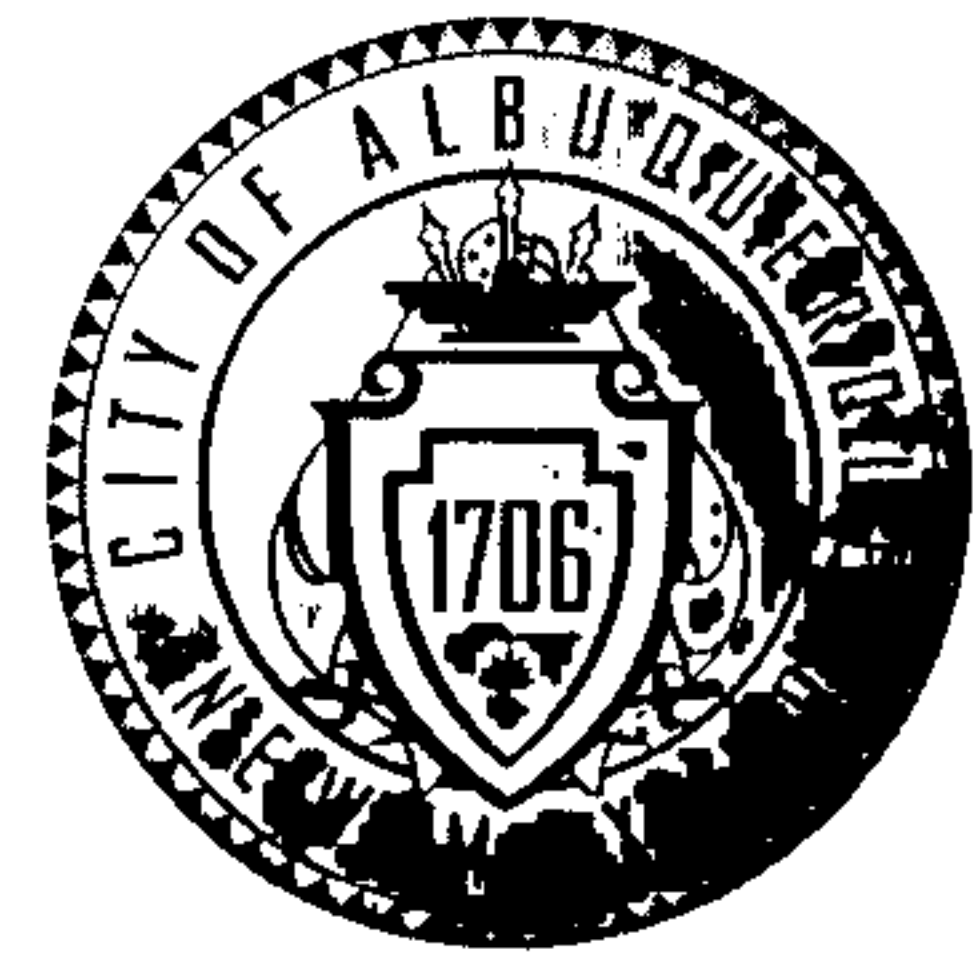


# CITY OF ALBUQUERQUE



May 4, 2012

Santosh B. Moody, P.E.  
**Santosh Mood P.E.**  
7500 Desert Eagle Rd NE  
Albuquerque, NM 87113

[santoshinus@yahoo.com](mailto:santoshinus@yahoo.com)

**Re: Staybridge Suites Meeting Room Addition, 5817 Signal Ave NE,  
Request for Permanent C.O. –Approved  
Engineer's Stamp dated: 05-31-11, (C18/D067)  
Certification dated: 05-01-12**

Dear Mr. Moody,

Based upon the information provided in the Certification received 05-03-12, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: [tsims@cabq.gov](mailto:tsims@cabq.gov).

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,  
Plan Checker—Hydrology Section  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(REV 02/2012)

PROJECT TITLE: STAYBRIDGE SUITES MEETING ROOM ADDITION ZONE MAP: C-18/D067  
DRB#: 1003483 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 17-A, BLOCK 12 NORTH 430 ACRES TRACT A UNIT B  
CITY ADDRESS: 5817 SIGNAL AVE. NE, ALBUQUERQUE, NM 87113

ENGINEERING FIRM: SANTOSH MOSY, PE CONTACT: 505-797-9997  
ADDRESS: 7500 DESERT EAGLE RD. NE PHONE: 505-440-5857  
CITY, STATE: ALBUQUERQUE, NM 87113 ZIP CODE: 87113  
EMAIL: santoshmosy@yahoo.com

OWNER: KRISHANG, LLC CONTACT: (505) 797-9997  
ADDRESS: 5817 SIGNAL AVE. NE PHONE: (505) 266-7829  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
☒ ENGINEER'S CERT (HYDROLOGY)  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT  
\_\_\_\_ ENGINEER'S CERT (TCL)  
\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

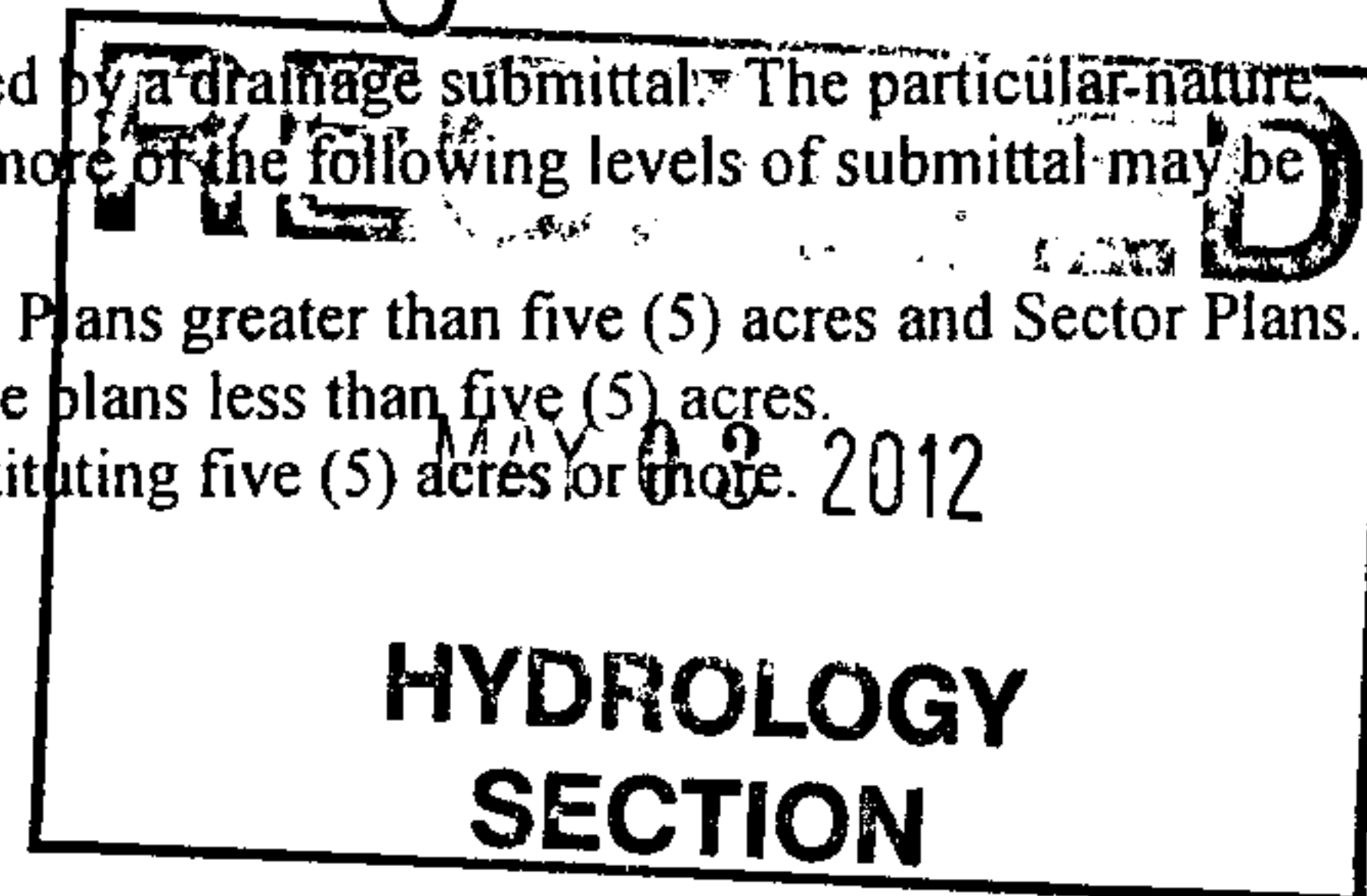
CHECK TYPE OF APPROVAL SOUGHT:  
\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ GRADING CERTIFICATION  
\_\_\_\_ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
\_\_\_\_ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 05/02/12 BY: Santosh Mosy SANTOSH MOSY, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



June 22, 2007

Frank Lovelady, P.E.  
**Frank D. Lovelady**  
300 Alamosa Rd. NE  
Albuquerque, NM 87107

**Re: Stay Bridge Extended Stay Motel, 5817 Signal Ave. NE,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 04/12/06 (C-18/D067)  
Certification dated 4/23/07**

Based upon the information provided in your submittal received 6/8/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims  
Plan Checker, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File

# CITY OF ALBUQUERQUE



April 25, 2006

Frank D. Lovelady, P.E.  
300 Alamosa Road NW  
Albuquerque, NM 87107

**Re: Staybridge Extended Stay Suites, Signal Avenue NE, Grading and  
Drainage Plan  
Engineer's Stamp dated 4-12-06 (C18-D67)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 4-12-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

A separate permit (SO#19) has been requested for construction of the proposed sidewalk culvert. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: Edward Elwell, DMD Street / Storm Maintenance  
Liz Sanchez, Excavation Permits  
Charles Caruso, DMD Storm Drainage Design  
File



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

PROJECT TITLE: STAYBRIDGE EXTENDED STAY MOTEL ZONE MAP/DRG. FILE # ~~C18-D67~~ (C18-D67)  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 17A, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
CITY ADDRESS: SIGNAL AVENUE, NE

ENGINEERING FIRM: Frank D. Lovelady, P.E.  
ADDRESS: 300 Alamosa Road NE  
CITY, STATE: Albuquerque, NM

CONTACT: Frank Lovelady  
PHONE: 345-2267  
ZIP CODE: 87107

OWNER: EXCEL HOSPITALITY  
ADDRESS: 601 Paisano Dr. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Santosh Mody  
PHONE: 440-5857  
ZIP CODE: 87123

ARCHITECT: Leon Lauver & Associates  
ADDRESS: 700 W. Benjamin Avenue  
CITY, STATE: Norfolk, NE

CONTACT: T. R. Hendricks  
PHONE: 243-3499  
ZIP CODE: 68701

SURVEYOR: CARTESIAN SURVEY  
ADDRESS: 2104 Southern Blvd. SE  
CITY, STATE: Albuquerque, NM

CONTACT: Will Plotner  
PHONE: 896-3050  
ZIP CODE: 87124

CONTRACTOR: Klinger Construction  
ADDRESS: 8701 Washington NE  
CITY, STATE: Albuquerque, NM

CONTACT: Mark Maestas  
PHONE: 822-9990  
ZIP CODE: 87113

**TYPE OF SUBMITTAL:**

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☒ DRAINAGE PLAN ~~REDESIGN~~  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

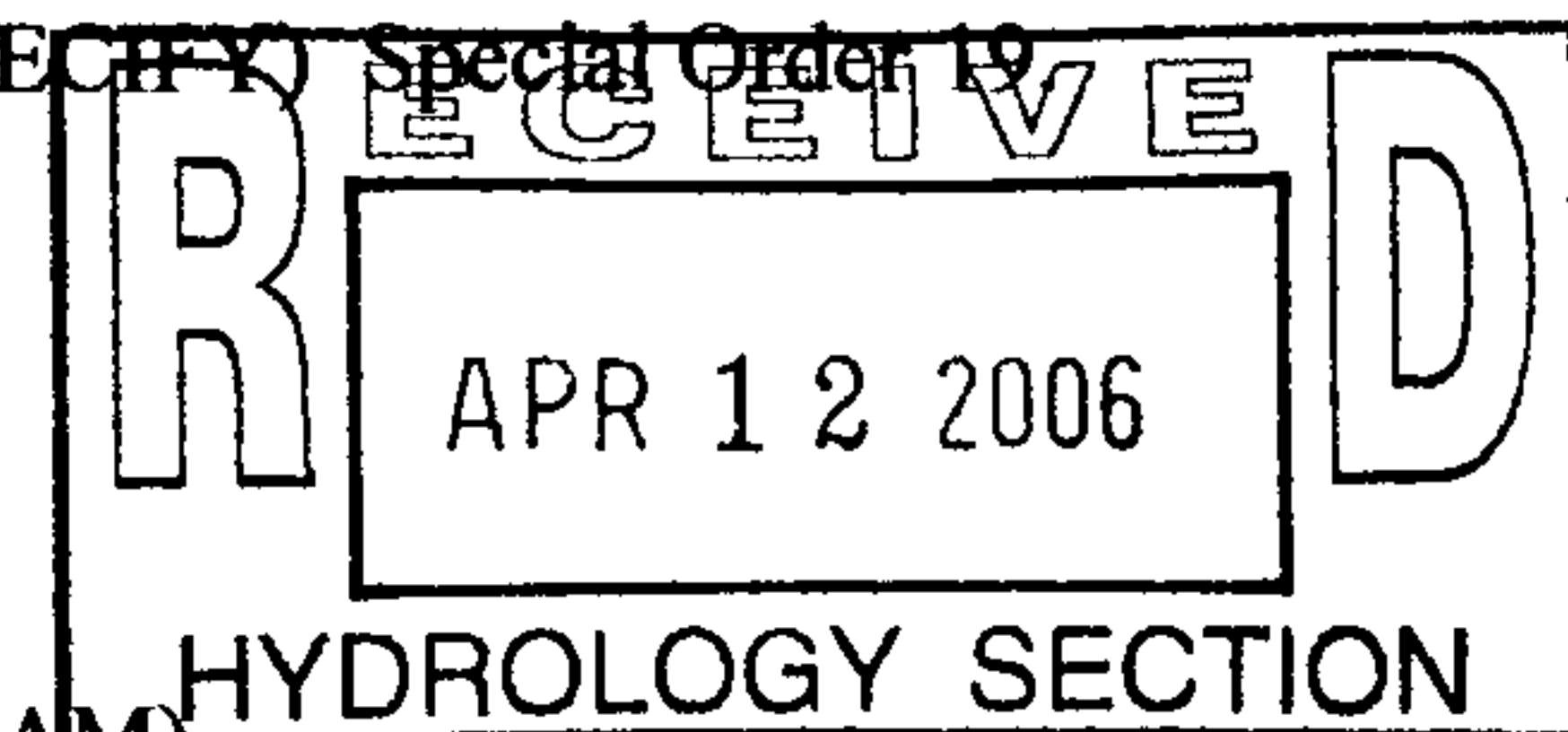
**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) Special Order 19

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

☒ YES (Discussion at counter or by telephone)  
☐ NO

☐ COPY PROVIDED (DISCUSSION AT COUNTER WITH BRAD BINGHAM)



SUBMITTED BY: Frank D. Lovelady, P.E. DATE: April 12, 2006

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

***Frank D. Lovelady, PE***

300 Alamosa Road NW, Albuquerque, New Mexico 87107 Phone (505) 345-2267 Fax (505) 345-2115

---

April 12, 2006

Kristal D. Metro, P.E.,  
Senior Engineer, Planning Dept.  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: Staybridge Extended Stay Suites, Grading and Drainage Plan, Engineers  
Stamp with revision date of April 12, 2006 (C18 – D67) Sheets 1 of 3 through  
3 of 3:**


Dear Ms. Metro:

With regard to your letter of March 31, 2006, attached is the revised grading and drainage plan referenced above. The changes requested in your letter are addressed below in the same numerical order.

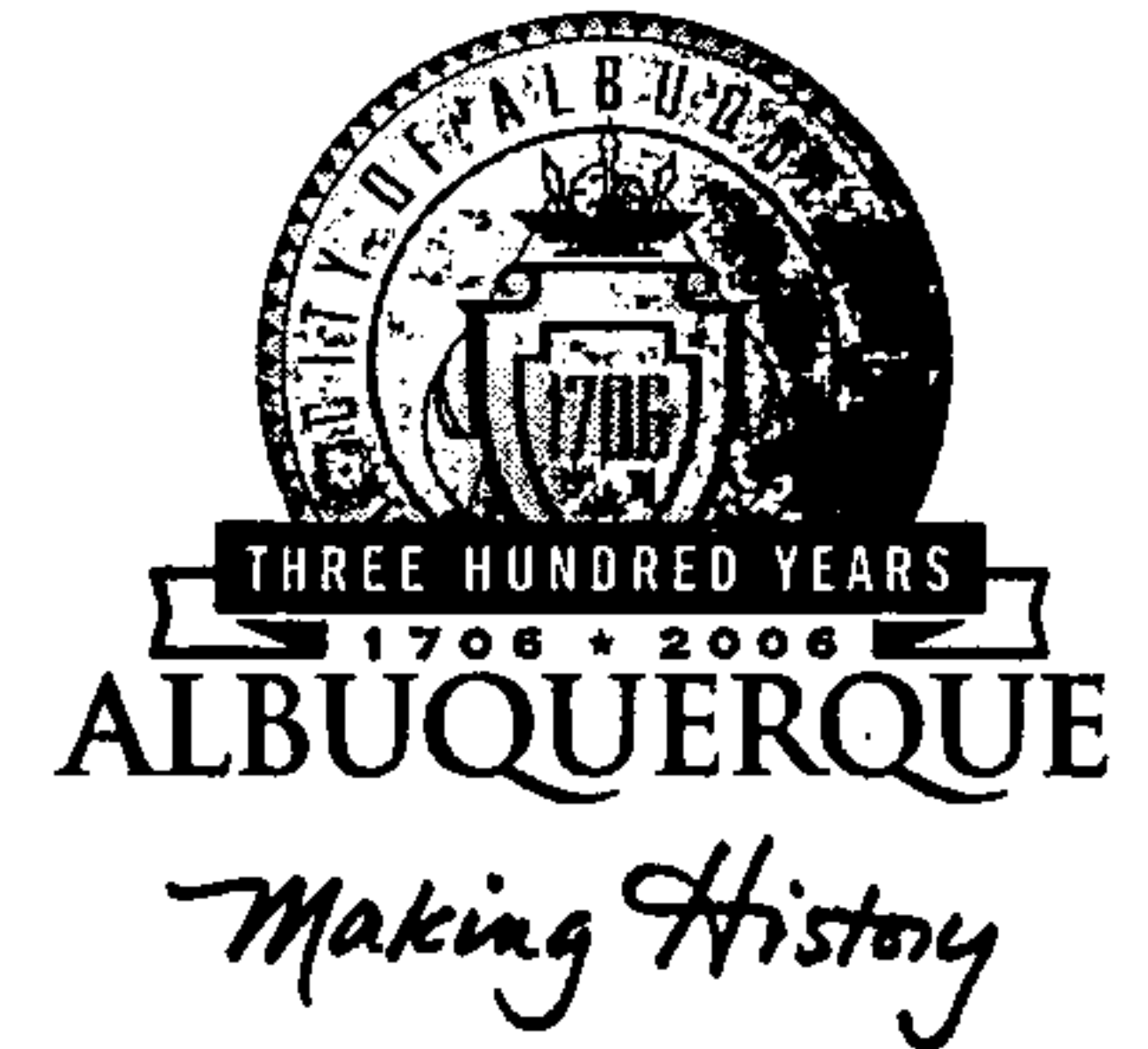
1. The proposed 42" and existing 48" storm drain in San Pedro Drive have been shown on the grading and drainage plan.
2. Details have been provided for the pond positive discharge pipes and the concrete channel which will convey the flow to the sidewalk culvert. The pond wall north of the sidewalk is called out by keyed note. I hope that the plan is more clear as to how flow will be directed. It is proposed to use the driveway as the pond overflow.
3. Again, the pond retaining wall has been called out by keyed notes. The north retaining wall extends from the NW corner of the parking lot to the north property line. I hope this is more clearly shown now. The final sentence seems to be unfinished so I hope I answered it adequately.
4. A note has been added regarding all work outside the property line being accomplished by the work order process.
5. For the east driveway, a two foot wide concrete channel has been added to convey the parking lot to the culvert and from the culvert to back into the parking lot and the culvert headwalls have been shown.
6. Details have been shown of all the drainage features mentioned, or standard drawings have been referenced.

Per our telephone conversation this date, you answered my questions regarding the mylar for rough grading permit and regarding NPDES permit. If you have any questions or if you require additional information, please contact me at 345-2267.

Sincerely,

  
Frank D. Lovelady, PE

# CITY OF ALBUQUERQUE



July 15, 2004

Frank D. Lovelady P.E.  
300 Alamosa Road NW  
Albuquerque, NM 87107

**Re: Staybridge Extended Stay Suites, Grading and Drainage Plan  
Engineer's Stamp dated 6-22-04 (C18-D67)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 6-22-04, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed: \*

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- ✓ 1. Developed flow may not enter the adjacent site. Therefore, all flow exiting the detention pond should drain to the roadway.
- ✓ 2. Show the proposed lot lines.
- ✓ 3. The North Albuquerque Acres Master Drainage Plan shows an existing 48" storm drain as well as a proposed 42" storm drain along this section of San Pedro Drive (see attached sheets). Please show this infrastructure, noting that the proposed storm drain must be built through the work order process.
- ✓ 4. All work outside the property lines of this site must be completed through the work order process. Please add a note to this effect.

If you have any questions, you can contact me at 924-3986.

Sincerely,

A handwritten signature in black ink that reads "Bradley L. Bingham".

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

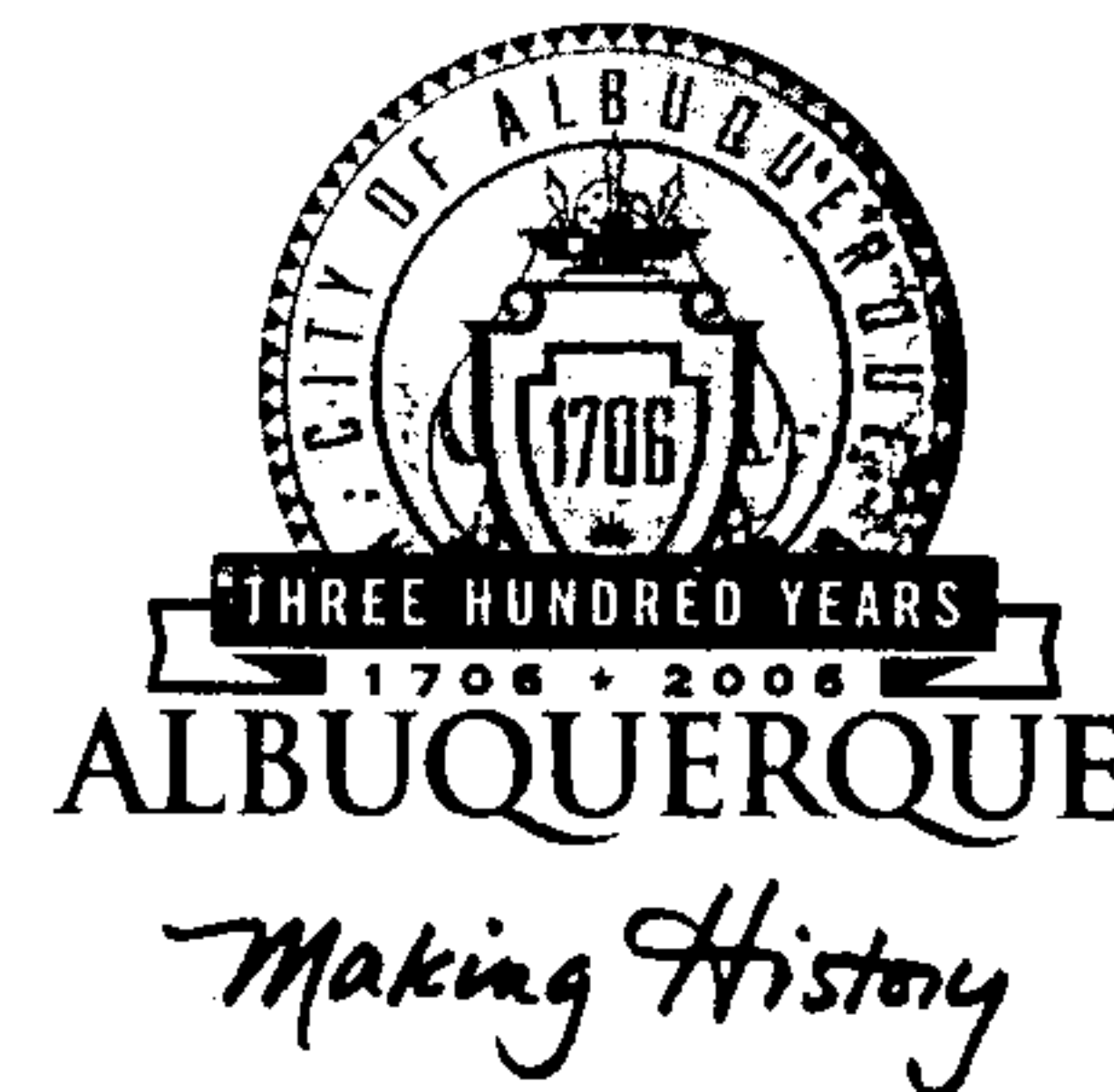
C: File



# CITY OF ALBUQUERQUE

March 31, 2006

Frank D. Lovelady P.E.  
300 Alamosa Road NW  
Albuquerque, NM 87107



**Re: Staybridge Extended Stay Suites, Grading and Drainage Plan**  
**Engineer's Stamp dated 3-20-06 (C18-D67)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 3-20-06, the above referenced plan is approved for Preliminary Plat action by the DRB. Once the DRB has approved the plan, please submit a mylar copy to me in order to obtain rough grading approval. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The North Albuquerque Acres Master Drainage Plan shows an existing 48" storm drain as well as a proposed 42" storm drain along this section of San Pedro Drive (see attached sheets). Please show this infrastructure, noting that the proposed storm drain must be built through the work order process.
2. More geometric detail must be provided for the retention pond. How is the water guided to the proposed sidewalk culvert? Is there a pond retaining wall approximately 13 feet north of the culvert? How is flow prevented from overflowing in this area?
3. What are the extents of the pond retaining wall? Based on the wall profiles provided, the northern pond retaining wall only extends approximately 20 feet. However, based on the elevations shown, the northern pond retaining wall must be at least 190 feet long to prevent flow from entering
4. All work outside the property lines of this site must be completed through the work order process. Please add a note to this effect.
5. How is the flow guided from the 18" wide curb opening to the next drainage structure(s)? A channel appears to be shown on the plan. Is this the case? If so, please call out these channels and provide a detail.
6. Provide details for the splash pad, alley gutter, sidewalk culvert, and concrete channel (or refer to appropriate City Standards).

In addition, please be aware that this project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

PROJECT TITLE: STAYBRIDGE EXTENDED STAY MOTEL ZONE MAP/DRG. FILE # C-18-Z (C18-D67)  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 17, 18, AND 19, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES  
CITY ADDRESS: SIGNAL AVENUE, NE

ENGINEERING FIRM: Frank D. Lovelady, P.E.  
ADDRESS: 300 Alamosa Road NE  
CITY, STATE: Albuquerque, NM

CONTACT: Frank Lovelady  
PHONE: 345-2267  
ZIP CODE: 87107

OWNER: EXCEL HOSPITALITY  
ADDRESS: 601 Paisano Dr. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Santosh Mody  
PHONE: 440-5857  
ZIP CODE: 87123

ARCHITECT: Leon Lauver & Associates  
ADDRESS: 700 W. Benjamin Avenue  
CITY, STATE: Norfolk, NE

CONTACT: T. R. Hendricks  
PHONE: 243-3499  
ZIP CODE: 68701

SURVEYOR: CARTESIAN SURVEY  
ADDRESS: 2104 Southern Blvd. SE  
CITY, STATE: Albuquerque, NM

CONTACT: Will Plotner  
PHONE: 896-3050  
ZIP CODE: 87124

CONTRACTOR: Klinger Construction  
ADDRESS: 8701 Washington NE  
CITY, STATE: Albuquerque, NM

CONTACT: Mark Maestas  
PHONE: 822-9990  
ZIP CODE: 87113

**TYPE OF SUBMITTAL:**

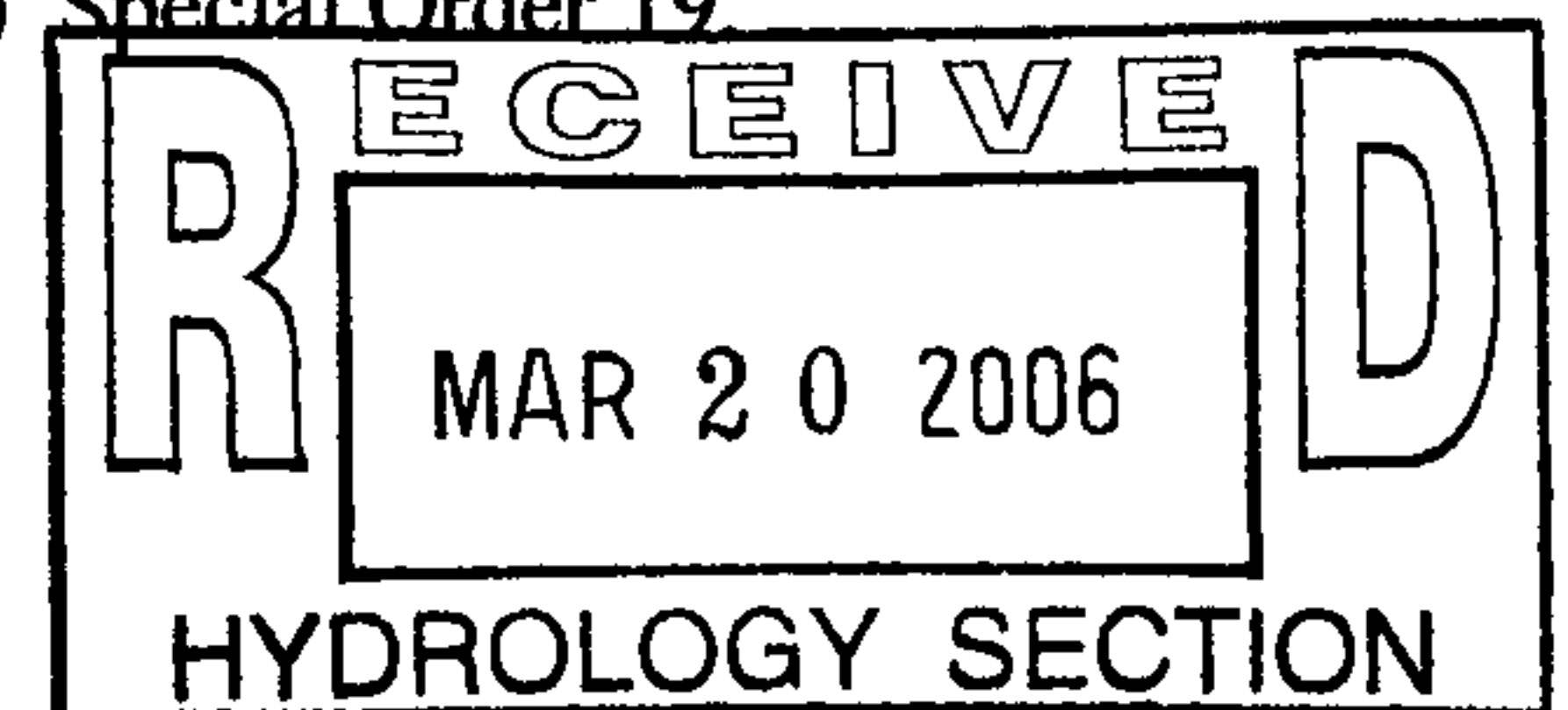
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☒ DRAINAGE PLAN ~~2<sup>nd</sup>~~ SUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

☒ SIA/FINANCIAL GUARANTEE RELEASE  
☒ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☒ CERTIFICATE OF OCCUPANCY (TEMP)  
☒ GRADING PERMIT APPROVAL  
☒ PAVING PERMIT APPROVAL  
☒ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) Special Order 19

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

☒ YES (Discussion at counter or by telephone)  
☐ NO  
☐ COPY PROVIDED (DISCUSSION AT COUNTER WITH BRAD BINGHAM)



SUBMITTED BY: Frank D. Lovelady, P.E. DATE: March 20, 2006

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

North Albuquerque Acres Master Plan shows an  
existing



# CITY OF ALBUQUERQUE



August 10, 2011

Santosh Mody, P.E.  
Santosh Mody Engineering  
6912 Shale Ave NE  
Albuquerque, NM 87113

**Re: Staybridge Suites Meeting Room Addition**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 5-31-11 (C18/D067)**

Dear Mr. Mody,

Based upon the information provided in your submittal received 8-09-11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

RER/CAC  
file

1706



## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

C-18/D067

PROJECT TITLE: STAYBRIDGE SUITES MEETING ROOM ADDITION ZONE MAP: C-18-2  
 DRB#: 1003483 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 17-A, BLOCK 12, TRACT A, UNIT B, NORTH ADD. ACRES.  
 CITY ADDRESS: 5817 SIGNAL AVE. NE, ALBUQUERQUE, NM 87113

ENGINEERING FIRM: SANTOSH MODY, PE CONTACT: SANTOSH MODY  
 ADDRESS: 6912 SHALE AVE. NE PHONE: 505-797-9997  
 CITY, STATE: ALBUQUERQUE, NM 8 ZIP CODE: 87113

OWNER: KRISHANG, LLC CONTACT: SANTOSH MODY  
 ADDRESS: 5817 SIGNAL AVE NE PHONE: 505-797-9997  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- \_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
 \_\_\_\_ CONCEPTUAL G & D PLAN  
 \_\_\_\_ GRADING PLAN  
 \_\_\_\_ EROSION CONTROL PLAN  
 \_\_\_\_ ENGINEER'S CERT (HYDROLOGY)  
 \_\_\_\_ CLOMR/LOMR  
 \_\_\_\_ TRAFFIC CIRCULATION LAYOUT  
 \_\_\_\_ ENGINEER'S CERT (TCL)  
 \_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
 \_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- \_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
 \_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
 \_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
 \_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
 \_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)  
 \_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)  
 \_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_ WORK ORDER APPROVAL  
 \_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- \_\_\_\_ YES  
 \_\_\_\_ NO  
 \_\_\_\_ COPY PROVIDED

DATE SUBMITTED: Santosh Mody 8/9/11 BY: SANTOSH MODY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

AUG 09 2011

HYDROLOGY  
SECTION

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

May 3, 2007

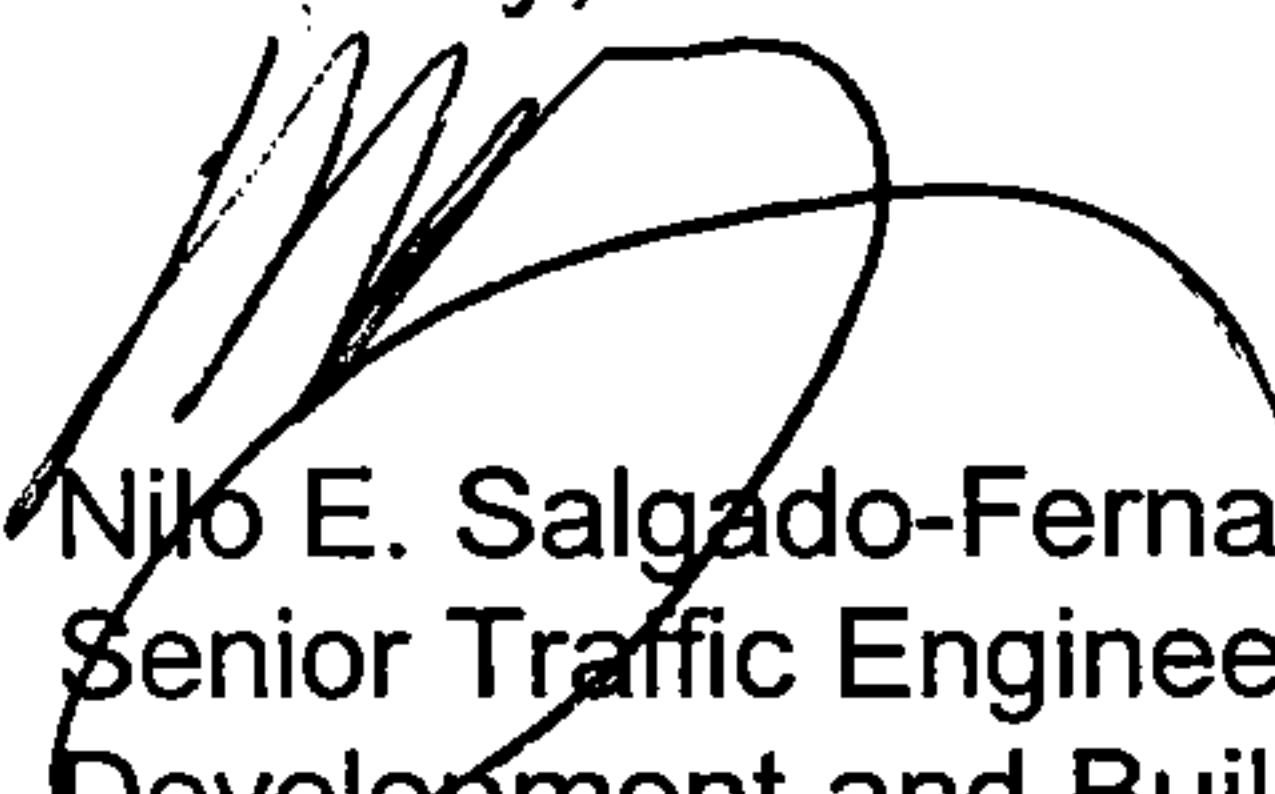
Leon K. Lauver, Registered Architect  
700 W. Benjamin Avenue  
Norfolk, Nebraska 68701

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Staybridge Suites, [C-18 / D67]  
5817 Signal Ave. NE  
Architect's Stamp Dated 05/01/07

Dear Mr. Lauver:

The TCL / Letter of Certification submitted on May 3, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: STAY BRIDGE SUITE ZONE MAP/DRG. FILE # 6-18/D67  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
 CITY ADDRESS: 5817 SIGNAL AVE NE

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: LENN K LAURER CONTACT: \_\_\_\_\_  
 ADDRESS: 700 W. BENJAMIN AVE PHONE: \_\_\_\_\_  
 CITY, STATE: NORFOLK, NE 68701 ZIP CODE: \_\_\_\_\_

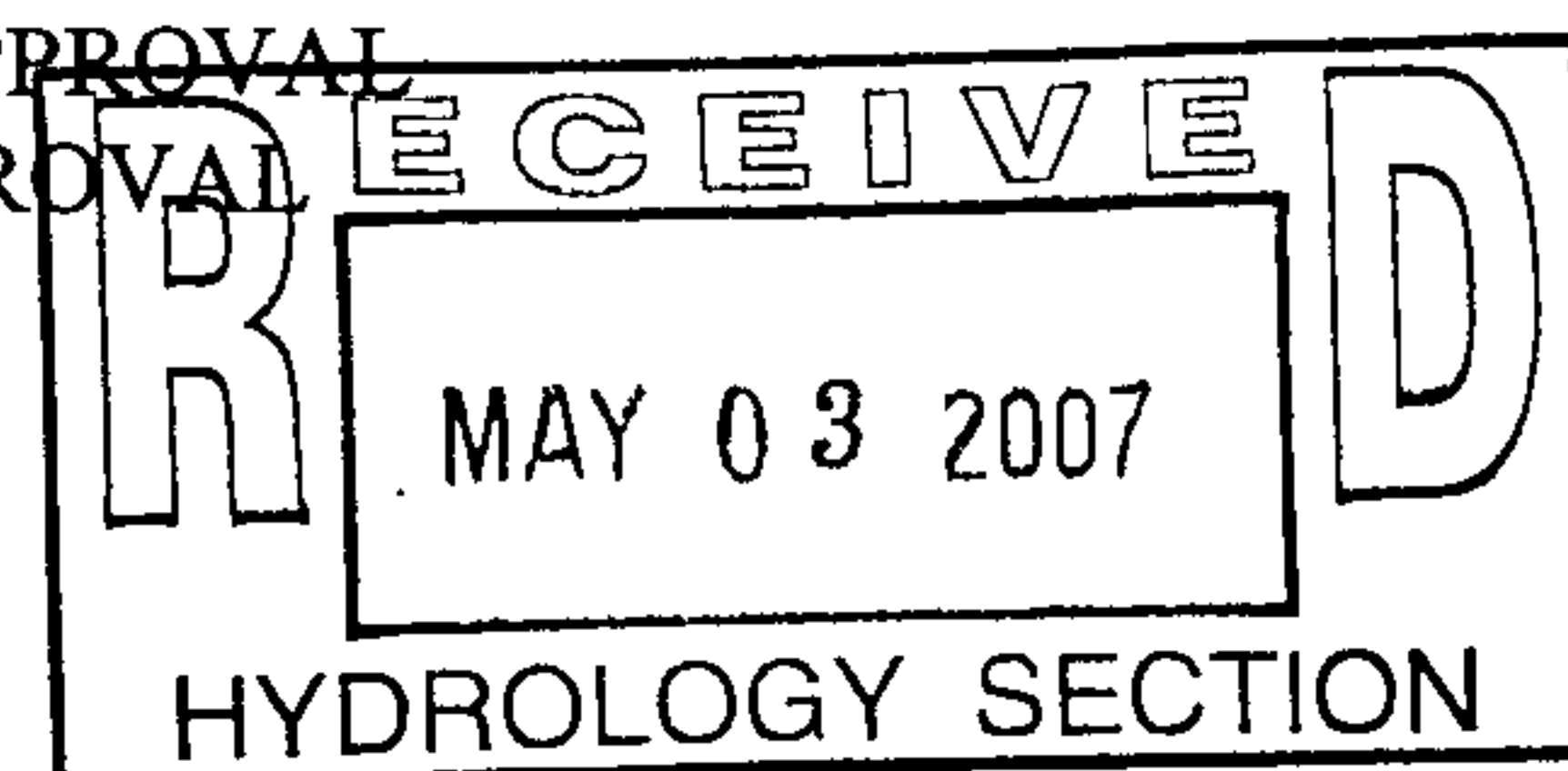
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER/ARCHITECT CERT (TCL)  
☒ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





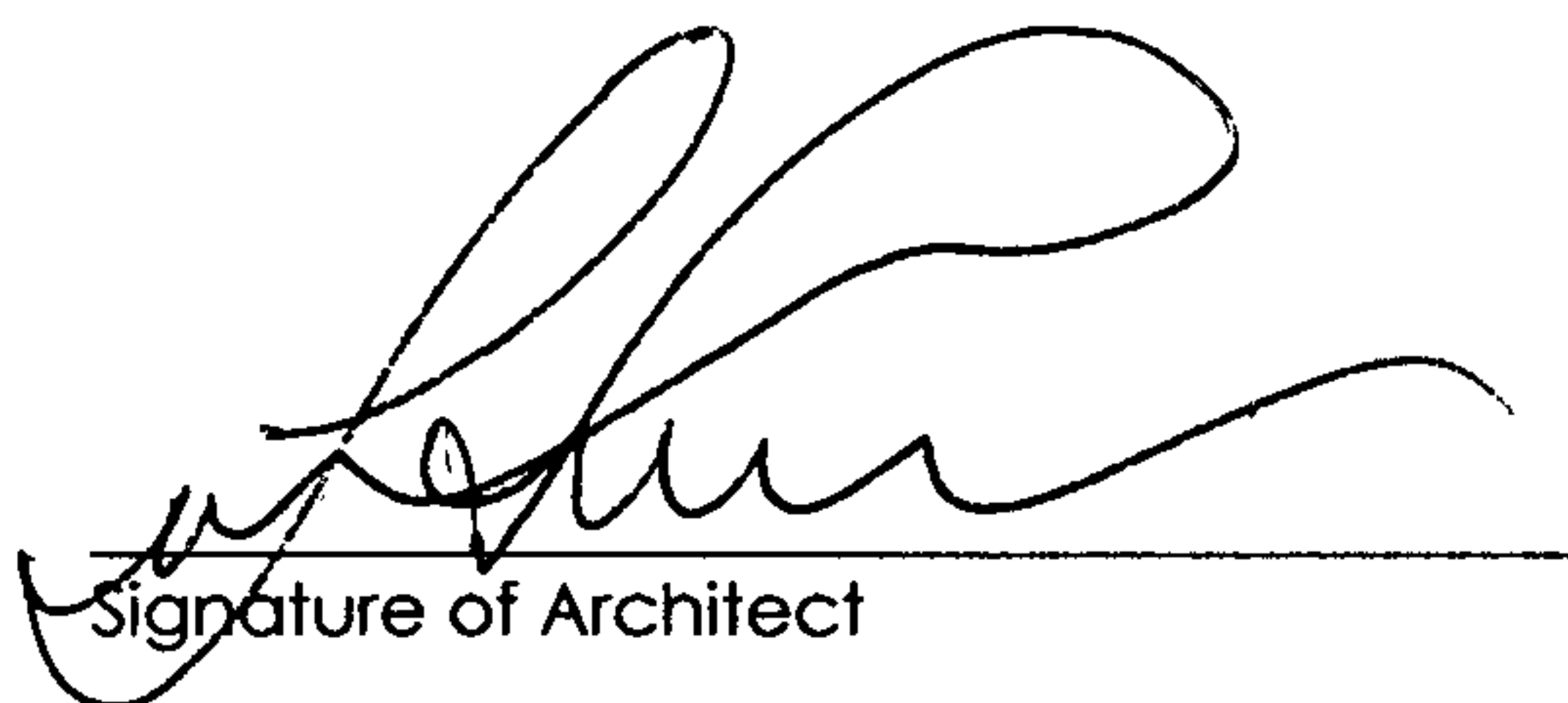
Leon Lauver + Associates

architects  
consultants

## TRAFFIC CERTIFICATION

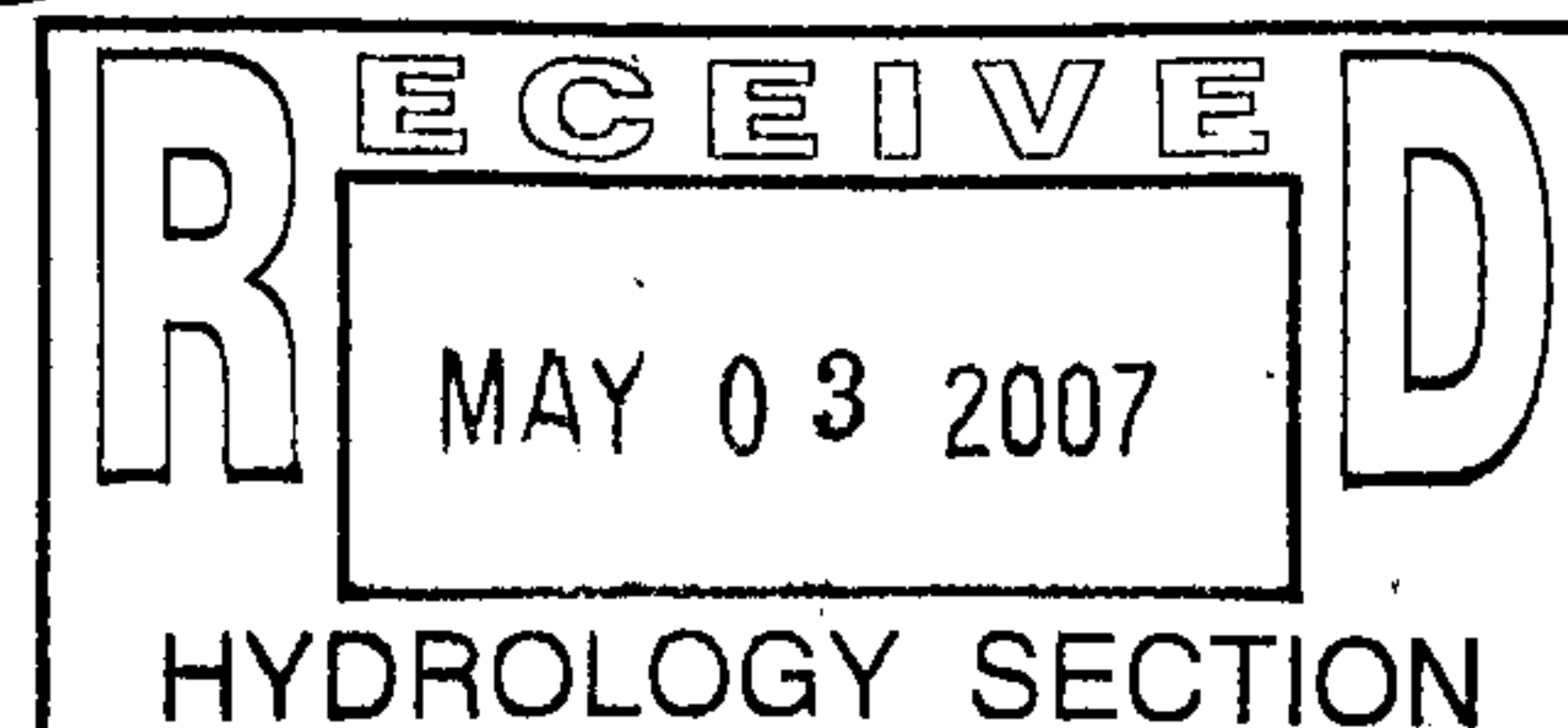
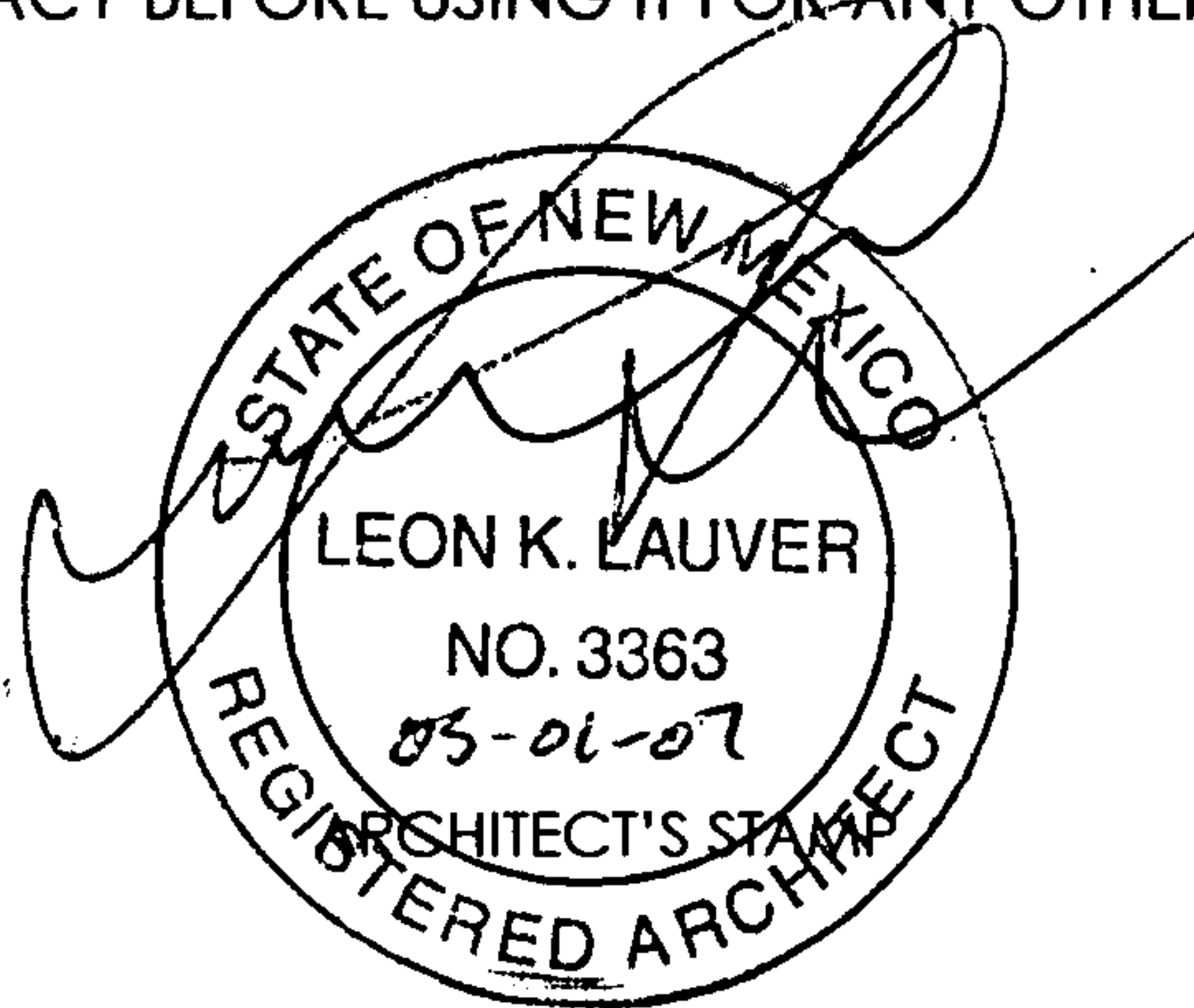
I, LEON LAUVER, NMRA #3363, OF THE FIRM LEON LAUVER AND ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN PLOT DATED AUGUST 16, 2004. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON APRIL 27, 2007 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Architect

1 MAY 2007



architecture • consulting • development

700 west benjamin avenue • p.o. box 1207 • norfolk, nebraska 68701-1207 • telephone: 402.371.3333 • fax: 402. 371.1164 • llauver@leonlauver.com