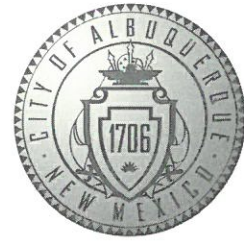


# CITY OF ALBUQUERQUE



May 30, 2018

Rich Barber, R.A.  
ORB Architects LLC  
P.O. Box 93924  
Albuquerque, NM 87199

**Re: Legacy NNA Apartments, Building #8**  
**6301 Alameda Blvd NE, 87113**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 08-01-16 (C18-D064B)  
Certification dated 05-25-18

Dear Mr. Soule

Based upon the information provided in your submittal received 05-22-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

1. Please remove all construction debris and equipment from site before final CO request.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

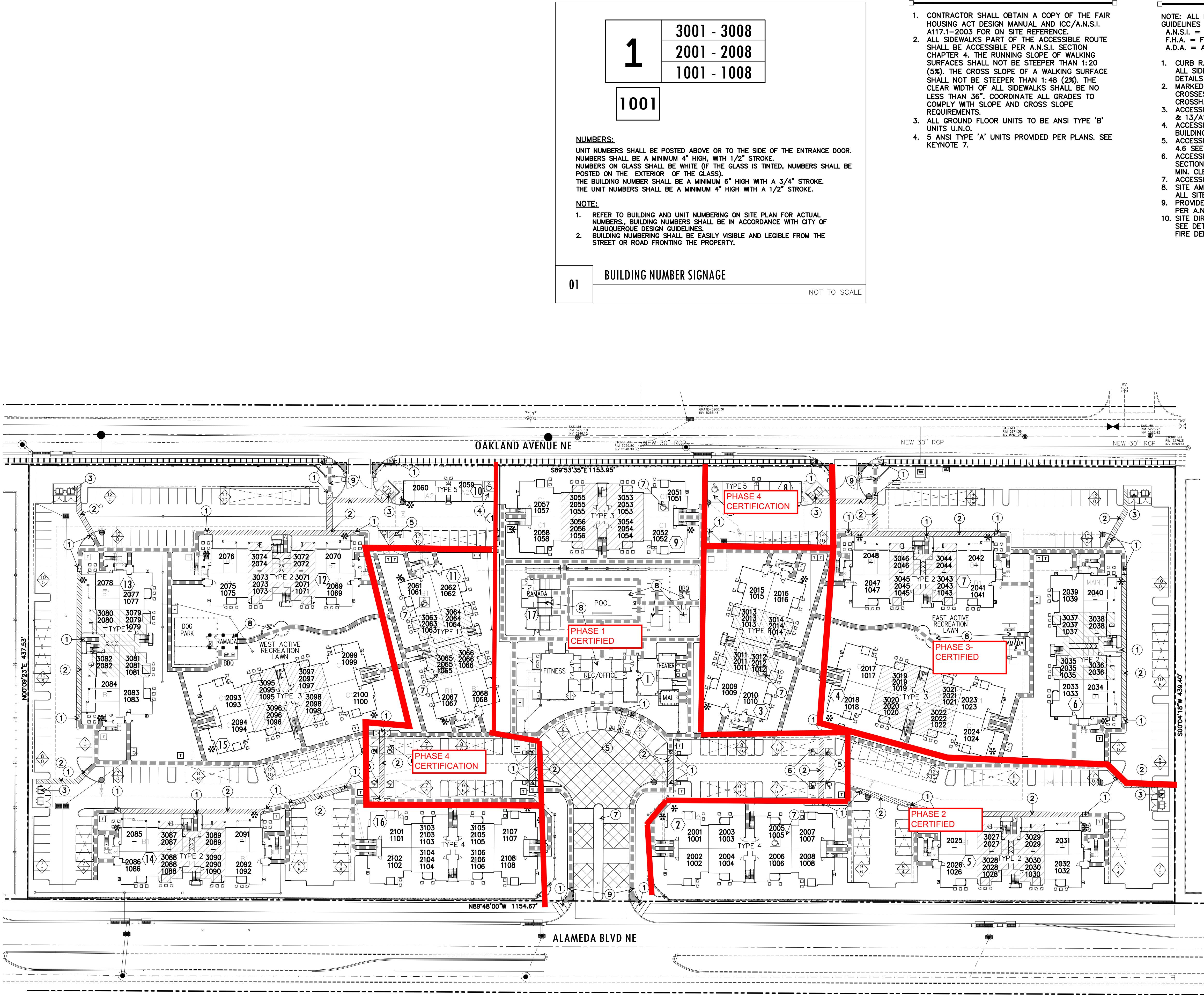
Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

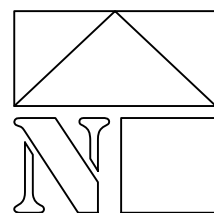


FILE: F:\06\ORB Job Files\15-218 -LH Legacy NAA\CAD Files\Construction Documents\15xxx 1st Submittal\15218 A130 Access & Address Site Plan.dwg USER: jps DATE: Aug, 01 2016 TIME: 12:33 pm



ACCESSIBILITY & ADDRESS - SITE PLAN

10' 11' 125' 150' 100'  
SCALE: 1" = 50'-0"

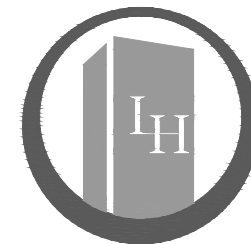


LEGACY NAA  
APARTMENTS

SAN PEDRO AND ALAMEDA  
Albuquerque, New Mexico



WorldHQ@ORBArch.com



LEGACY HOSPITALITY

Contractor must verify all dimensions at project before proceeding with this work.

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REVISIONS

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1ST. CITY SUBMITTAL

DATE: AUGUST 01, 2016 ORB # 15-218

A1.30

ACCESSIBILITY & ADDRESS  
SITE PLAN



# **RIO GRANDE ENGINEERING OF NEW MEXICO, LLC**

## **TRAFFIC CERTIFICATION**

I, DAVID SOULE, NMPE, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/14/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER NMPLS 14271 OF THE CARTESIAN SURVEYSURVTEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/8/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

### *EXCEPTIONS:*

*THIS CERTIFICATION IS FOR 6301 ALAMEDA BUILDING 8 (BP20170016) AND BUILDING 11 (BP20170022) ONLY*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



\_\_\_\_\_  
Signature of Engineer



\_\_\_\_\_  
5/25/18

Date