CITY OF ALBUQUERQUE



May 30, 2018

Rich Barber, R.A. ORB Architects LLC P.O. Box 93924 Albuquerque, NM 87199

Re:

Legacy NNA Apartments, Building #8

6301 Alameda Blvd NE, 87113

Request for Certificate of Occupancy

Transportation Development Final Inspection

Engineer's/Architect's Stamp dated 08-01-16 (C18-D064B)

Certification dated 05-25-18

Dear Mr. Soule

Based upon the information provided in your submittal received 05-22-18, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

 Please remove all construction debris and equipment from site before final CO request.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

Ernie Gomez

Plan Checker, Planning Dept. Development Review Services

EG

via: email

C:

CO Clerk, File

ACCESSIBILITY NOTES

- 1. CONTRACTOR SHALL OBTAIN A COPY OF THE FAIR HOUSING ACT DESIGN MANUAL AND ICC/A.N.S.I. A117.1-2003 FOR ON SITE REFERENCE.
- 2. ALL SIDEWALKS PART OF THE ACCESSIBLE ROUTE SHALL BE ACCESSIBLE PER A.N.S.I. SECTION CHAPTER 4. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2%). THE CLEAR WIDTH OF ALL SIDEWALKS SHALL BE NO LESS THAN 36". COORDINATE ALL GRADES TO COMPLY WITH SLOPE AND CROSS SLOPE REQUIREMENTS.
- 3. ALL GROUND FLOOR UNITS TO BE ANSI TYPE 'B' UNITS U.N.O.
- 4. 5 ANSI TYPE 'A' UNITS PROVIDED PER PLANS. SEE KEYNOTE 7.

KEY NOTES 1

- NOTE: ALL REFERENCES TO ACCESSIBILITY CODES AND GUIDELINES ARE AS FOLLOWS:

 A.N.S.I. = ICC/ANSI A117.1 (2003)

 F.H.A. = FAIR HOUSING ACT GUIDELINES (1991)
- A.D.A. = AMERICANS WITH DISABILITIES ACT (2010)
- CURB RAMP PER A.N.S.I. SECTION 406 TYPICAL AT ALL SIDEWALK TO PAVING TRANSITIONS. SEE DETAILS 08/A1.20.
 MARKED CROSSING WHERE ACCESSIBLE ROUTE
- CROSSES VEHICULAR WAY TYPICAL. PAINTED CROSSHATCH.

BUILDING PLANS SHEET A3.51.

- 3. ACCESSIBLE REFUSE CONTAINER, SEE DETAILS 07 & 13/A1.20.
- 4. ACCESSIBLE GARAGE SPACE. SEE INDIVIDUAL
- 5. ACCESSIBLE PARKING SPACE PER A.N.S.I. SECTION 4.6 SEE DETAIL 05/A1.20.
 6. ACCESSIBLE COVERED PARKING SPACE PER A.N.S.I.
- SECTION 4.6 SEE DETAIL 06/A1.20. PROVIDE 98" MIN. CLEARANCE.
- 7. ACCESSIBLE ANSI TYPE 'A' UNIT.8. SITE AMENITY PROVIDE ACCESSIBLE ROUTE TO
- ALL SITE AMENITIES PER A.N.S.I. SECTION 4.3.

 9. PROVIDE ACCESSIBLE ROUTE TO PUBLIC SIDEWALK
- PER A.N.S.I. SECTION 4.3.

 10. SITE DIRECTORY MAP AND GATE CONTROL BOX. SEE DETAIL 17/A1.21, PROVIDE KNOX BOX FOR FIRE DEPARTMENT ACCESS.

LEGEND

— -- — PROPERTY LINE

BUILDING NUMBER

TYPE 2 BUILDING TYPE

No. OF PARKING

No. OF PARKING SPACES
No. OF COVERED SPACES

ACCESSIBLE PARKING AND
ANSI TYPE 'A' DWELLING UNIT

FIRE HYDRANT

DENOTES ACCESSIBLE ROUTE

DENOTES BUILDING NUMBER SIGN
LOCATION SEE DETAIL 01/A1.30.
COORDINATE FINAL LOCATION WITH FIRE
DEPARTMENT.



SAN PEDRO AND ALAMEDA Albuquerque, New Mexico



World HQ @ ORBArch.com





ontractor must verify all dimensions a roject before proceeding with this world

without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

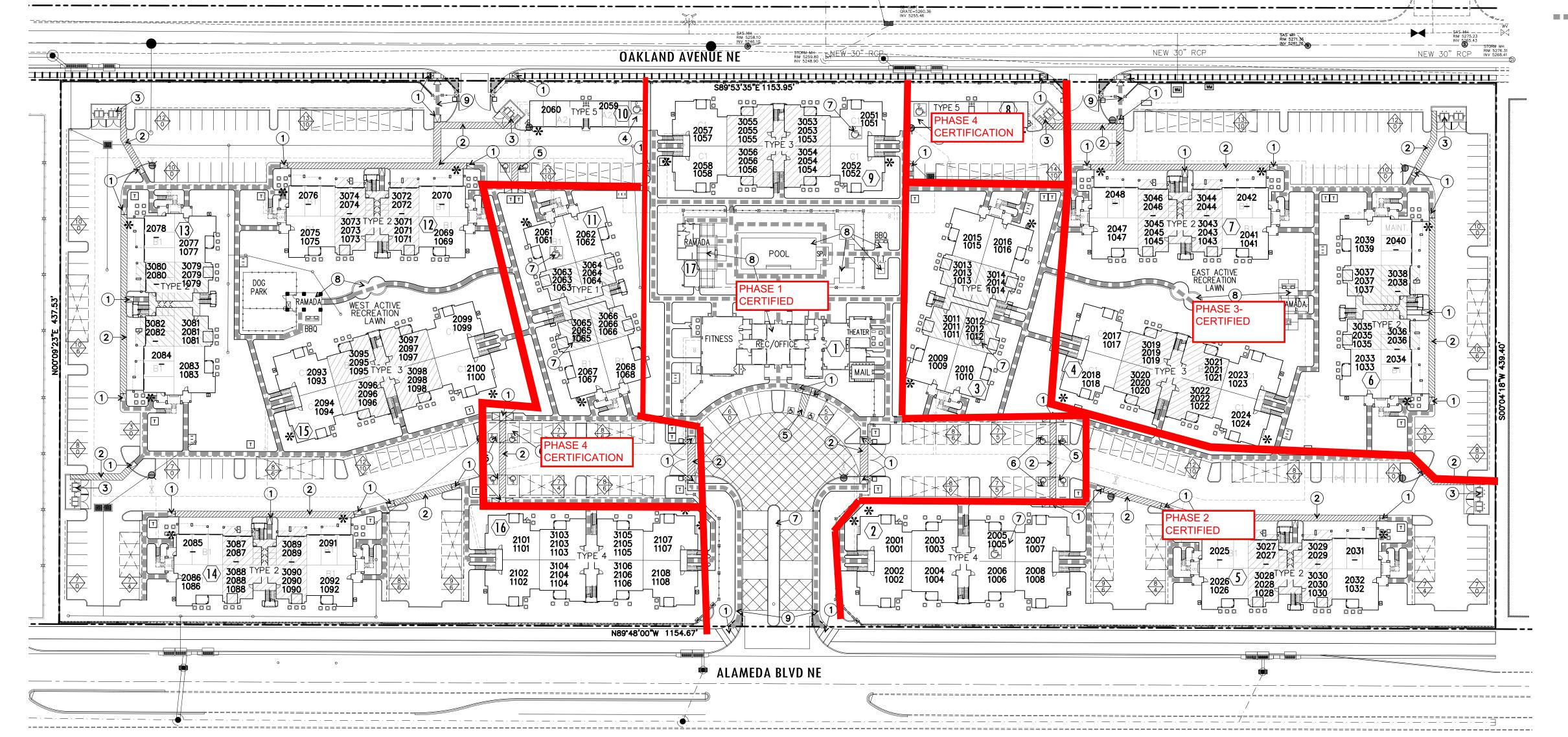
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TE: AUGUST 01, 2016 OR

1ST. CITY SUBMITTAL

V130

ACCESSIBILITY & ADDRESS SITE PLAN





RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

TRAFFIC CERTIFICATION

I, DAVID SOULE, NMPE, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/14/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER NMPLS 14271 OF THE CARTESIAN SURVEYSURVTEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/8/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS:

THIS CERTIFICATION IS FOR 6301 ALAMEDA BUILDING 8 (BP20170016) AND BUILDING 11 (BP20170022) ONLY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

POFESSION!

Signature of Engineer

DW Sul

5/25/18

Date