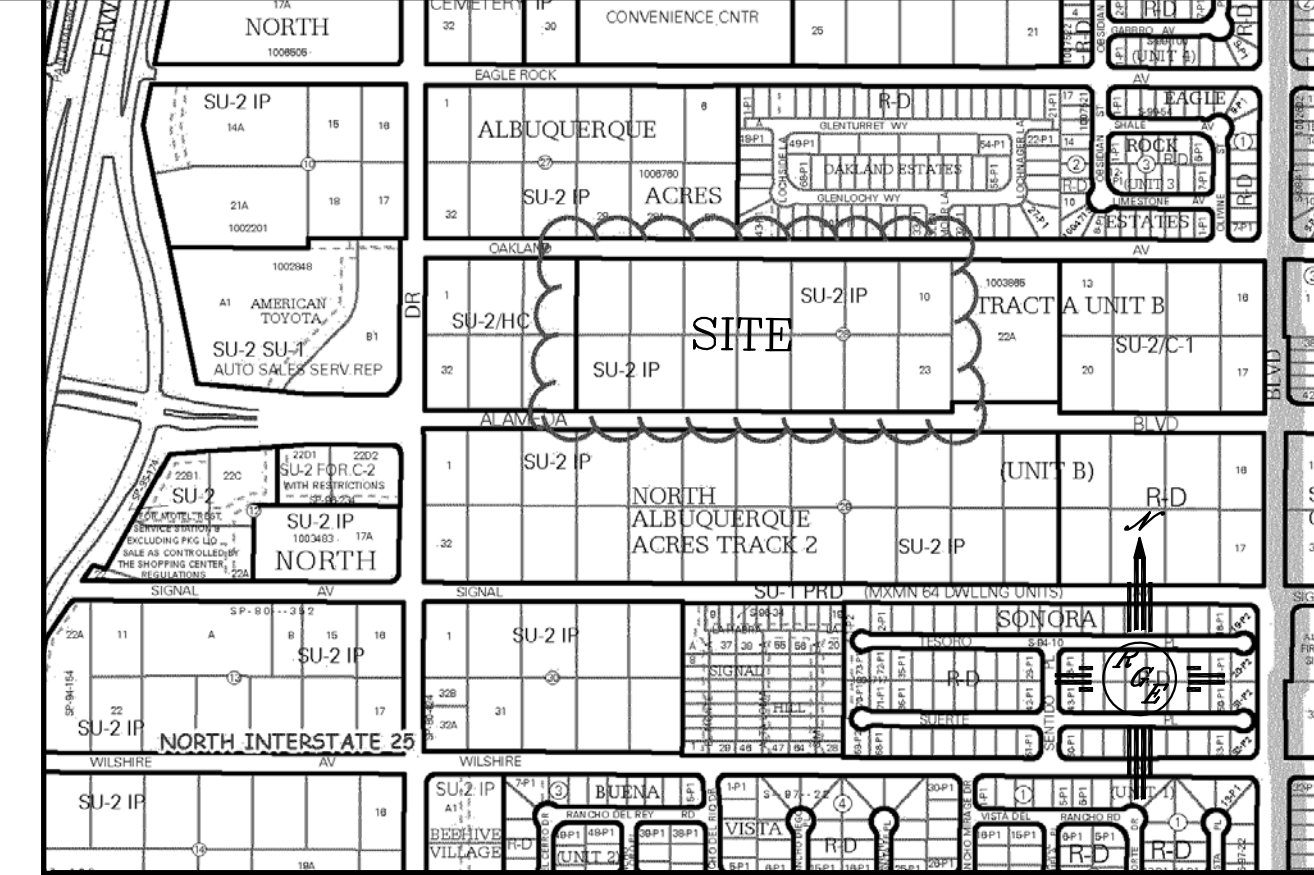
INSTALL 1-SINGLE D INLET  
GRATE=5245.00  
W/10" ORIFACE PLATE  
12" HDPE INV=5240.30  
18" HDPE INV IN=5240.30  
24" CLASS IV RCP INV OUT=5240.20



WATER QUALITY COBBLE SWALE DETAIL  
NTS

EROSION CONTROL NOTES:

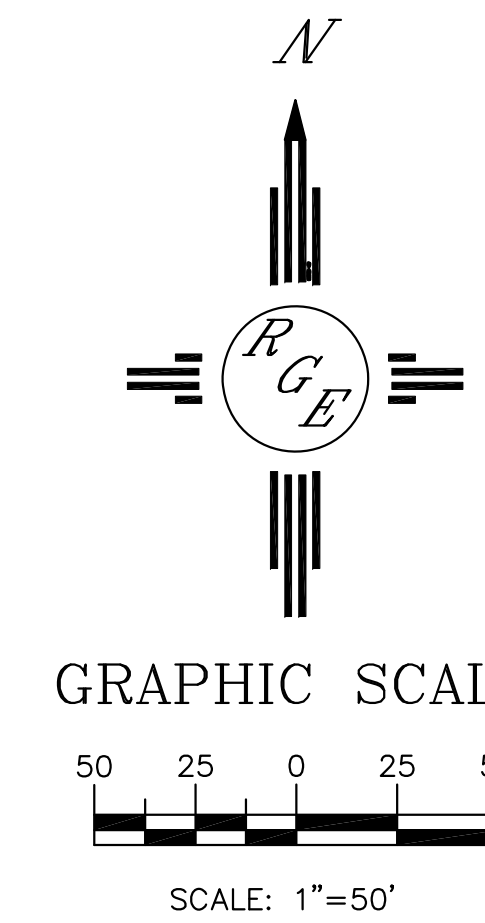
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:  
NOTES:  
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.  
2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

| LEGEND |                                          |
|--------|------------------------------------------|
|        | EXISTING CONTOUR                         |
|        | EXISTING INDEX CONTOUR                   |
|        | PROPOSED CONTOUR                         |
|        | PROPOSED INDEX CONTOUR                   |
|        | SLOPE TIE                                |
|        | EXISTING SPOT ELEVATION                  |
|        | PROPOSED SPOT ELEVATION                  |
|        | BOUNDARY                                 |
|        | CENTERLINE                               |
|        | RIGHT-OF-WAY                             |
|        | PROPOSED CURB AND GUTTER                 |
|        | EXISTING CURB AND GUTTER                 |
|        | PROPOSED SIDEWALK                        |
|        | PROPOSED SETBACK                         |
|        | PROPOSED LOT LINE                        |
|        | PROPOSED SCREEN WALL                     |
|        | PROPOSED RETAINING WALL DESIGN BY OTHERS |

|                                                             |                                                                                                              |                                                             |
|-------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|
| ENGINEER'S SEAL<br><br>4/8/16<br>DAVID SOULE<br>P.E. #14522 | LEGACY NAA<br>APARTMENTS<br>GRADING AND<br>DRAINAGE PLAN                                                     | DRAWN<br>BY WCVJ<br>DATE<br>3-14-16<br>21601-LAYOUT-1-07-16 |
|                                                             | <br>Rio Grande<br>Engineering<br>1606 CENTRAL AVENUE<br>SUITE 201<br>ALBUQUERQUE, NM 87106<br>(505) 872-0898 | SHEET #<br>C1<br>JOB #<br>21331                             |





EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

BUILD DOUBLE C INLET  
PER COA STD DWG #2205  
GRATE SHALL BE MODIFIED GRATE DETAIL PER  
STD DWG #2220  
TOP OF CURB=5262.82  
FL=5262.28  
GRATE=5261.92  
12" HDPE INV IN=5255.43  
18" RCP INV OUT=5254.93

INSTALL 1-TYPE D INLET  
GRATE=5261.03  
12" HDPE INV=5256.99

MATCHLINE  
SEE SHEET 1

INSTALL 1-6" INLINE  
GRATE=5262.75  
6" HDPE INV=5258.07

1' CURB CUT  
END 6" DEEP  
-WATER QUALITY SWALE  
W/CHECK DAMS EVERY 30'  
SEE DETAIL THIS SHEET

BUILD WATER HARVETING POND  
— TOP=5263.50  
BOTTOM=5261.75  
PROPOSED VOLUME @5262.75=1750 CU. FT.

1' CURB CUT  
BEGIN 6" DEEP  
WATER QUALITY SWALE  
W/CHECK DAMS EVERY 30'  
SEE DETAIL THIS SHEET

INSTALL 1-12" INLINE GRATE  
GRATE=5263.24  
12" HDPE INV=5257.94

BUILD WATER HARVESTING POND  
TOP=5262.00  
BOTTOM=5261.00  
PROPOSED VOLUME=590 CU. FT.

BUILD WATER HARVESTING POND  
TOP=5258.35  
BOTTOM=5257.35  
PROPOSED VOLUME=343 CU. FT.

BUILD 2' SW CULVERT  
INV IN=5258.35  
INV OUT=5258.25  
TSW=5258.75

BUILD 2' SW CULVERT  
INV IN=5259.98-  
INV OUT=5259.88  
TSW=5260.38

BUILD 2' SW CULVERT  
INV IN=5259.98  
INV OUT=5259.88  
TSW=5260.38

BUILD WATER HARVETING POND  
TOP=5269.00  
BOTTOM=5268.00  
PROPOSED VOLUME=418 CU. FT.

BUILD WATER HARVETING POND  
TOP=5268.50  
BOTTOM=5267.50  
PROPOSED VOLUME=1231 CU. FT.

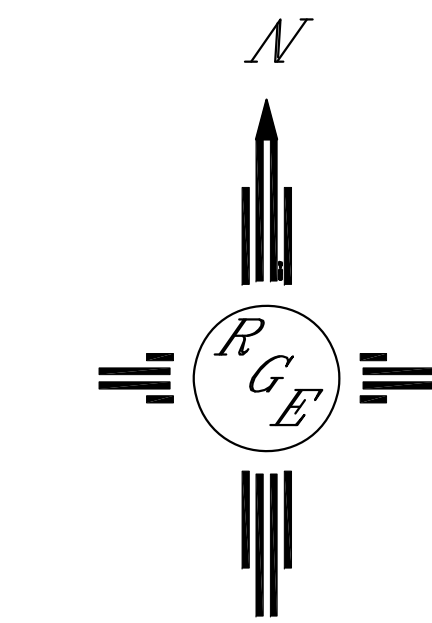
BUILD WATER HARVESTING POND  
TOP=5262.00  
BOTTOM=5261.00  
PROPOSED VOLUME=459 CU. FT.

BUILD WATER HARVESTING POND  
TOP=5264.00  
BOTTOM=5263.00  
PROPOSED VOLUME=250 CU. FT.

BUILD DOUBLE C INLET  
PER COA STD DWG #2205  
GRATE SHALL BE  
MODIFIED GRATE DETAIL PER  
STD DWG #2220  
TOP OF CURB=5270.70  
FL=5270.03  
GRATE=5269.80  
18" RCP INV=5266.53

BUILD SINGLE A INLET  
PER COA STD DWG #2201, 2202  
GRATE SHALL BE  
MODIFIED GRATE DETAIL PER  
STD DWG #2220  
TOP OF CURB=5271.45  
FL=5270.78  
GRATE=5270.57  
18" RCP INV=5267.29

## NTS



1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



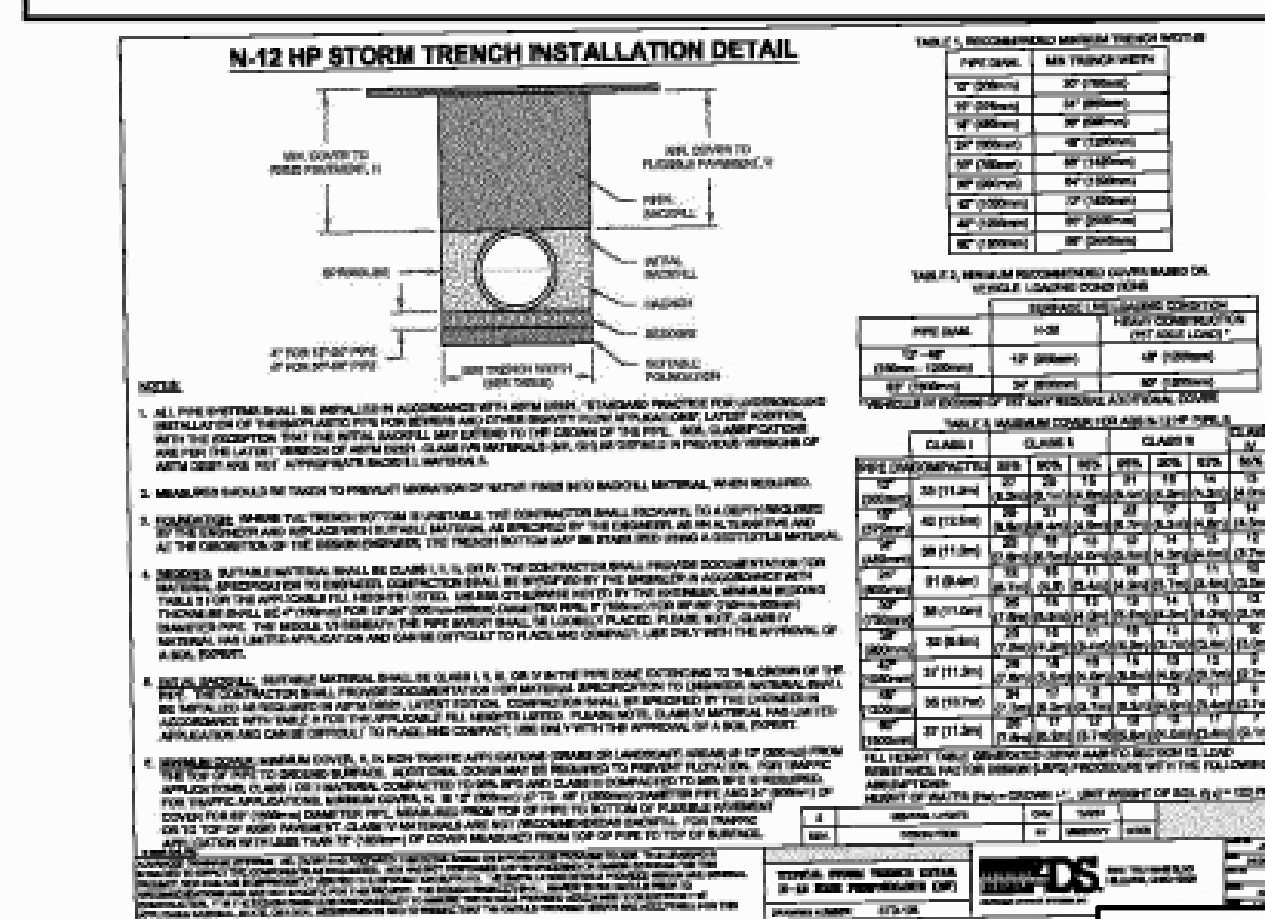
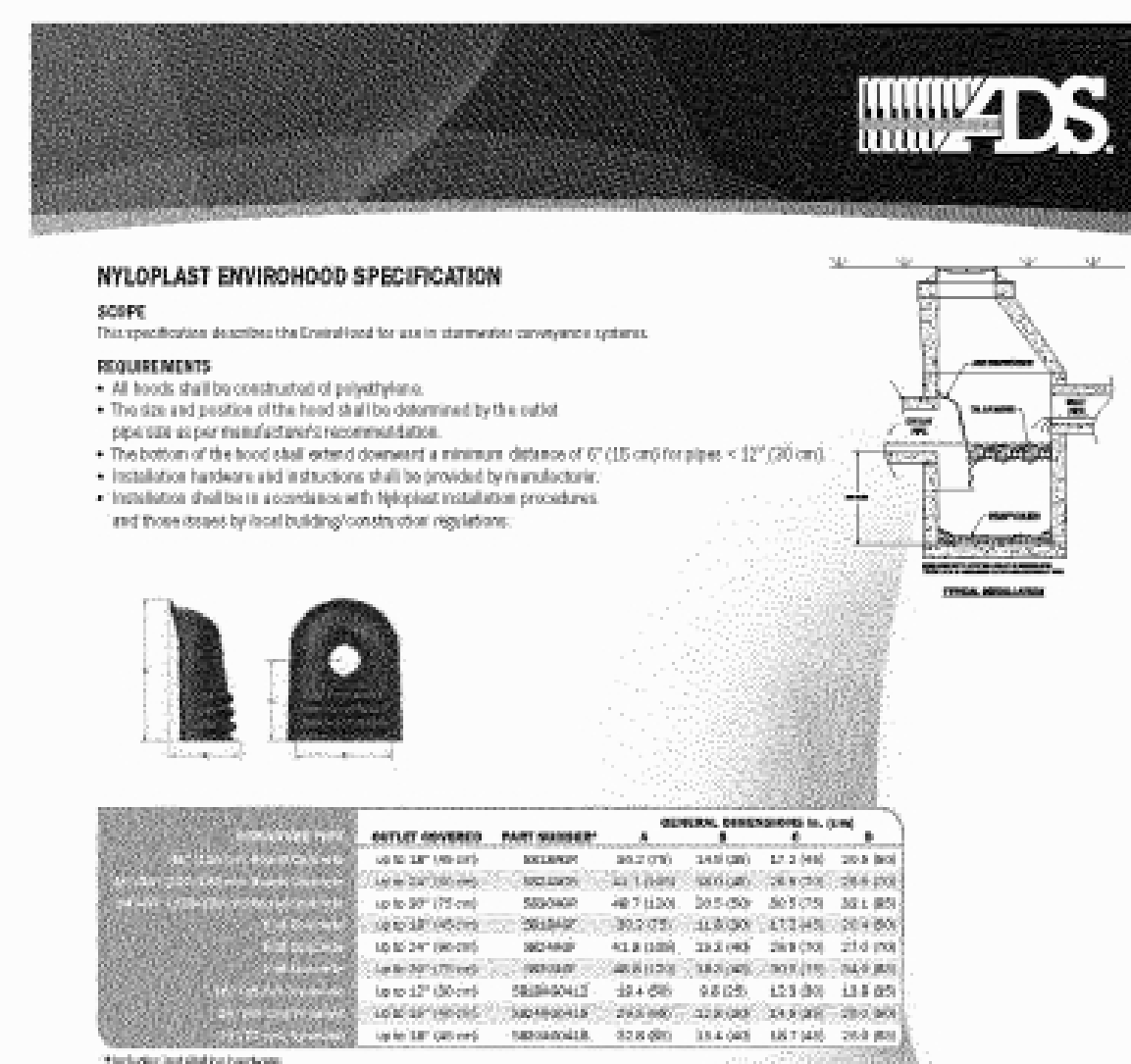
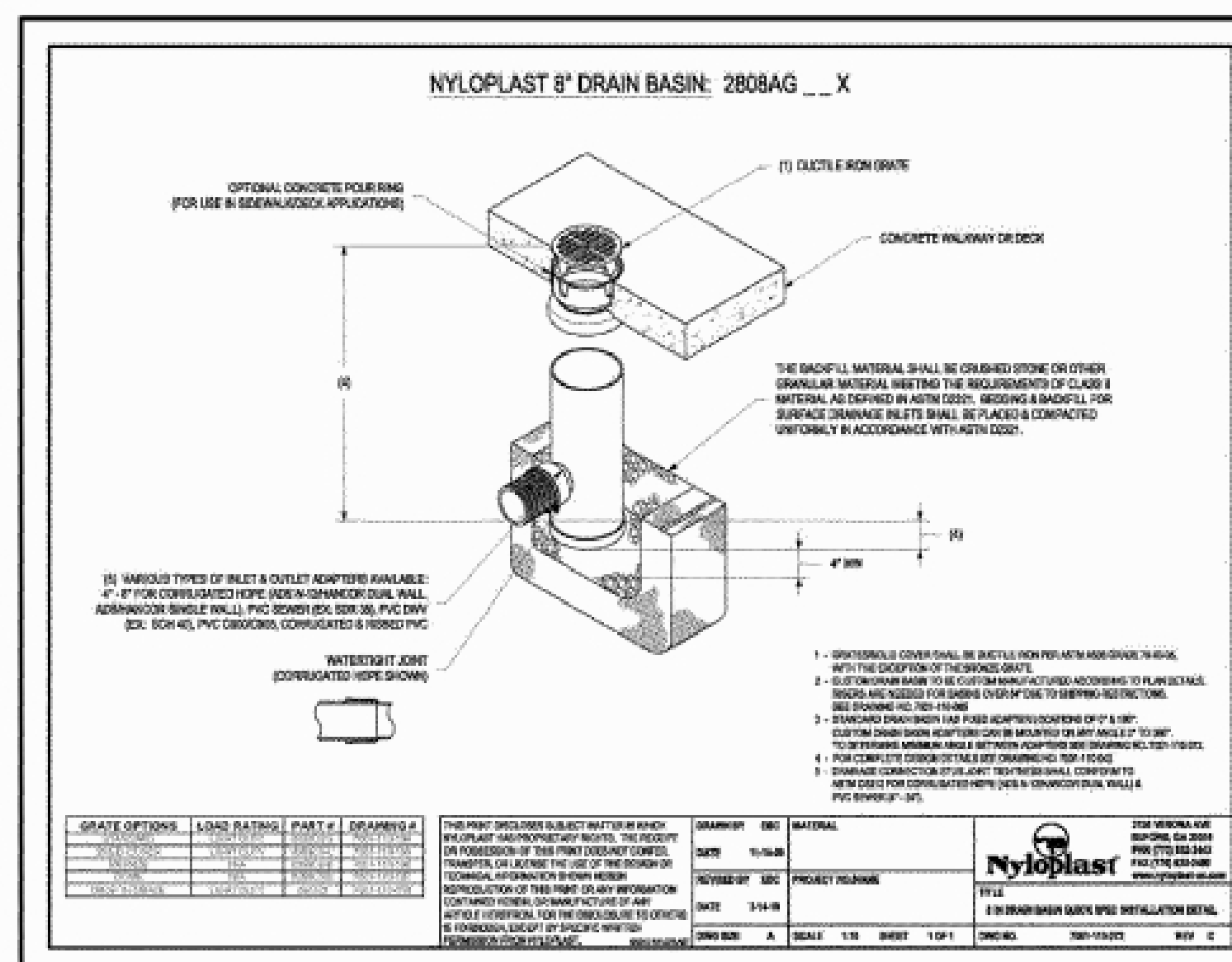
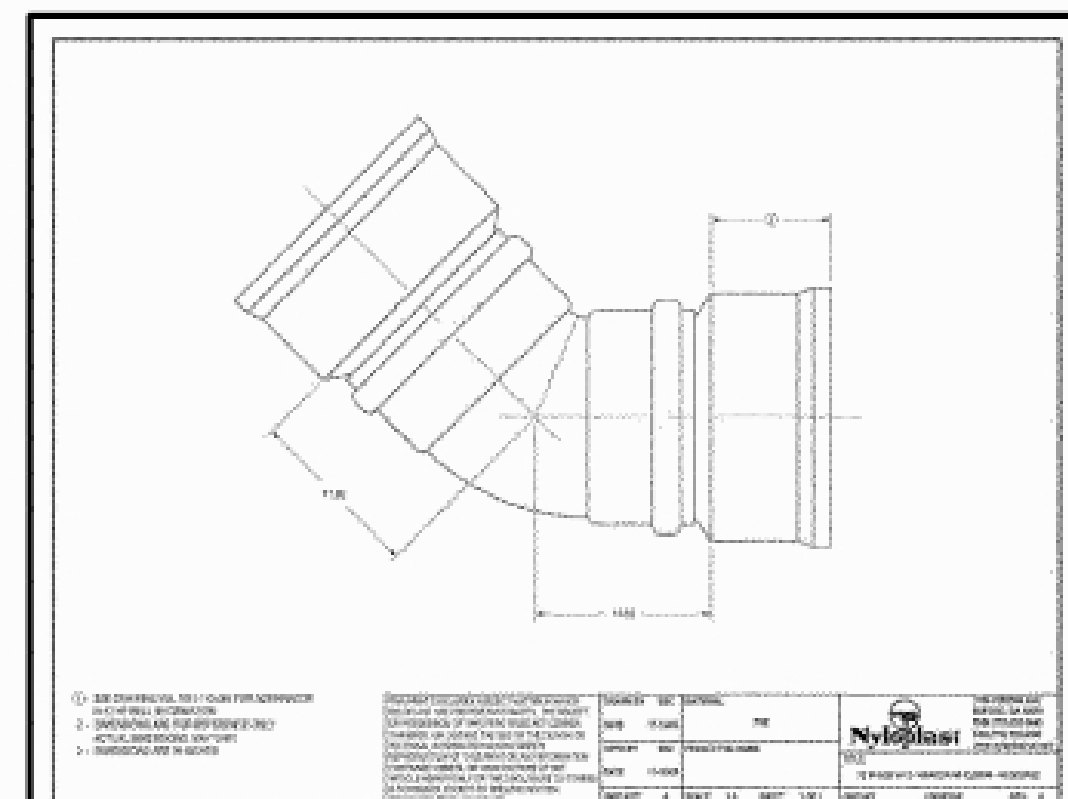
NOTES:

- ### LEGEND

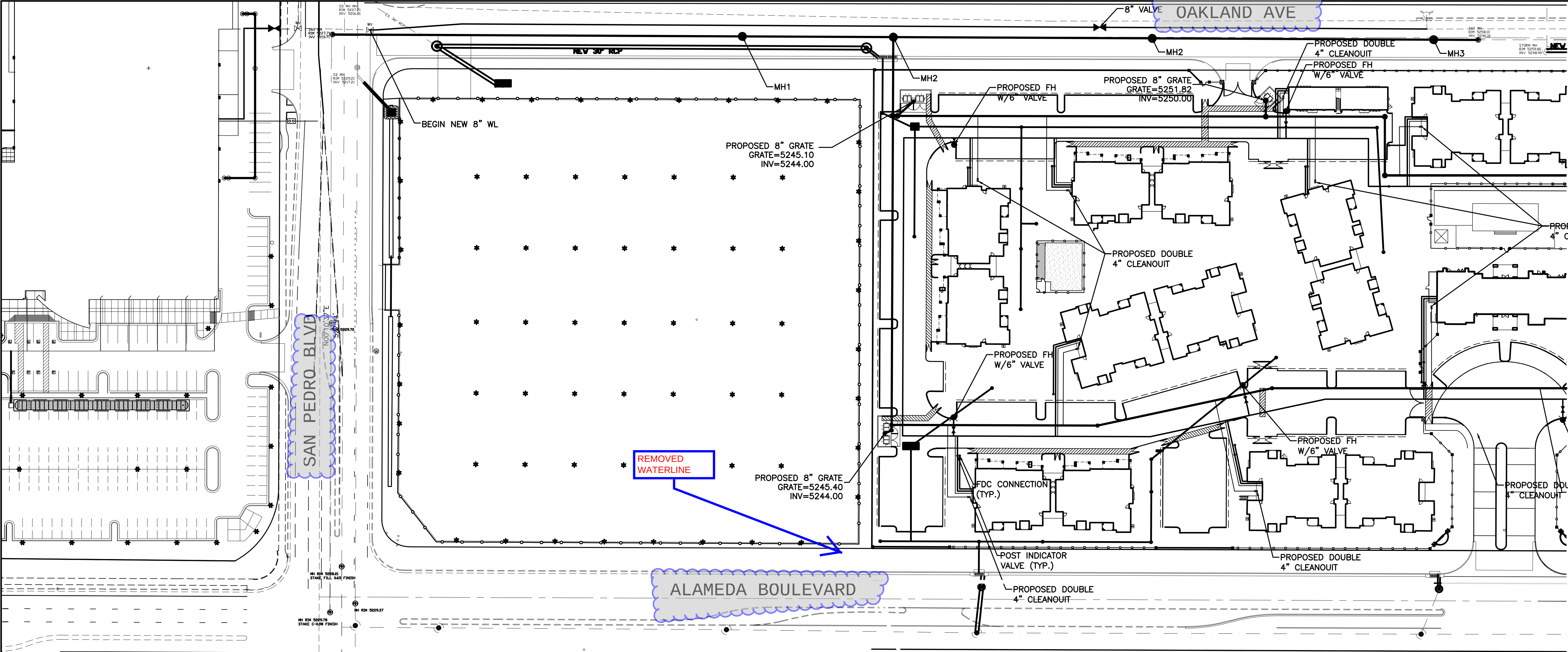
- |                       |                          |
|-----------------------|--------------------------|
|                       | EXISTING CONTOUR         |
| —————5414—————        | EXISTING INDEX CONTOUR   |
| <b>—————5415—————</b> | PROPOSED CONTOUR         |
| ▶                     | PROPOSED INDEX CONTOUR   |
| 1                     | SLOPE TIE                |
| X 4048.25             | EXISTING SPOT ELEVATION  |
| 1-                    | PROPOSED SPOT ELEVATION  |
| X 4048.25             |                          |
| .                     |                          |
| —————                 | BOUNDARY                 |
| - - - - -             | CENTERLINE               |
| —————                 | RIGHT-OF-WAY             |
| =====                 | PROPOSED CURB AND GUTTER |
| - - - - -             | EXISTING CURB AND GUTTER |
| —————                 | PROPOSED SIDEWALK        |
| - - - - -             | PROPOSED SETBACK         |
| ————— . . . . .       | PROPOSED LOT LINE        |
| =====                 | PROPOSED SCREEN WALL     |
| =====                 | PROPOSED RETAINING WALL  |
| =====                 | DESIGN BY OTHERS         |

|                                                                                       |                                                                                                                                                                                                                      |                                                   |
|---------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------|
| <p>ENGINEER'S<br/>SEAL</p>                                                            | <p>LEGACY NAA<br/>APARTMENTS</p>                                                                                                                                                                                     | <p>DRAWN<br/>BY WCVJ</p>                          |
|  | <p>GRADING AND<br/>DRAINAGE PLAN</p>                                                                                                                                                                                 | <p>DATE<br/>3-14-16</p>                           |
| <p>4/8/16</p>                                                                         |  <p><i>Rio Grande<br/>Engineering</i></p> <p>1606 CENTRAL AVENUE<br/>SUITE 201<br/>ALBUQUERQUE, NM 87106<br/>(505) 872-0999</p> | <p>21601-LAYOUT-1-07-16</p> <p>SHEET #<br/>C2</p> |
| <p>DAVID SOULE<br/>P.E. #14522</p>                                                    |                                                                                                                                                                                                                      | <p>JOB #<br/>21331</p>                            |









GENERAL NOTES

1. ALL WATER SERVICES SHALL 1" TO EACH BUILDING
2. EACH BUILDING SHALL HAVE A 4" FIRELINE PARALLEL AND IN THE SAME TRENCH AS THE 1" DOMESTIC LINE.
3. ALL 4" SAS CLEANOUTS FROM BUILDING SHALL BE -3.80' FROM FINISHED FLOOR SHOWN ON PLAN.
4. ALL WORK ON OAKLAND AND ALAMEDA IS SHOWN FOR REFERENCE ONLY, AND SHALL BE DESIGNED AND CONSTRUCTED WITH THE BID PACKAGE.
5. ALL ON SITE WATER AND SEWER SHALL BE PRIVATE
6. PRIVATE WATER INFRASTRUCTURE SHALL CONFORM TO ABCWUA CROSS CONNECTION ORDINANCE

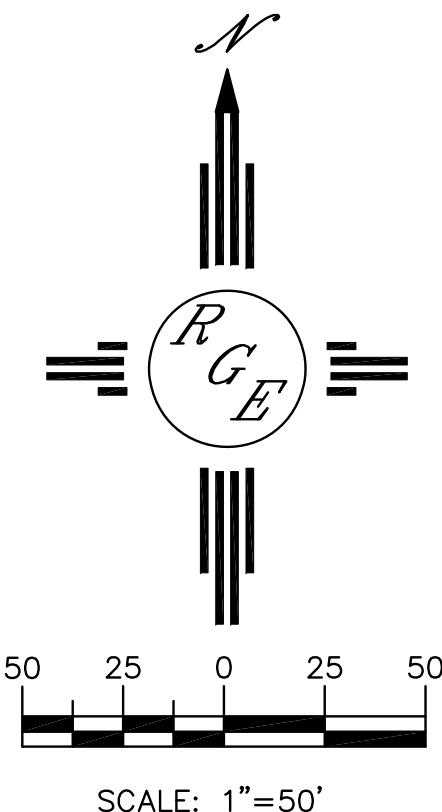
NOTICE TO CONTRACTORS

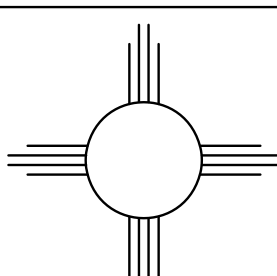
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
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26. ALL ONSITE WATER LINES AND FIRE HYDRANTS, FIRE LINES SHALL BE PRIVATE.
27. ALL 4" FIRELINE TO BUILDING SHALL HAVE 4" POST INDICATOR VALVE.

LEGEND

- |                                     |                                 |
|-------------------------------------|---------------------------------|
| — EX. 12" SD —                      | EXISTING STORM SEWER LINE       |
| — EX. 8" SAS —                      | EXISTING SAS MANHOLE            |
| — EX. 6" WL —                       | EXISTING WATER LINE             |
| — PROPOSED SD —                     | PROPOSED SD                     |
| — PROPOSED METER —                  | PROPOSED METER                  |
| — PROPOSED FIRE HYDRANT (PRIVATE) — | PROPOSED FIRE HYDRANT (PRIVATE) |
| — PROPOSED FDC LINE (PRIVATE) —     | PROPOSED FDC LINE (PRIVATE)     |
| — PROPOSED WATER LINE —             | PROPOSED WATER LINE             |
| — EXISTING EDGE OF PAVEMENT —       | EXISTING EDGE OF PAVEMENT       |
| — PROPOSED CURB & GUTTER —          | PROPOSED CURB & GUTTER          |
| — BOUNDARY LINE —                   | BOUNDARY LINE                   |
| — CENTERLINE —                      | CENTERLINE                      |
| — RIGHT-OF-WAY —                    | RIGHT-OF-WAY                    |
| — LOT LINES —                       | LOT LINES                       |
| — EASEMENT —                        | EASEMENT                        |
| — STREET LIGHTS —                   | STREET LIGHTS                   |

CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR). CONTRACTOR SHALL REMOVE AND REPLACE STD C&G PER COA STD DWG 2415A. CONTRACTOR SHALL REMOVE AND REPLACE SW PER COA STD DWG 2430--REMOVE TO NEAREST JOINT, MATCH FL ELEVATIONS

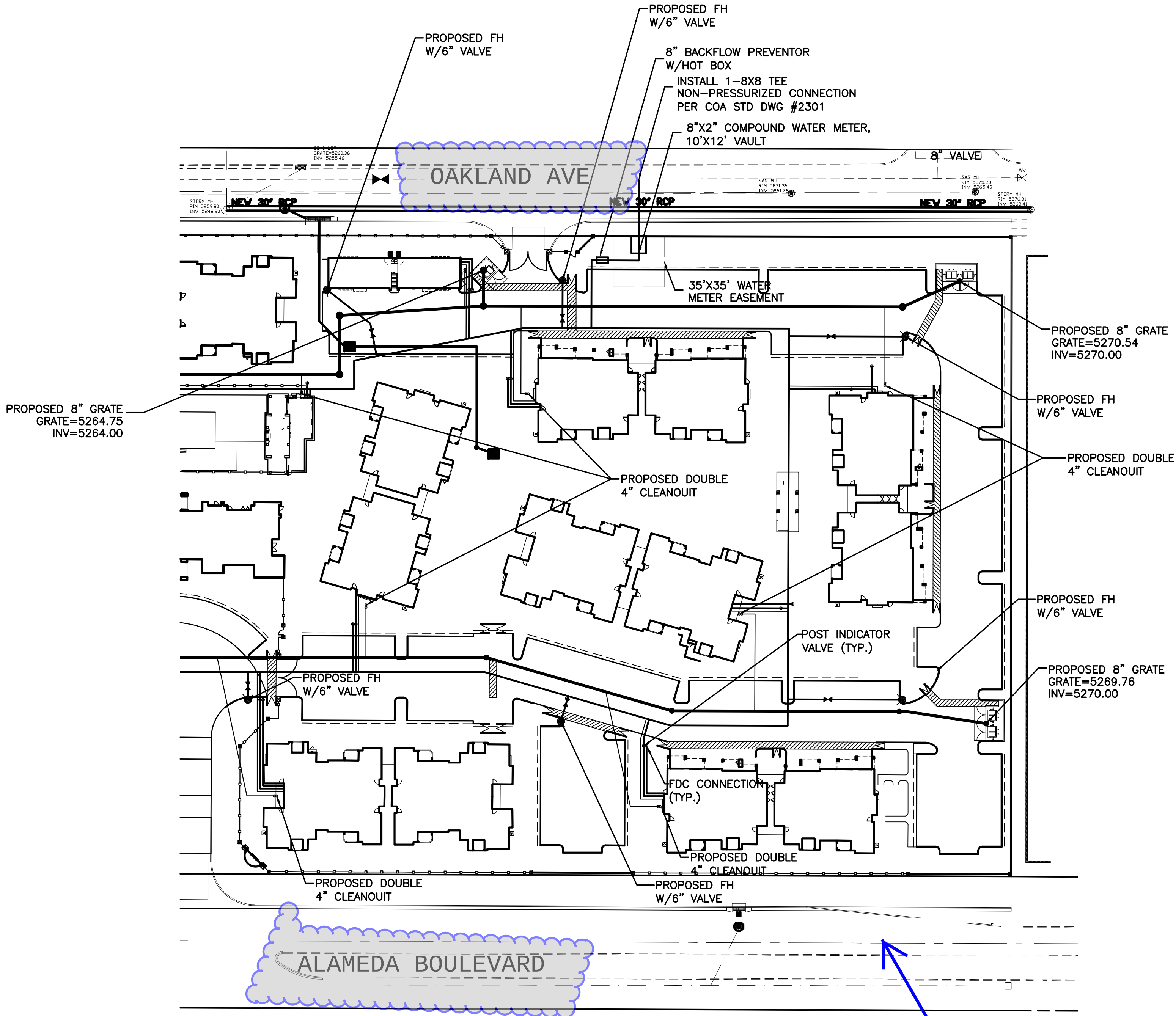


|                            |                                                                                                                                                                                                |                      |
|----------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|
| ENGINEER'S SEAL            | LEGACY NAA APARTMENTS                                                                                                                                                                          | DRAWN BY WCVJ        |
|                            |                                                                                                                                                                                                | DATE 3-31-16         |
|                            | MASTER UTILITY PLAN                                                                                                                                                                            | 21601-LAYOUT-1-07-16 |
|                            |                                                                                                                                                                                                | SHEET # C4           |
| DAVID SOULE<br>P.E. #14522 | <br>Rio Grande Engineering<br>1606 CENTRAL AVENUE<br>SUITE 201<br>ALBUQUERQUE, NM 87106<br>(505) 872-0999 | JOB # 21601          |



GENERAL NOTES

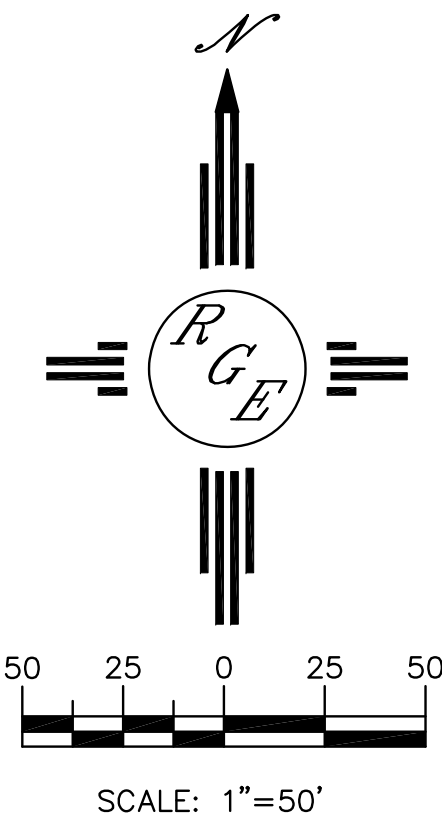
1. ALL WATER SERVICES SHALL 1" TO EACH BUILDING
2. EACH BUILDING SHALL HAVE A 4" FIRELINE PARALL AND IN THE SAME TRENCH AS THE 1" DOMESTIC LINE.
3. ALL 4" SAS CLEANOUTS FROM BUILDING SHALL BE -3.80' FROM FINISHED FLOOR SHOWN ON PLAN.
4. ALL WORK ON OAKLAND AND ALAMEDA IS SHOWN FOR REFERENCE ONLY, AND SHALL BE DESIGNED AND CONSTRUCTED WITH THE BID PACKAGE.
5. ALL ON SITE WATER AND SEWER SHALL BE PRIVATE
6. PRIVATE WATER INFRASTRUCTURE SHALL CONFORM TO ABCWUA CROSS CONNECTION ORDINANCE



LEGEND

- EX. 12" SD — EXISTING STORM SEWER LINE
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- PROPOSED SD — PROPOSED SD
- PROPOSED METER — PROPOSED METER
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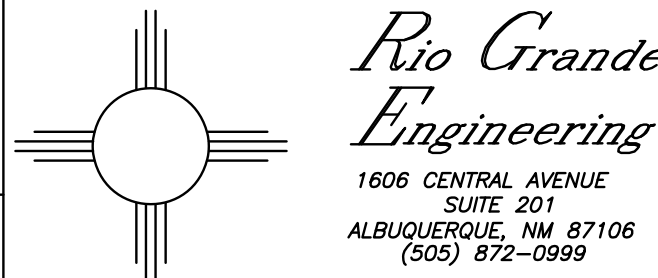


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REMOVED WATERLINE

LEGACY NAA  
APARTMENTS  
MASTER UTILITY  
PLAN



DRAWN BY WCUJ

DATE 3-31-16

21601-LAYOUT-1-07-16

SHEET # C5

JOB # 21601



**INFRASTRUCTURE LIST****EXHIBIT "A"****TO SUBDIVISION IMPROVEMENTS AGREEMENT****DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST****LEGACY NAA APARTMENTS****PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN****Lots 4-10&23-29, Block 28, North Albuquerque Acres, Tract A, Unit B****EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| SIA<br>Sequence #    | COA DRC<br>Project # | Size    | Type of Improvement                                                                                  | Location                           | From               | To                        | Private<br>Inspector | City<br>Inspector | City Cnst<br>Engineer |
|----------------------|----------------------|---------|------------------------------------------------------------------------------------------------------|------------------------------------|--------------------|---------------------------|----------------------|-------------------|-----------------------|
| <input type="text"/> | <input type="text"/> | 19' F-E | Residential Road with Curb and Gutter<br>including 4' wide Sidewalk (southside)                      | Oakland ave                        | west property line | east property line        | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | 8"      | Waterline                                                                                            | Oakland ave                        | existing           | san pedro blvd            | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | 8"      | Sewerline                                                                                            | Oakland ave                        | existing           | san pedro blvd            | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | 30"     | Storm drain                                                                                          | Oakland ave                        | San pedro blvd     | west property line        | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | 30"     | Storm drain                                                                                          | oakland                            | existing           | East pl                   | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | 26' F-F | Driveway<br>including 4' wide Sidewalk (bothsides)                                                   | 330' east of west<br>property line | Oakland ave        | interior radius<br>return | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | 26' F-F | Driveway<br>including 4' wide Sidewalk (bothsides)                                                   | 330' west of east<br>property line | Oakland ave        | interior radius<br>return | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | misc    | storm drain extentions and inlets<br>1-TYPE C DOUBLE GRATE AND<br>1-TYPE A SINGLE GRATE AT EACH STUB | alameda                            | existing inlet     | new face of curb          | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> |         |                                                                                                      |                                    |                    |                           | /                    | /                 | /                     |



| SIA<br>Sequence #    | COA DRC<br>Project # | Size       | Type of Improvement                                                                                             | Location     | From               | To                 | Private<br>Inspector | City<br>Inspector | City Cnst<br>Engineer |
|----------------------|----------------------|------------|-----------------------------------------------------------------------------------------------------------------|--------------|--------------------|--------------------|----------------------|-------------------|-----------------------|
| <input type="text"/> | <input type="text"/> | 12.91' F-E | Residential Road with Curb and Gutter<br>including 10' wide Trail<br>to make ulimate half section of 31.83' F-F | Alameda blvd | west property line | east property line | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | 12' F-E    | 150' Median left turn lane with 150'<br>reverse curve transition                                                | Alameda blvd | entrance           | existing lane      | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | varies     | striping and temporary curbs<br>for proper transitions                                                          | Alameda      | existing           | proposed           | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> | varies     | striping and temporary curbs<br>for proper transitions                                                          | Oakland      | existing           | proposed           | /                    | /                 | /                     |
| <input type="text"/> | <input type="text"/> |            |                                                                                                                 |              |                    |                    | /                    | /                 | /                     |

#### NOTES

- 1 Engineers Certification of Grading required prior to release of SIA and Financial Guarantee
- 2
- 3

#### AGENT / OWNER

#### DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

NAME (print)

DRB CHAIR - date

PARKS & GENERAL SERVICES - date

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

SIGNATURE - date

UTILITY DEVELOPMENT - date

\_\_\_\_\_ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
THE IMPROVEMENTS WITHOUT A DRB

CITY ENGINEER - date

\_\_\_\_\_ - date

EXTENSION: \_\_\_\_\_

#### DESIGN REVIEW COMMITTEE REVISIONS

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT /OWNER |
|----------|------|-----------|-----------------|--------------|
|          |      |           |                 |              |
|          |      |           |                 |              |
|          |      |           |                 |              |



