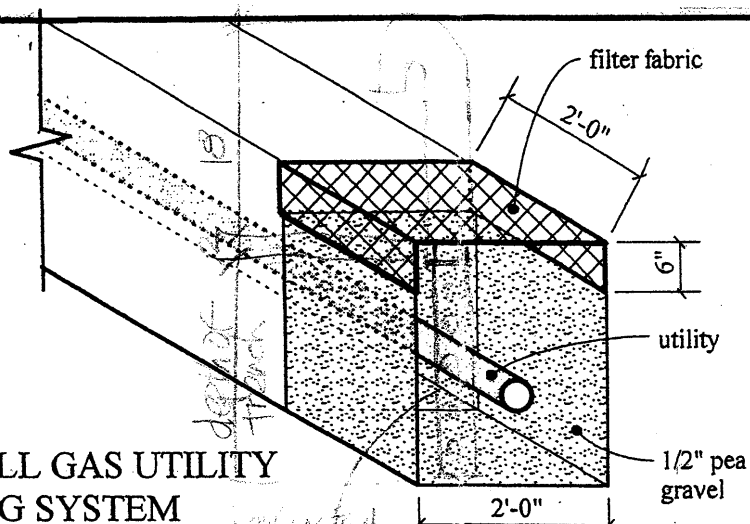


At every pea gravel venting area, install a 4" diameter perforated PVC pipe. 2" below grade the PVC perforated pipe will transition to a galvanized pipe. The galvanized pipe will extend 18" above grade. The top of the galvanized pipe will terminate with a "candy cane" end which turns down. All vents will be located in landscaped areas only.

San Pedro Blvd

LANDFILL GAS UTILITY VENTING SYSTEM



TYPICAL SLAB DETAIL AND SLAB PENETRATION

SD 60"

W 8"

S 8"

SD 60"

W 8"

S 8"

SD 60"

W 8"

S 8"

SD 60"

W 8"

S 8"

SD 60"

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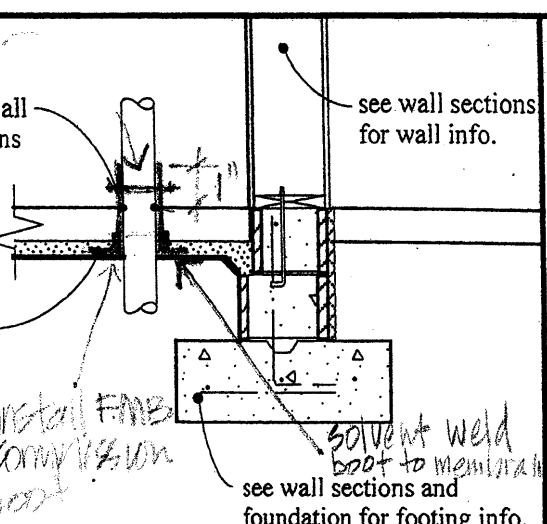
SD 60"

W 8"

S 8"

SD 60"

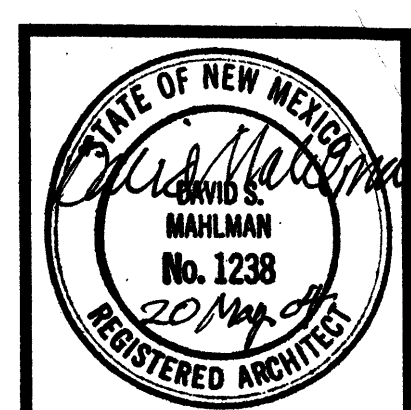
W 8"



ENVIRONMENTAL GENERAL NOTE:
1. Slab penetration: All utility conduit penetrations thru the concrete slab will be sealed with a sikaflex caulk.
2. Utility trench venting: Utility trench venting will consist of a 2' x 2' x 2' deep pea gravel section occurring every 50' throughout all utility trenches. The pea gravel area will be covered with filter fabric and back covered.

ENVIRONMENTAL HEALTH NOTE:
The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the "Interim Guidelines for Development within 1000 feet of landfills") shall be consulted prior to development on the site.

KEYED NOTES
1. Existing water meter box to remain.
2. Existing driveway access to be removed. Repair curb and gutter and sidewalk to match existing.
3. Existing sidewalk to remain.
4. Modify existing storm drain sewer, see AS-3 drainage and grading plan.
5. Existing guy line support for power pole to remain.
6. Existing power pole to remain.
7. Modify existing inlet to storm drain, see drainage and grading plan.
8. New driveway access per City Standard Drawings dwg. 2415 and dwg. 2425.
9. Existing billboard sign to be removed by others (NIC).
10. Existing fire hydrant to remain.
11. New pole mounted internally illuminated shopping center type sign with changeable lexan tenant signs, see details 3/AS-4. Sign design, sign installation, and sign base by sign manufacturers. Contractor provide electrical stub-up only. See sign elevations AS-4 and electrical.
12. Monument sign mounted internally illuminated shopping center type sign with changeable lexan tenant signs, see details 2/AS-4. Sign design, sign installation, and sign base by separate contract (NIC). Contractor provide electrical stub-up only. See sign elevations AS-4 and electrical.
13. Property line.
14. New landscaped area, see landscape plan.
15. Handicapped parking space.
16. Handicapped accessible clear space.
17. 6" high concrete curb.
18. Clearance sign, see detail 1/AS-5. Sign design, sign installation, and sign base by separate contract (NIC). Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical. Coordinate with Starbuck's construction manager.
19. Valley gutter, see drainage plan.
20. Curb and gutter drainage, see drainage plan.
21. Existing utility pedestal to remain.
22. New retaining wall.
23. Dashed line indicates awning above.
24. Concrete curb stops.
25. New 4" concrete sidewalk and/or patio with turned down edge.
26. 8" x 8" x 16" CMU with cultured stone veneer on exterior side of enclosure, see detail.
27. Dumpster (NIC), see detail.
28. Solid door on trash enclosure with locking steel door.
29. Sidewalk access per city standard drawing.
30. Match width and height of new sidewalk to existing sidewalk.
31. Remove portion of existing sidewalk shown by a dashed line. Saw cut straight line along existing sidewalk to remain.
32. New 2" asphalt on 6" state highway sub-base. Compact sub-base to 95%. Scarify 6" deep of existing grade and compact to 95%.
33. Menu board, see detail 3/AS-5 similar. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical. Coordinate with Starbuck's construction manager.
34. Speaker post. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical. Coordinate with Starbuck's construction manager.
35. Existing fire hydrant lines to remain.
36. Existing manhole to remain.
37. New retaining wall, see section on A-7.
38. 4" integral color concrete sidewalk with tooled joints as shown on drawing. Color to be selected by Architect.
39. Remove existing curb in areas indicated on sheet. Patch and repair street and gutter.
40. Asphalt and concrete sidewalk to be same elevation, see drainage and grading plan.
41. Existing curb and gutter to remain.
42. Existing billboard sign to remain.
43. Exterior pole lighting.
44. Irrigation controls.
45. Electrical panels.
46. Required setback.
47. Directional "drive-thru" sign. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical.
48. Directional "exit only" sign. Sign and sign installation by others. Contractor to provide sign base and electrical stub-up. See sign elevations AS-5 and electrical.
49. Clear area for trash enclosure.
50. (3) 4.5" O.D. schedule 40 steel pipe frame with 1 5/8" O.D. schedule locking loops. Surface mount flange. Paint black. Similar to Bollard Bike Rack - CPBR by Creative Pipe, Inc. 1-800-644-8467.
51. 6" thick concrete paving.
52. New fire hydrant top to existing line in Holly.

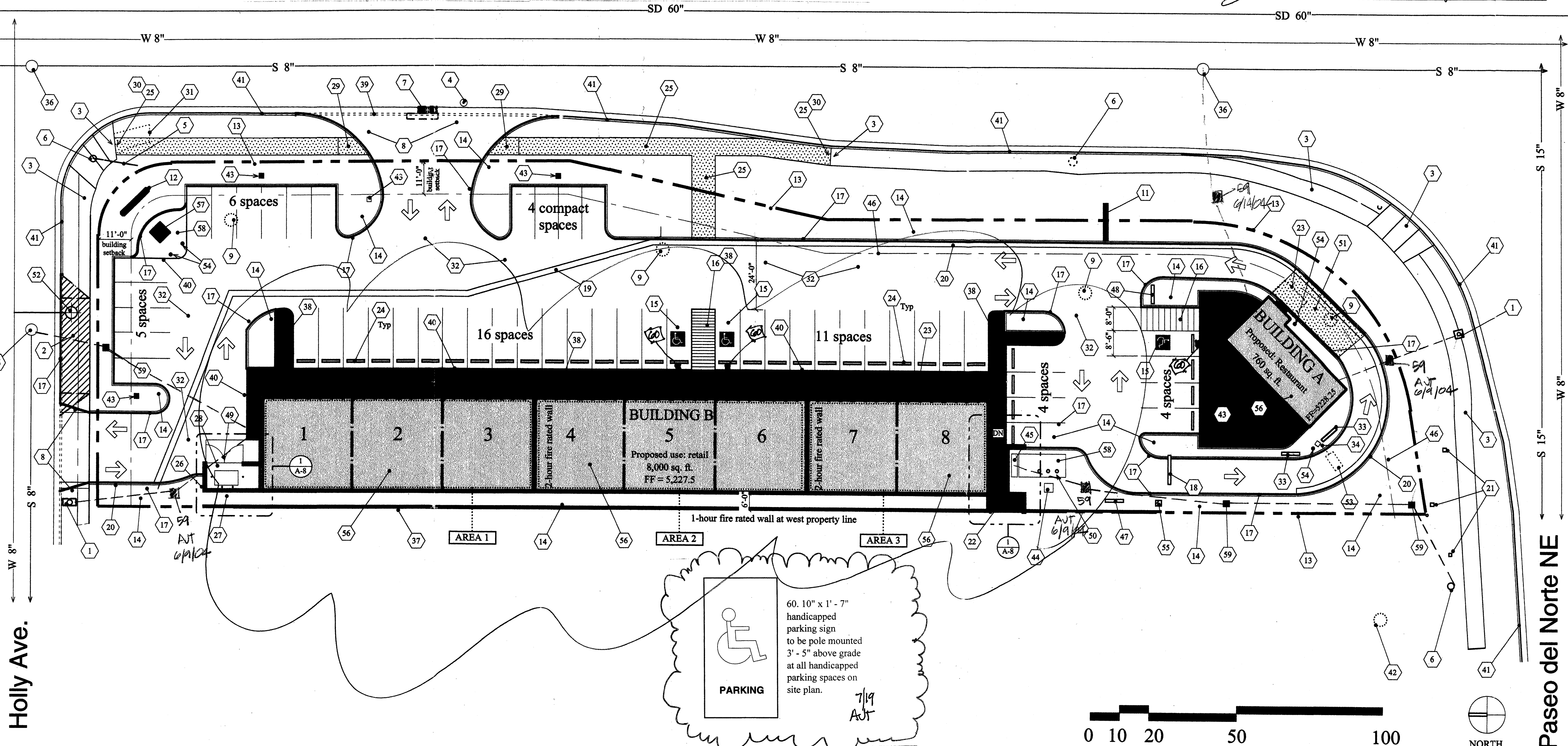


SITE SURVEY, PROJECT INFORMATION AND UTILITIES

THE SHOPS ON SEDONA ROW
8101 SAN PEDRO NE - ALBUQUERQUE, NM
STERLING CAPITAL DEVELOPMENT
2004

MAHLMAN & MILES ARCHITECTS
206 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102 / 505-245-0101

AS-1

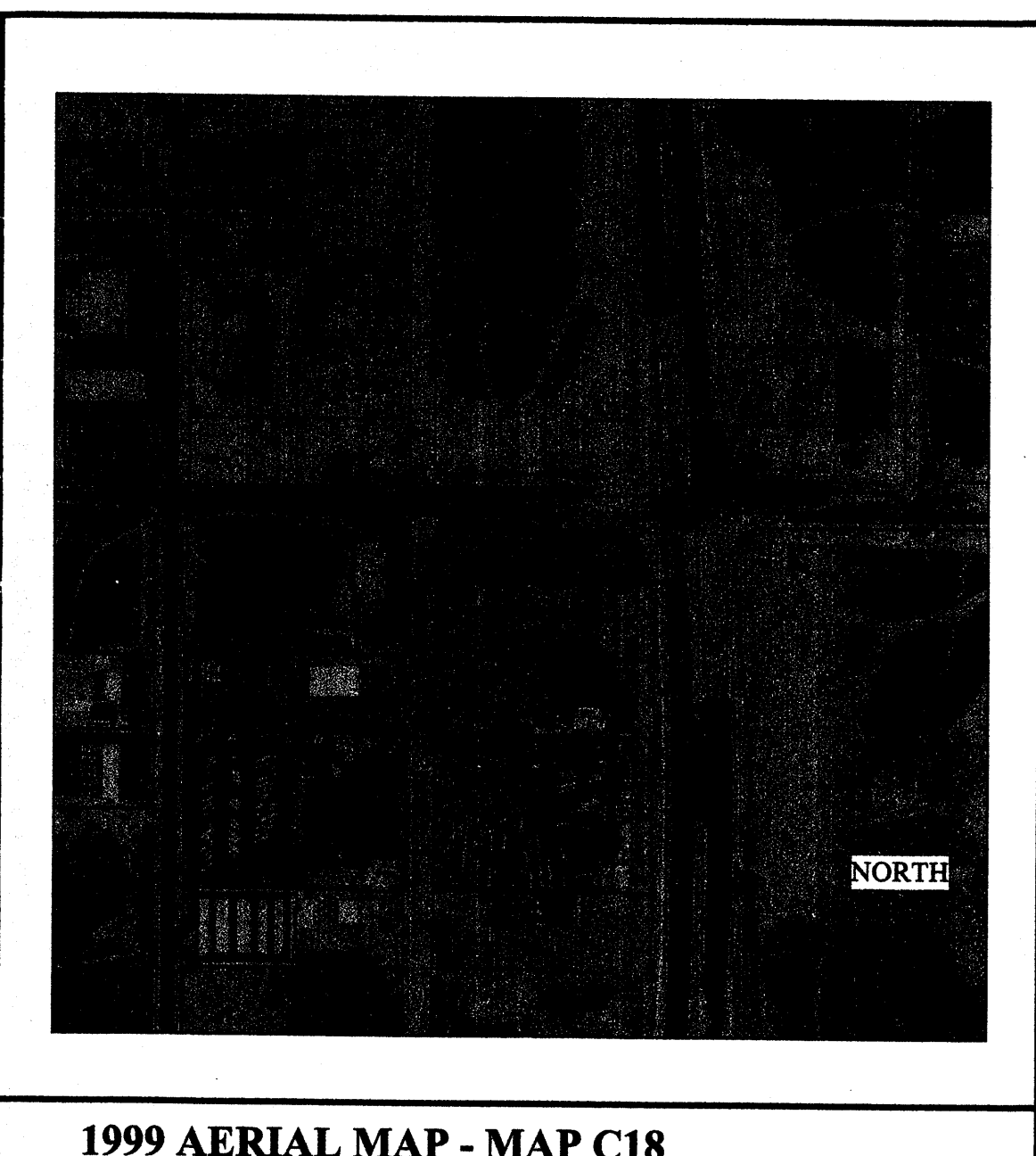
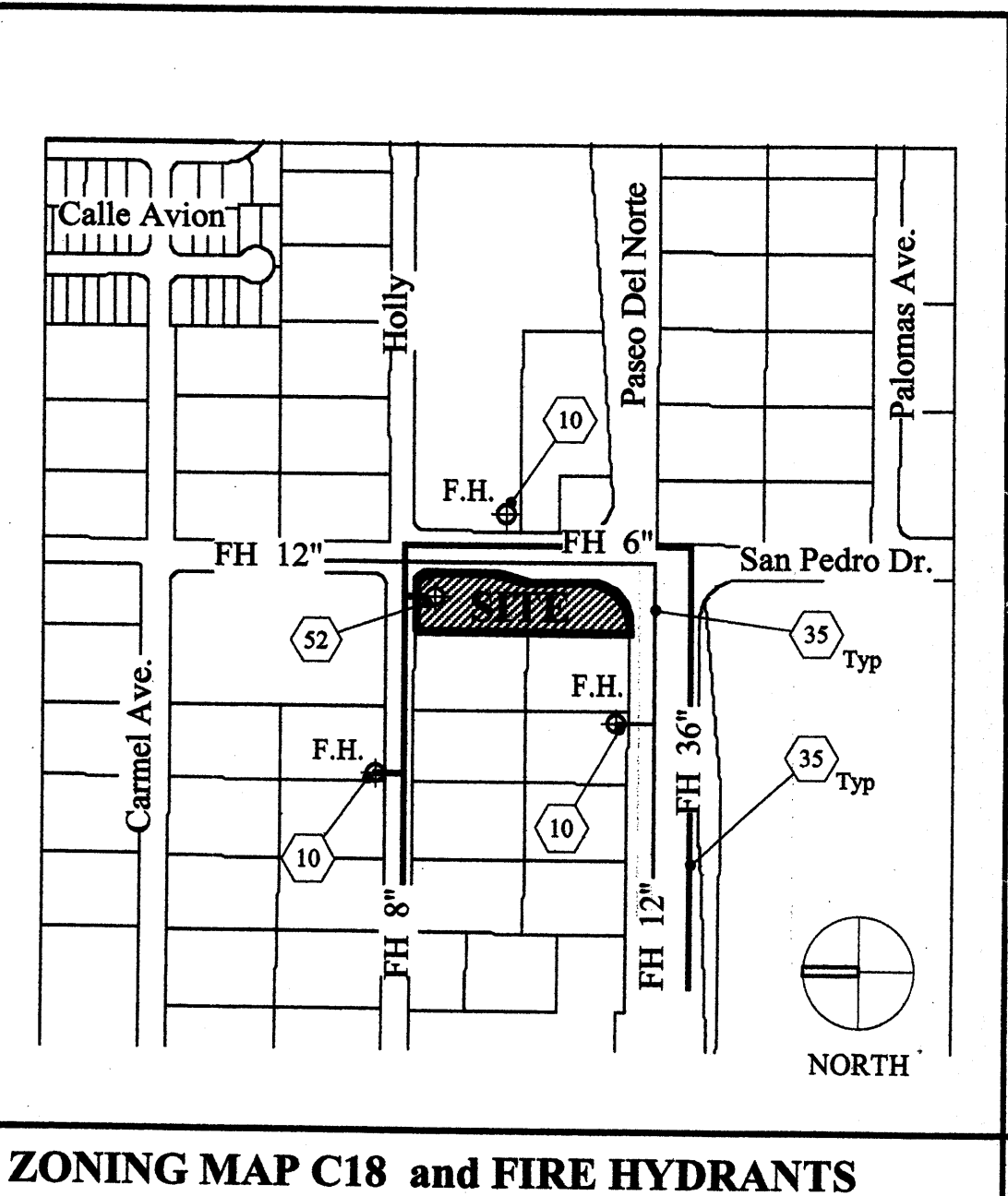


SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Water Line	W
Sewer Line	S
Storm Drain	SD
Fire Hydrant Line	FH
Integral Color Concrete	
New Concrete Sidewalk	
Building Area	

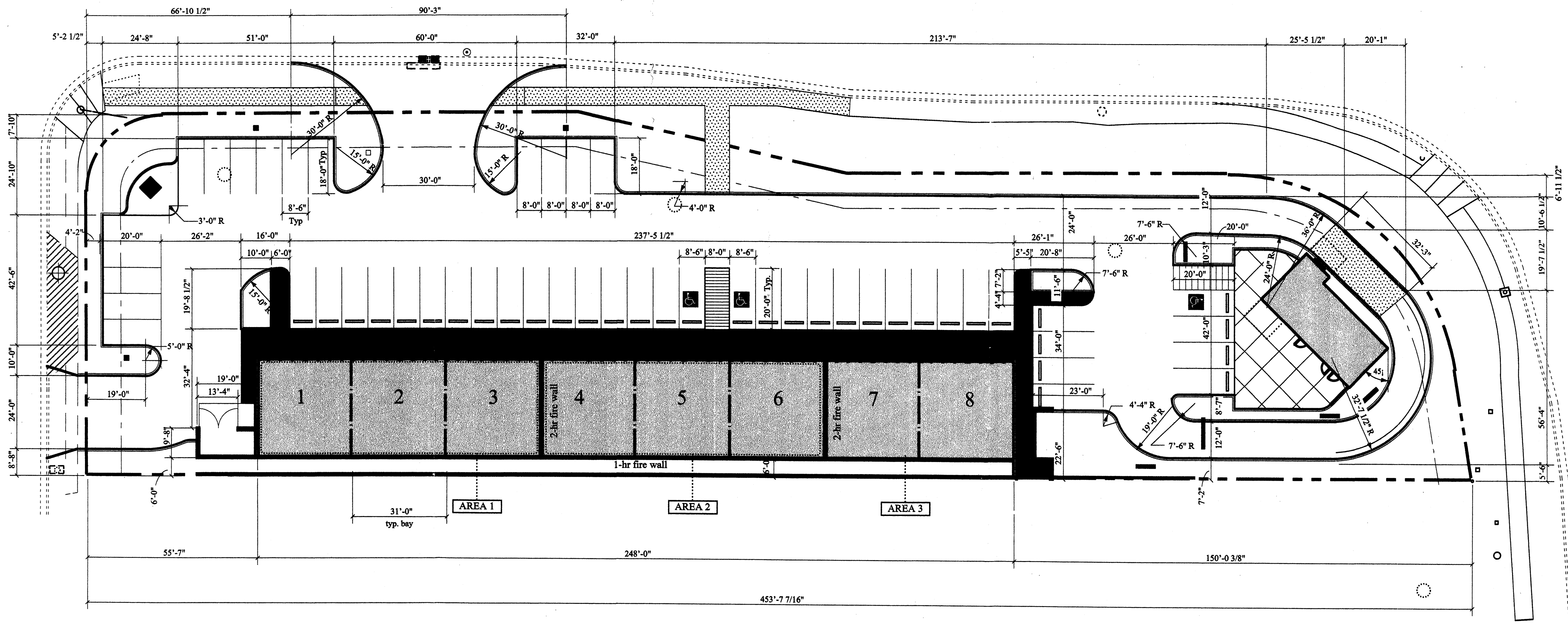
Retail Parking: 8,000 GSF / 200 = 40 spaces
Restaurant Parking: 28 seats/4 = 7 spaces
Total Parking Required: 47 spaces
Total Parking Provided: 50 spaces (4 compacts spaces and 46 standard spaces)

Address: 8101 San Pedro NE, Albuquerque, NM
Project Description: New shell construction of two commercial buildings and related utilities. New construction of parking lot, sidewalks, landscape, and signage.
SHELL ONLY. TENANT IMPROVEMENTS AND PARTITION WALLS WILL BE SUBMITTED UNDER A SEPARATE PERMIT.
Property zoned: SU - 2; M - 1
Codes: Uniform Building Code, 1997 Edition
Construction Type: V-N
Zoning Map: C18
Building A: +/- 760 sq. ft.
Building B: +/- 8,000 sq. ft.



53. Drive-thru vehicle detection loop. Loop to be provided by Tenant and installed by Contractor. Contact Starbuck's construction manager for coordination.
54. Bollard, see floor plan.
55. Contractor to provide conduit for future entry portal. Cap conduit 1" above grade. Coordinate exact location with Starbuck's construction manager.
56. 10 mil. continuous polyethylene film to be installed under all building floor slabs. The polyethylene film should be attached to the stem wall with an appropriate mastic, see wall sections and floor plan.
57. ATM machine. Contractor to provide telephone line and electrical connection, coordinate with electrical.
58. 4" concrete slab, reinforced with 6 x 6 WW mesh.
59. Utility trench venting will consist of a 2' x 2' x 2' deep pea gravel section occurring every 50' throughout all utility trenches. The pea gravel area will be covered with filter fabric and back covered. Possible locations are located on the site plan, but Contractor will modify location according to requirements in the field.
At every pea gravel venting area, install a 4" diameter perforated PVC pipe. 2" below grade the PVC perforated pipe will transition to a galvanized pipe. The galvanized pipe will extend 18" above grade. The top of the galvanized pipe will terminate with a "candy cane" end which turns down. All vents will be located in landscaped areas only.
60. See bubbled diagram on this sheet. 7/19

KEYED NOTES - continued



Energy Calculations for Sedona Row Building A 4959 Pan American Freeway NE by Mahlman & Miles, Architects			
JOB NAME Sedona Building A	BLDG STORIES	1	
JOB NUMBER	WALL LBS/SF	20	
LOCATION ALBUQUERQUE			
CLIENT Mahlman & Miles			
DESIGN CONDITIONS			
OUTSIDE CONDITIONS	84 F DB	16 F DB	
INSIDE CONDITIONS	78 F DB	70 F DB	
HEATING DEGREE DAYS	4348		
DEGREES LATITUDE	35		
GLASS SOLAR FACT	124		
SKYLT SOLAR FACT	138		
WINTER CONDITIONS - UO CALCULATIONS			
DESCRIPTION	U VALUE	AREA	UA BLDG UA CODE UO BLDG UO CODE
WALL	0.08	1118	89.4
GLASS	0.56	111	62.2
DOOR 1	0.5	0	0 (all doors are glass - sq. ft. include w/ glass)
DOOR 2	0.07	0	0
SUB-TOTAL		1227	151.6
ROOF	0.04	7938	317.4
SKYLIGHT	0.65	0	0
SUB-TOTAL		7938	317.4
TOTAL ENVELOP UO	9163	435.4	1083.0
			0.048 0.118

Energy Calculations for Sedona Row Building B 4959 Pan American Freeway NE by Mahlman & Miles, Architects			
JOB NAME Sedona Building B	BLDG STORIES	1	
JOB NUMBER	WALL LBS/SF	20	
LOCATION ALBUQUERQUE			
CLIENT Mahlman & Miles			
DESIGN CONDITIONS			
OUTSIDE CONDITIONS	84 F DB	16 F DB	
INSIDE CONDITIONS	78 F DB	70 F DB	
HEATING DEGREE DAYS	4348		
DEGREES LATITUDE	35		
GLASS SOLAR FACT	124		
SKYLT SOLAR FACT	138		
WINTER CONDITIONS - UO CALCULATIONS			
DESCRIPTION	U VALUE	AREA	UA BLDG UA CODE UO BLDG UO CODE
WALL	0.08	3588	287.0
GLASS	0.56	480	268.8
DOOR 1	0.5	0	0 (all doors are glass - sq. ft. include w/ glass)
DOOR 2	0.07	0	0
SUB-TOTAL		4068	555.8
ROOF	0.04	7938	317.4
SKYLIGHT	0.65	0	0
SUB-TOTAL		7938	317.4
TOTAL ENVELOP UO	12002	785.5	1954.6
			0.064 0.163

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

1" = 20'-0"

Code Analysis - Building B					
ALLOWABLE FLOOR AREAS, OCCUPANCY & OCCUPANT LOADS					
NO.	ROOM NAME	OCCUPANCY	FLOOR AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
BUILDING B					
Unit 1		A-3	1,100	30	37
Unit 2		M	1,100	50	23
Unit 3		M	1,100	50	23
AREA 1 - TOTAL FLOOR AREA			3,300		
Unit 4		M	1,100	50	23
Unit 5		M	1,100	50	23
Unit 6		M	1,100	50	23
AREA 2 - TOTAL FLOOR AREA			3,300		
Unit 7		M	1,100	50	23
Unit 8		A-3	1,100	30	37
AREA 3 - TOTAL FLOOR AREA			2,200		
BUILDING B - INTERIOR FLOOR AREA			8,800	square feet	< the allowable limit
BUILDING B - EXTERIOR AWNING FLOOR AREA			1,987	square feet	
BUILDING B - TOTAL INTERIOR AND EXTERIOR FLOOR AREA			10,787	square feet	
NOTE: 2-hr fire wall between unit 3 and unit 4. **					
NOTE: 2-hr fire wall between unit 6 and unit 7. **					
NOTE: 1-hr fire wall along entire west wall.					
ALLOWABLE SQUARE FOOTAGE FOR V-N 1-HOUR CONSTRUCTION					
BUILDING A - Restaurant			11600 *		
BUILDING B - Retail			11600 *		

CODE ANALYSIS - BUILDING B

Code Analysis - Building A					
ALLOWABLE FLOOR AREAS, OCCUPANCY & OCCUPANT LOADS					
NO.	ROOM NAME	OCCUPANCY	FLOOR AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
BUILDING A					
	Kitchen		438	30	15
	Workroom/Office		148	30	5
	Mens Restroom		56	-	-
	Womens Restroom		56	-	-
	Mechanical Room		32	30	2
BUILDING A - TOTAL OCCUPANT LOAD					22
BUILDING A - INTERIOR FLOOR AREA			730	square feet	< the allowable limit
BUILDING A - EXTERIOR AWNING FLOOR AREA			176	square feet	
BUILDING A - TOTAL INTERIOR AND EXTERIOR FLOOR AREA			906	square feet	
ALLOWABLE SQUARE FOOTAGE FOR V-N 1-HOUR CONSTRUCTION					
BUILDING A - Restaurant			11600 *		
BUILDING B - Retail			11600 *		

NOTE: Includes area increase for three sides

CODE ANALYSIS - BUILDING A

ALBUQUERQUE
BLDG & SAFETY
JUN 16 2004
U.B.C.
PLAN CHECK
SECTION

RECEIVED
AUG 04 2005
HYDROLOGY SECTION

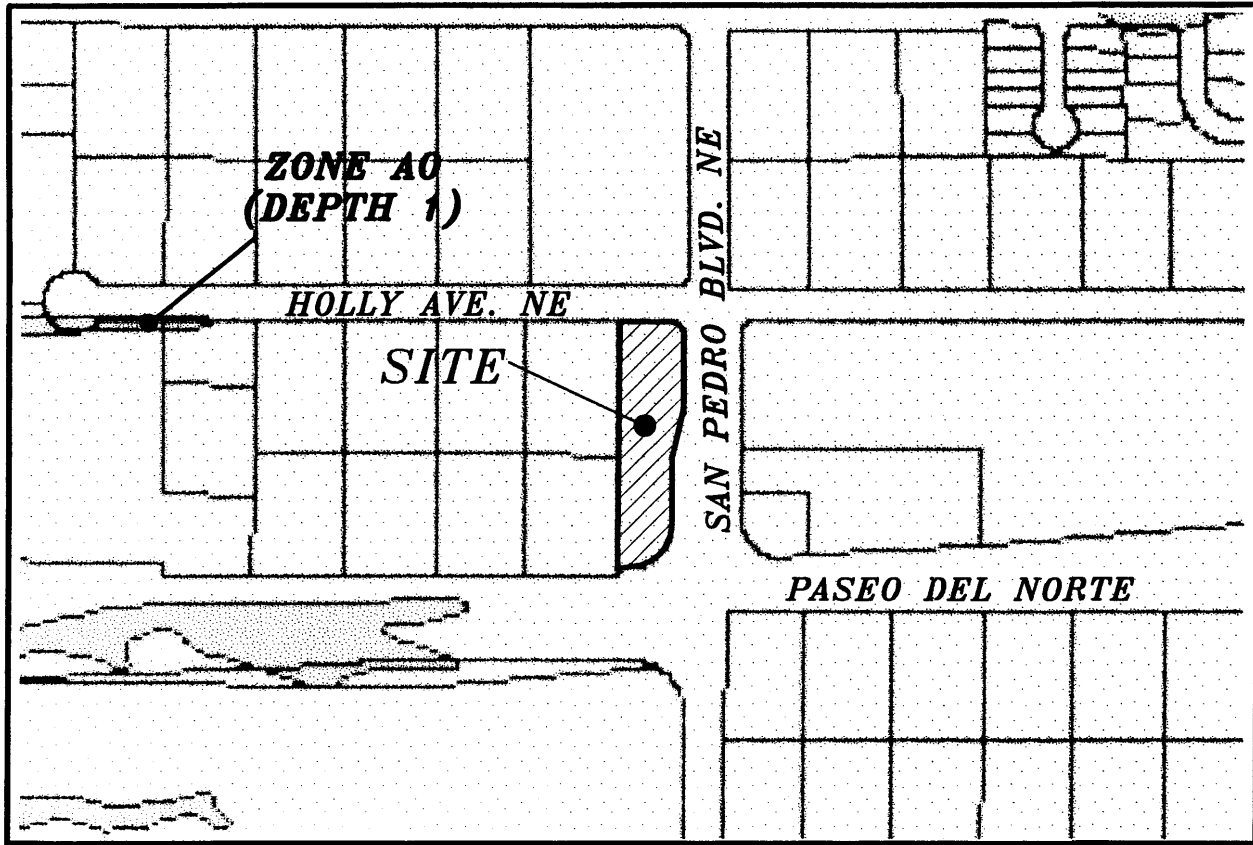
STATE OF NEW MEXICO
DAVID S. MAHLMAN
No. 1238
REGISTERED ARCHITECT

DIMENSION PLAN

THE SHOPS ON SEDONA ROW
8101 SAN PEDRO NE - ALBUQUERQUE, NM
STERLING CAPITAL DEVELOPMENT
APRIL, 2004

MAHLMAN & MILES ARCHITECTS
204 BROADWAY SE
ALBUQUERQUE, NEW MEXICO 87102 / 505-243-0101

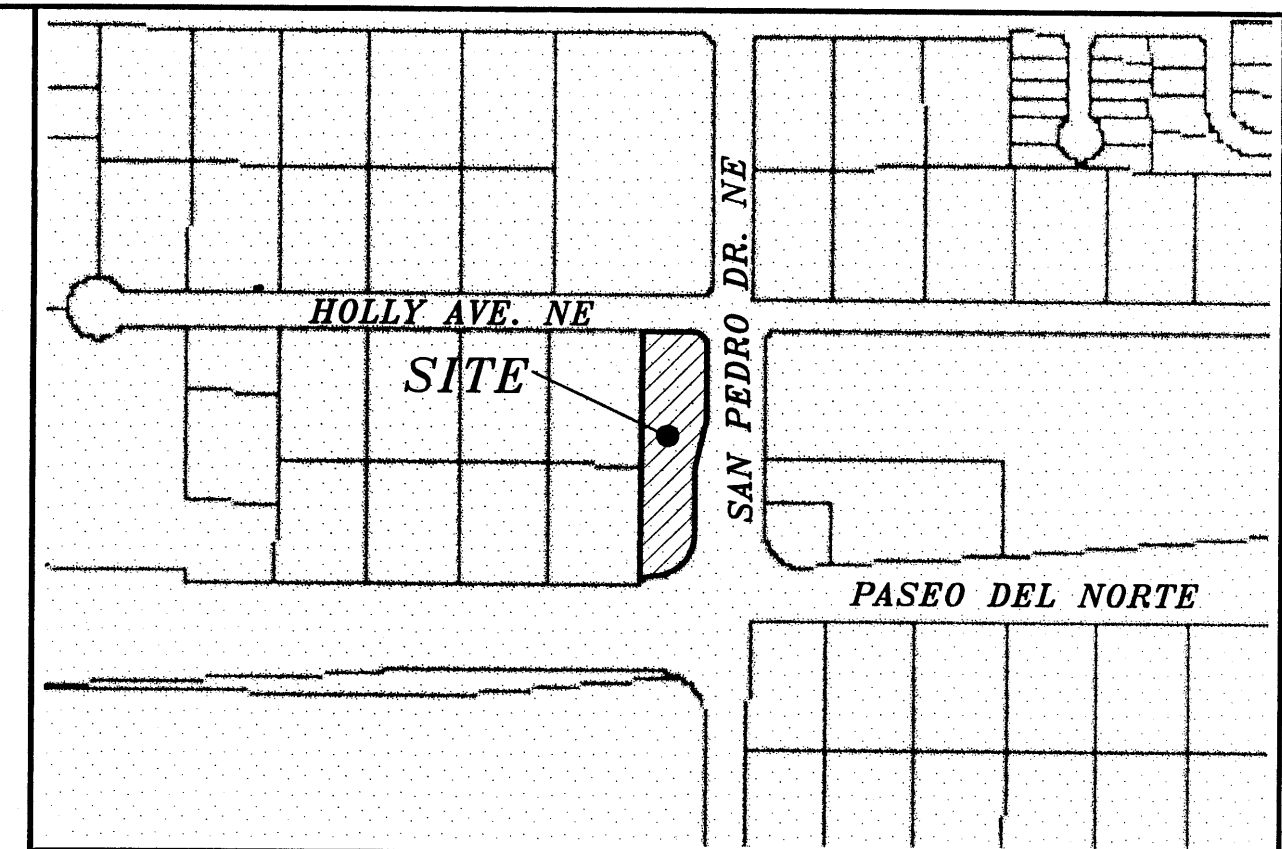
AS-6



FIRM MAP: 35001C0137 D

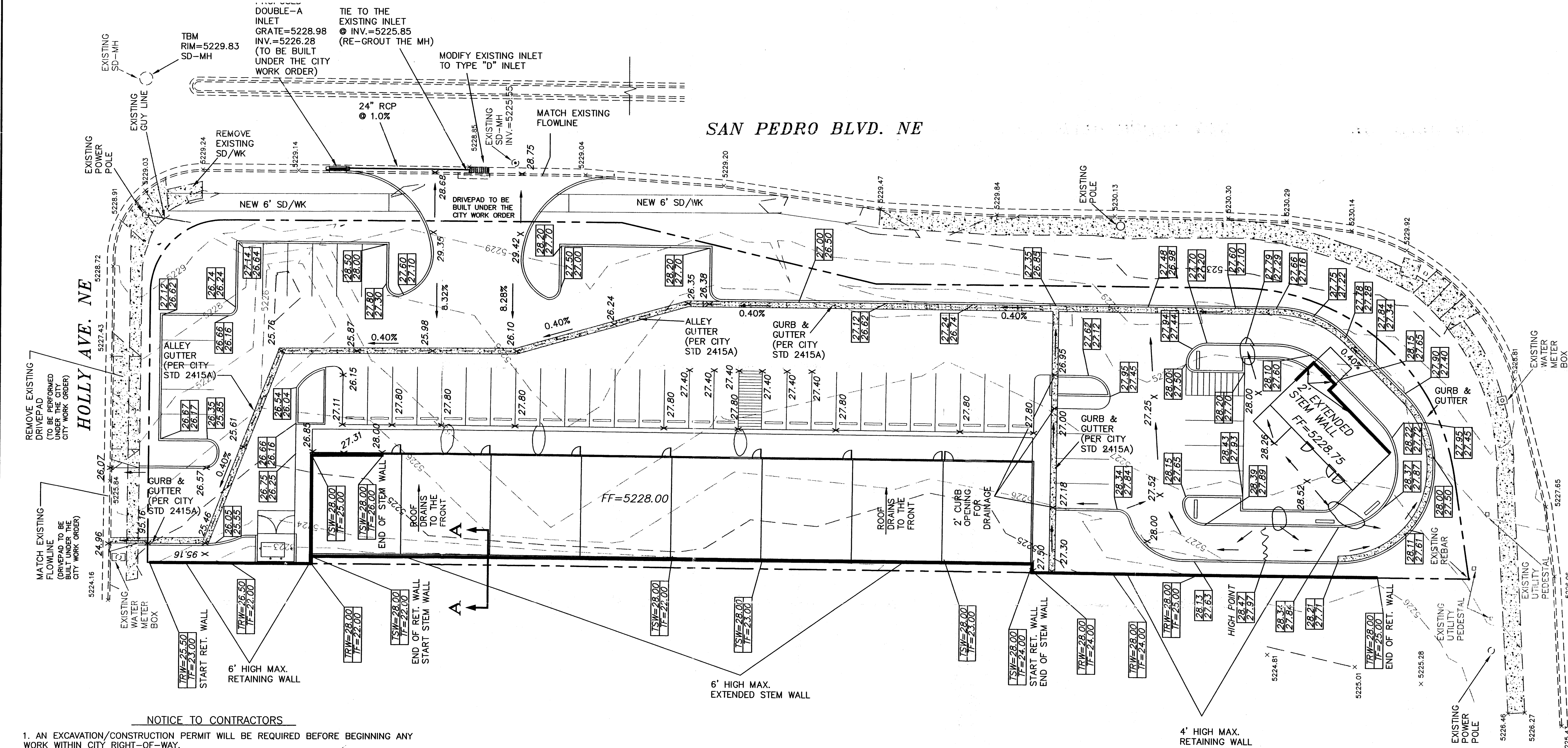
- GENERAL NOTES:
1. ADD 5200 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. CONTOUR INTERVAL IS ONE (1) FOOT.
 3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-17-D18 HAVING AN ELEVATION OF 5236.57 FEET ABOVE SEA LEVEL.
 4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 6. SLOPES ARE AT 3:1 MAXIMUM.
 7. DRIVE PADS AND INLET CONSTRUCTION TO BE DONE UNDER THE CITY WORK ORDER.
 8. ALLEY GUTTER ON-SITE TO BE BUILT BASED ON CITY STD 2415A.

- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



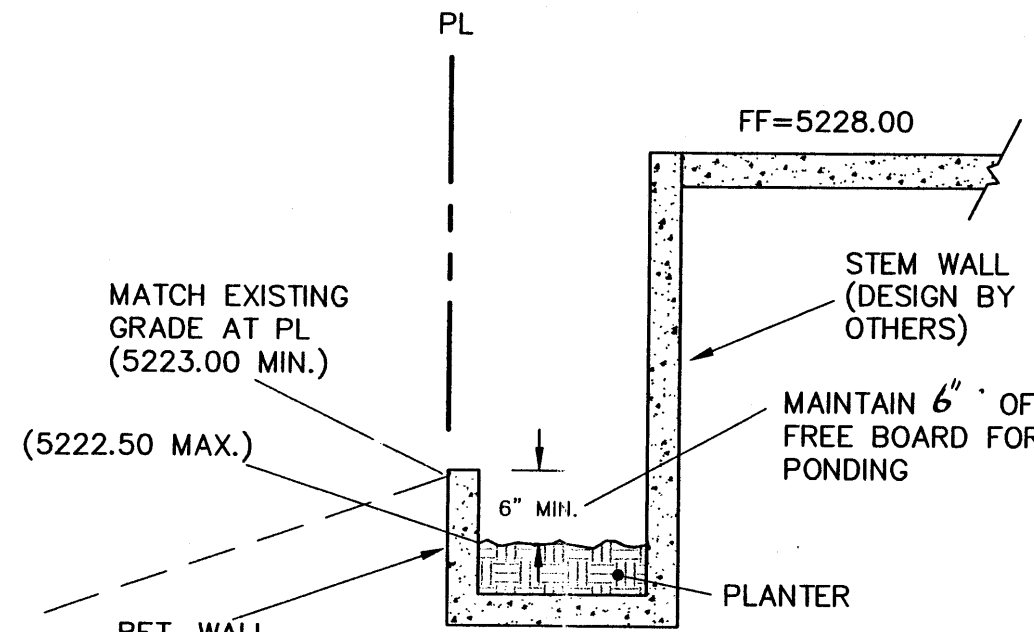
VICINITY MAP: C-18-Z

LEGAL DESCRIPTION:
LOT 16-A, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
CONTAINING ±1.0800 ACRES MORE OR LESS.



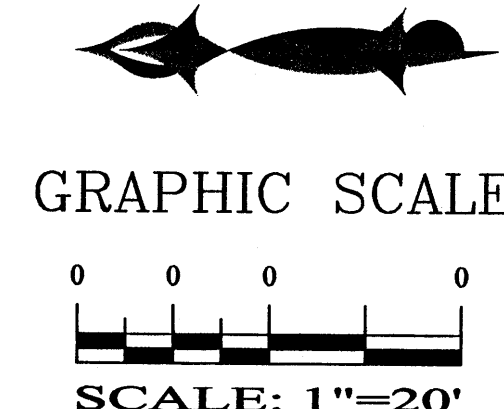
- LEGEND
- EXISTING SAS MANHOLE
 - EXISTING METER
 - EXISTING VALVE W/BOX
 - EXISTING FIRE HYDRANT
 - EXISTING AIR RELEASE VALVE
 - EXISTING REDUCER
 - EX. 8" SAS
 - EX. 16" WL
 - EXISTING CURB & GUTTER
 - EXISTING CURB & GUTTER
 - 5100
 - 5102
 - BOUNDARY LINE
 - EASEMENT
 - LIMITS OF TOP OF EXISTING SLOPE
 - PROPOSED SIDEWALK
 - PROPOSED GRADE
 - PROPOSED SPOT ELEVATION
 - EXISTING GRADE
 - EXISTING POWER LINES
 - PROPOSED RETAINING WALL
 - PROPOSED EXTENDED STEM WALL
 - TOP OF RETAINING WALL
 - TOP OF FOOTING
 - TOP OF EXTENDED STEM WALL
 - TOP OF FOOTING
 - SINGE "A" INLET
 - DOUBLE "A" INLET

- NOTICE TO CONTRACTORS
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
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 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

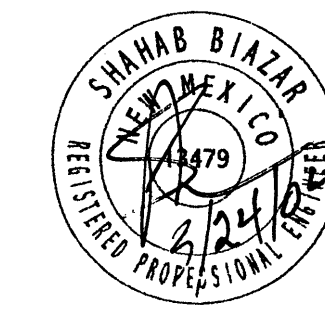


SECTION A-A

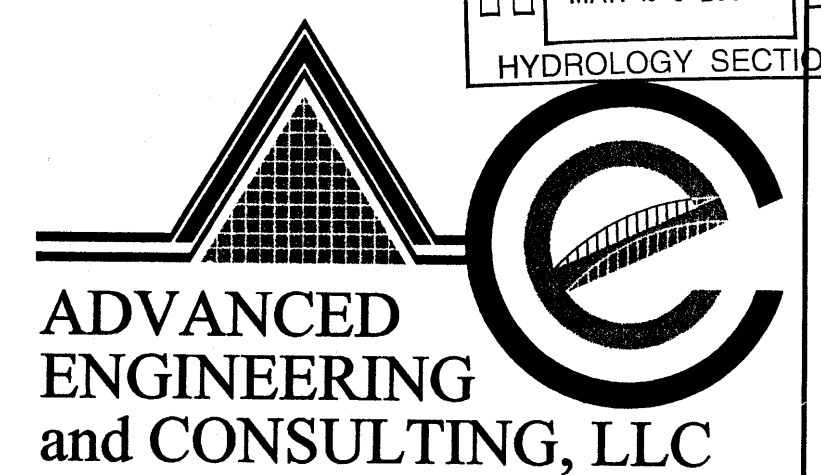
ROUGH GRADING APPROVAL DATE



APPROVALS	NAME	DATE
INSPECTOR		



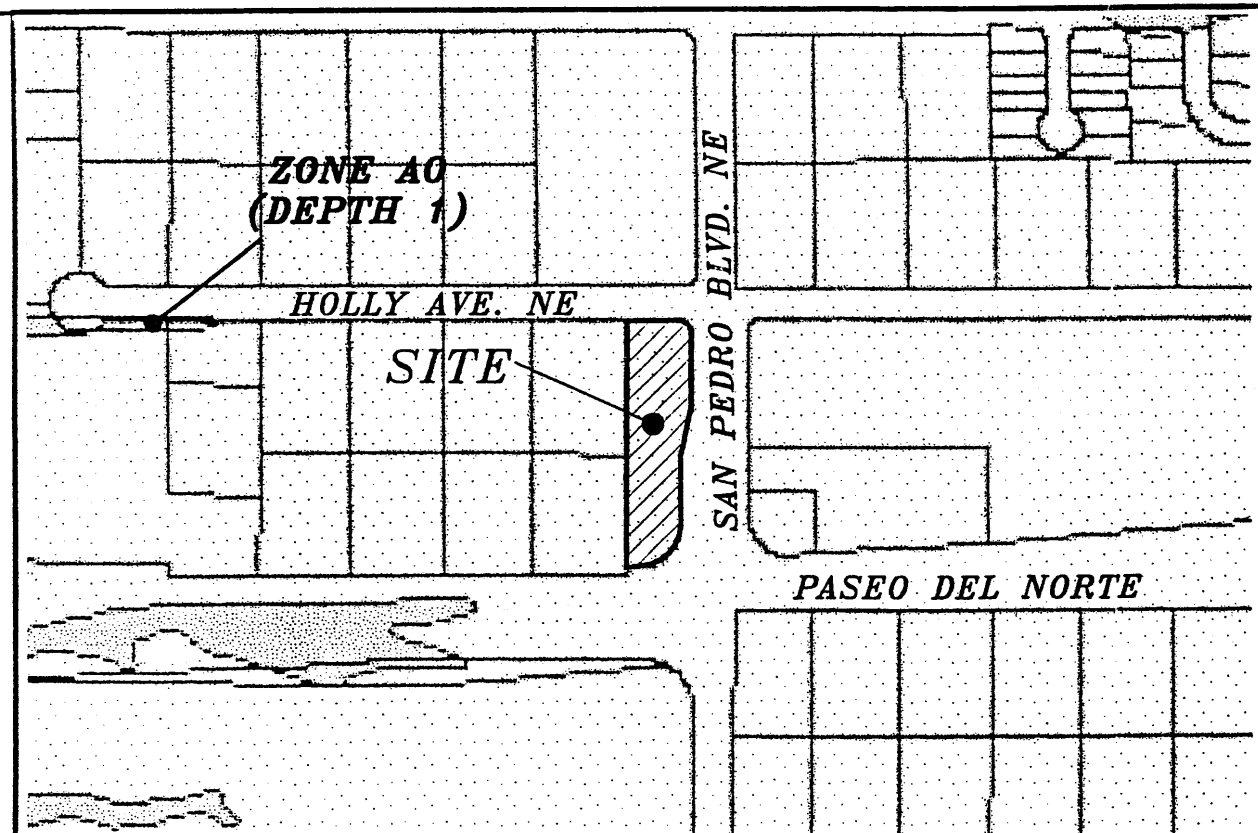
SHAHAB BIAZAR
P.E. #13479



4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 899-5570

LOT 16-A, BLK 18, TR A, UNIT B, NAA
GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200350-GR.DWG	SBB	01-26-2004	1 OF 1



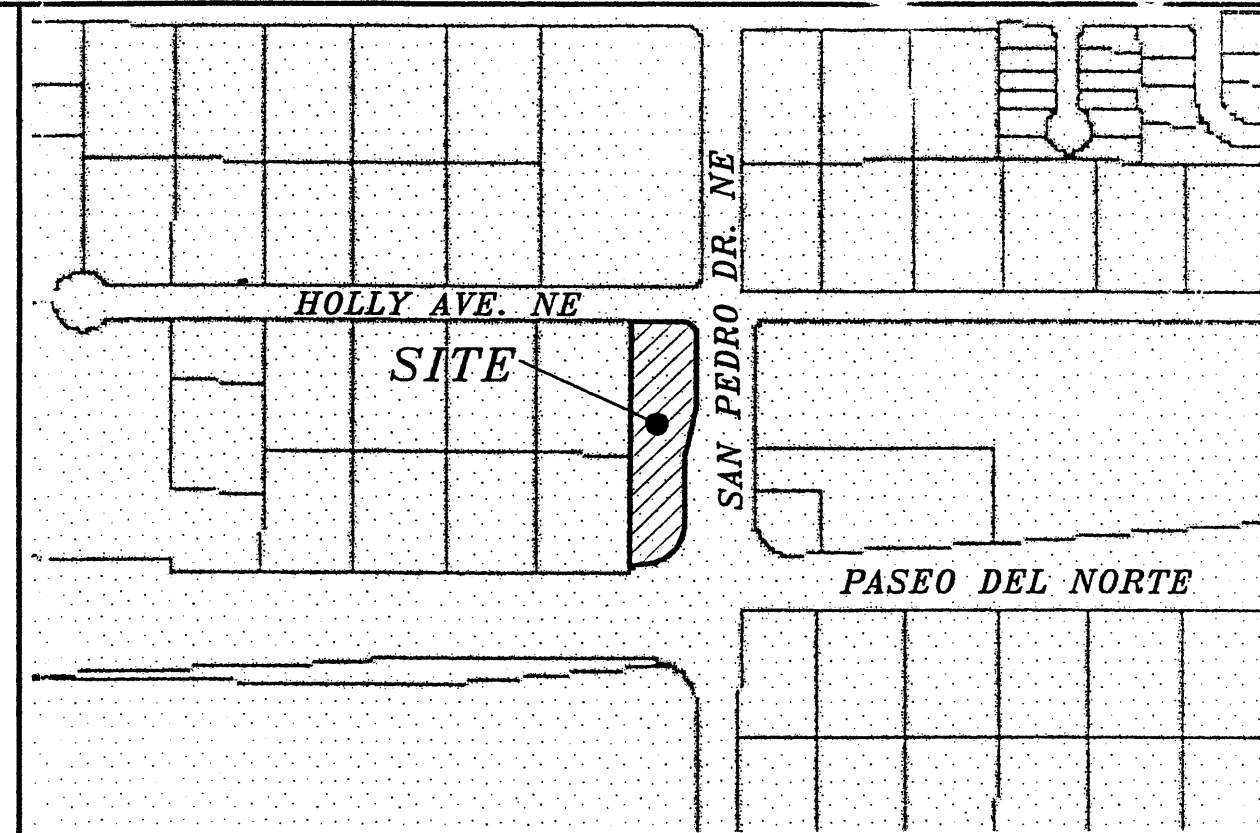
FIRM MAP: 35001C0137 D

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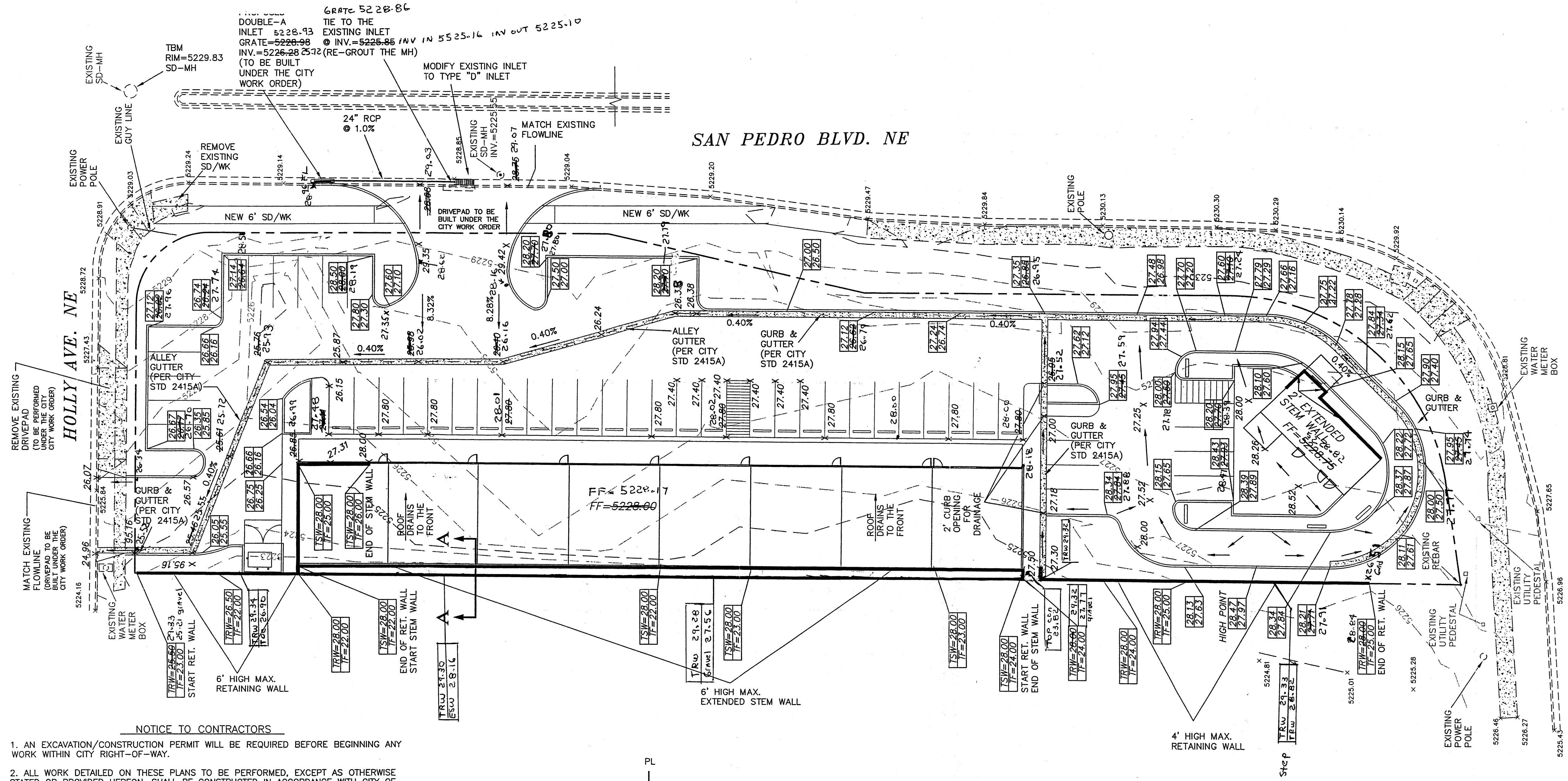


VICINITY MAP: C-18-Z

LEGAL DESCRIPTION:

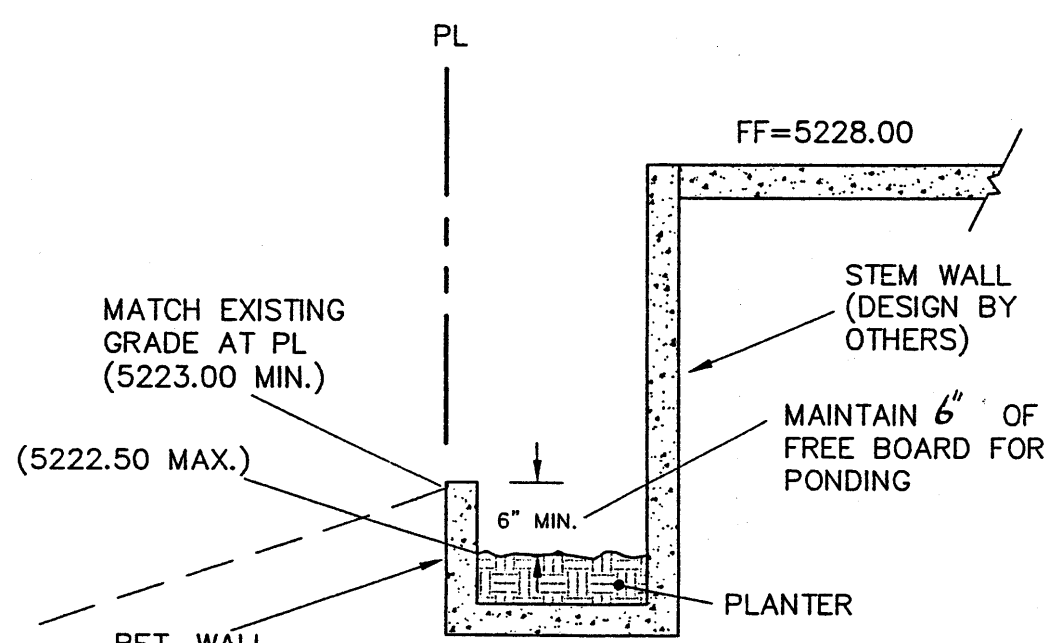
LOT 16-A, BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES CONTAINING ±1.0800 ACRES MORE OR LESS.

SAN PEDRO BLVD. NE



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I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/10/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR *Certification of occupancy.*

(DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH)

(DESCRIBE ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS HERE IN A SEPARATE PARAGRAPH)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

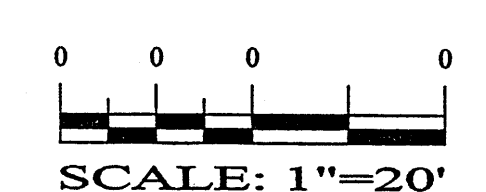
SHAHAB BIAZAR, NMPE #13479

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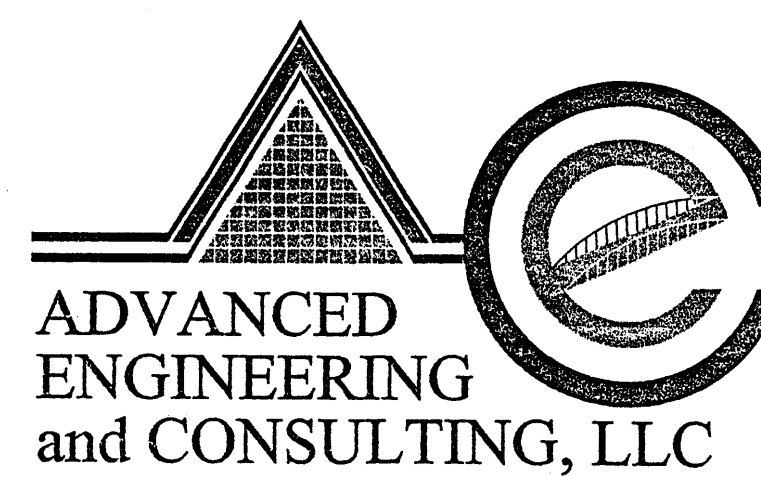
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GRAPHIC SCALE



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GRADING AND DRAINAGE PLAN

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