

May 4, 2012

Santosh B. Moody, P.E.

Santosh Mood P.E.

7500 Desert Eagle Rd NE

Albuquerque, NM 87113

santoshinus@yahoo.com

Re: Staybridge Suites Meeting Room Addition, 5817 Signal Ave NE,

Request for Permanent C.O. –Approved

Engineer's Stamp dated: 05-31-11, (C18/D067)

Certification dated: 05-01-12

Dear Mr. Moody,

Based upon the information provided in the Certification received 05-03-12, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our

records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Albuquerque

PO Box 1293

NM 87103

www.cabq.gov

Timothy E. Sims,

Sincerely,

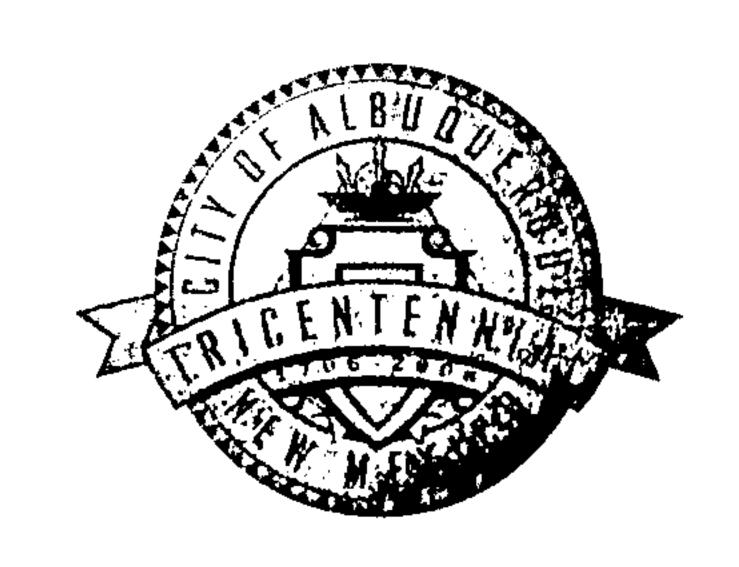
Plan Checker—Hydrology Section Development and Building Services

C: CO Clerk—Katrina Sigala File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2012)

| PROJECT TITLE: STAYBRIDGE SLITES MEETING ROOM ADDRB#: 1003483 EPC#: | NORK ORDER#: |
|---|--|
| · LEGAL DESCRIPTION: LOT 17-A, BLOCK 12 NORTH AZQ ACRES | S TRACT A UNIT B |
| CITY ADDRESS: 5817 SIGNAL AVE NE ALBUQUEZQUE | = NM 87113 |
| • ENGINEERING FIRM: SANTOSH MODY, PE. | CONTACT: 505-797-9987 |
| ADDRESS: 7500 DESERT EAGLE PD. NE | PHONE: 505-440-5857 |
| CITY, STATE: AUBUQUERQUE, MM 67113 | ZIP CODE: 871(3 |
| | EMAIL: Santoshirus@yahar .com |
| | |
| OWNER: KRISHANG, LLC | CONTACT: (505) 797-9997 |
| ADDRESS: 5817 SIGNAL AVE NE | PHONE: (5.5) 266 - 7829 |
| CITY, STATE: AUBUQUERQUE, NM | ZIP CODE: 87113 |
| ARCHITECT: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
| | EMAIL: |
| SURVEYOR: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
| CONTRACTOR: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
| TYPE OF SUBMITTAL: CHECK TYPE OF A | PPROVAL SOUGHT: |
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| WAS A PRE-DESIGN CONFERENCE ATTENDED: | 1/1/4 |
| YES | \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ |
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| COPY PROVIDED | |
| DATE SUBMITTED: 05/02/12 BY: Swh | - unchy SANROSH MODY, PE. |
| | |
| Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accomp | anied by a drainage submittal. The particular nature |
| location, and scope to the proposed development defines the degree of drainage detail. One | or more of the following levels of submittal may be |
| required based on the following: 1. Conceptual Grading and Drainage Plan: Required for approval of Site Developn | nent Plans greater than five (5) acres and Sector Plans. |
| 2. Drainage Plans: Required for building permits, grading permits, paying permits and | d site blans less than five (5) acres. |
| 3. Drainage Report: Required for subdivision containing more than ten (10) lots or containing more than ten | onstituting five (5) acrés or thore. 2012 |

HYDROLOGY SECTION



June 22, 2007

Frank Lovelady, P.E.

Frank D. Lovelady
300 Alamosa Rd. NE
Albuquerque, NM 87107

Re: Stay Bridge Extended Stay Motel, 5817 Signal Ave. NE,

Approval of Permanent Certificate of Occupancy (C.O.)

Engineer's Stamp dated 04/12/06 (C-18/D067)

Certification dated 4/23/07

Based upon the information provided in your submittal received 6/8/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Timothy Sims

Sincerely,

Plan Checker, Planning Dept.

New Mexico 87103

Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala

File



April 25, 2006

Frank D. Lovelady, P.E. 300 Alamosa Road NW Albuquerque, NM 87107

Re: Staybridge Extended Stay Suites, Signal Avenue NE, Grading and Drainage Plan

Engineer's Stamp dated 4-12-06 (C18-D67)

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 4-12-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Albuquerque

A separate permit (SO#19) has been requested for construction of the proposed sidewalk culvert. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Kristal D. Metro, P.E.

Sincerely,

Senior Engineer, Planning Dept.

Development and Building Services

C: Edward Elwell, DMD Street / Storm Maintenance Liz Sanchez, Excavation Permits Charles Caruso, DMD Storm Drainage Design File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 06/22/2005)

| PROJECT TITLE: | STAYBRIDGE EXTENDED STAY | MOTEL | ZONE MAP/DRG. FII | LE # (C18-D67) |
|---------------------------------------|---|--|--------------------------|-----------------------------|
| DRB#: | EPC#: | | WORK ORDER#: | <u> </u> |
| | | | | |
| LEGAL DESCRIPTION | ON: LOT 17A, TRACT A, UNIT E | 3, NORTH | ALBUQUERQUE AC | CRES |
| CITY ADDRESS: | SIGNAL AVENUE, NE | | <u> </u> | · |
| | | | | |
| | <u> M:Frank D. Lovelady, P.E.</u> | <u> </u> | CONTACT: | |
| • | 300 Alamosa Road NE | | PHONE: | 345-2267 |
| CITY, STAT | E: Albuquerque, NM | | ZIP CODE: | <u>87107</u> |
| | | | | |
| OWNER: | EXCEL HOSPITALITY | | CONTACT: _ | Santosh Mody |
| ADDRESS: | 601 Paisano Dr. NE | | PHONE: | <u>440-5857</u> |
| CHY, SIAI | E: Albuquerque, NM | | ZIP CODE: | 87123 |
| ADCHITECT. | I con I crever & Accordates | | CONTACT. | T D Handricks |
| ARCHITECT:ADDRESS: | Leon Lauver & Associates 700 W. Benjamin Avenue | | CONTACT: PHONE: | T. R. Hendricks 243-3499 |
| - | E: Norfolk, NE | | ZIP CODE: | <u>243-3499</u> 68701 |
| CIII, SIAI | E. INDITOIR, INE | | ZII CODE | 00701 |
| SURVEYOR: | CARTESIAN SURVEY | | CONTACT: | Will Plotner |
| ADDRESS: | 2104 Southern Blvd. SE | · · · · · · · · · · · · · · · · · · · | PHONE: | 896-3050 |
| - | E: Albuquerque, NM | | ZIP CODE: | 87124 |
| | | | | |
| CONTRACTOR: | Klinger Construction | | CONTACT: | Mark Maestas |
| ADDRESS: | 8701 Washington NE | | PHONE: | 822-9990 |
| CITY, STAT | E: Albuquerque, NM | | ZIP CODE: | <u>87113</u> |
| | | | | |
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| | | <u>X</u> | OTHER (SPECIFY) S | pectal Officer W/ 巨 |
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| **** | T | | | |
| | N CONFERENCE ATTENDED: | | | APR 1 2 2006 |
| · · · · · · · · · · · · · · · · · · · | ssion at counter or by telephone) | | | |
| NO | CITATED ANICOTANIAN AN OVENIME |) 11/17/11 1 3 1 | HYD | ROLOGY SECTION |
| COPY PRO | VIDED (DISCUSSION AT COUNTE | CWITH BI | (AD BINGHA M) | |
| SUBMITTED BY: | Frank D. Lovelady, P.E. | | DATE: April | |
| SODMITICUDI | Talik D. Luvciauy, F.C. | ······································ | DAIL. Apili | 14, 4000 |

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Frank D. Lovelady. PE

300 Alamosa Road NW, Albuquerque, New Mexico 87107 Phone (505) 345-2267 Fax (505) 345-2115

April 12, 2006

Kristal D. Metro, P.E., Senior Engineer, Planning Dept. Development and Building Services City of Albuquerque P.O. Box 1293 Albuquerque, NM 87103

RE: Staybridge Extended Stay Suites, Grading and Drainage Plan, Engineers Stamp with revision date of April 12, 2006 (C18 – D67) Sheets 1 of 3 through 3 of 3:

Dear Ms. Metro:

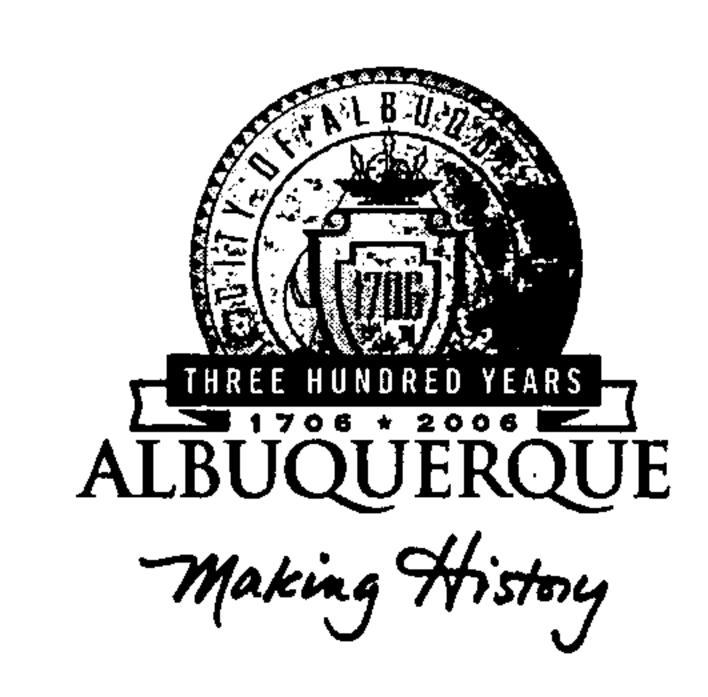
With regard to your letter of March 31, 2006, attached is the revised grading and drainage plan referenced above. The changes requested in your letter are addressed below in the same numerical order.

- 1. The proposed 42" and existing 48" storm drain in San Pedro Drive have been shown on the grading and drainage plan.
- 2. Details have been provided for the pond positive discharge pipes and the concrete channel which will convey the flow to the sidewalk culvert. The pond wall north of the sidewalk is called out by keyed note. I hope that the plan is more clear as to how flow will be directed. It is proposed to use the driveway as the pond overflow.
- 3. Again, the pond retaining wall has been called out by keyed notes. The north retaining wall extends from the NW corner of the parking lot to the north property line. I hope this is more clearly shown now. The final sentence seems to be unfinished so I hope I answered it adequately.
- 4. A note has been added regarding all work outside the property line being accomplished by the work order process.
- 5. For the east driveway, a two foot wide concrete channel has been added to convey the parking lot to the culvert and from the culvert to back into the parking lot and the culvert headwalls have been shown.
- 6. Details have been shown of all the drainage features mentioned, or standard drawings have been referenced.

Per our telephone conversation this date, you answered my questions regarding the mylar for rough grading permit and regarding NPDES permit. If you have any questions or if you require additional information, please contact me at 345-2267.

Sincerely,

Frank D. Lovelady, PE



July 15, 2004

Frank D. Lovelady P.E. 300 Alamosa Road NW Albuquerque, NM 87107

Re: Staybridge Extended Stay Suites, Grading and Drainage Plan Engineer's Stamp dated 6-22-04 (C18-D67)

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 6-22-04, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed: "

P.O. Box 1293

- 1. Developed flow may not enter the adjacent site. Therefore, all flow exiting the detention pond should drain to the roadway.
- 2. Show the proposed lot lines.

Albuquerque

3. The North Albuquerque Acres Master Drainage Plan shows an existing 48" storm drain as well as a proposed 42" storm drain along this section of San Pedro Drive (see attached sheets). Please show this infrastructure, noting that the proposed storm drain must be built through the work order process.

New Mexico 87103

4. All work outside the property lines of this site must be completed through the work order process. Please add a note to this effect.

www.cabq.gov

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE

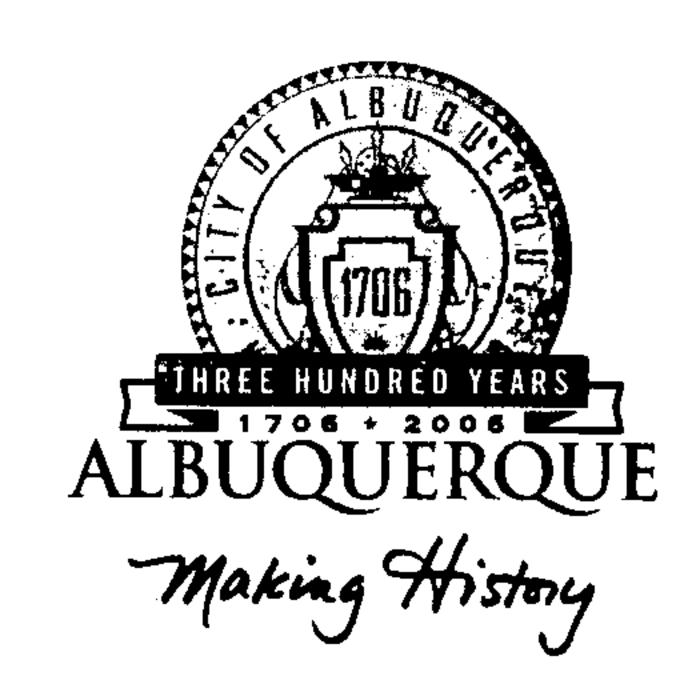
Principal Engineer, Planning Dept.

Development and Building Services

C: File

March 31, 2006

Frank D. Lovelady P.E. 300 Alamosa Road NW Albuquerque, NM 87107



Re: Staybridge Extended Stay Suites, Grading and Drainage Plan Engineer's Stamp dated 3-20-06 (C18-D67)

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 3-20-06, the above referenced plan is approved for Preliminary Plat action by the DRB. Once the DRB has approved the plan, please submit a mylar copy to me in order to obtain rough grading approval. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. The North Albuquerque Acres Master Drainage Plan shows an existing 48" storm drain as well as a proposed 42" storm drain along this section of San Pedro Drive (see attached sheets). Please show this infrastructure, noting that the proposed storm drain must be built through the work order process.
- 2. More geometric detail must be provided for the retention pond. How is the water guided to the proposed sidewalk culvert? Is there a pond retaining wall approximately 13 feet north of the culvert? How is flow prevented from overflowing in this area?
- 3. What are the extents of the pond retaining wall? Based on the wall profiles provided, the northern pond retaining wall only extends approximately 20 feet. However, based on the elevations shown, the northern pond retaining wall must be at least 190 feet long to prevent flow from entering
- 4. All work outside the property lines of this site must be completed through the work order process. Please add a note to this effect.

5. How is the flow guided from the 18" wide curb opening to the next drainage structure(s)? A channel appears to be shown on the plan. Is this the case? If so, please call out these channels and provide a detail.

6. Provide details for the splash pad, alley gutter, sidewalk culvert, and concrete channel (or refer to appropriate City Standards).

In addition, please be aware that this project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3981.

Kristal D. Metro, P.E.

Sincerely,

Senior Engineer, Planning Dept.

Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 06/22/2005)

| ADDRESS: 700 W. Benjamin Avenue CITY, STATE: Norfolk, NE SURVEYOR: CARTESIAN SURVEY ADDRESS: 2104 Southern Blvd. SE CITY, STATE: Albuquerque, NM CONTACT: Will Plotner ADDRESS: 2104 Southern Blvd. SE CITY, STATE: Albuquerque, NM CONTACTOR: Klinger Construction ADDRESS: 8701 Washington NE CITY, STATE: Albuquerque, NM CONTACTOR: Klinger Construction ADDRESS: 8701 Washington NE CITY, STATE: Albuquerque, NM CONTACT: Mark Maestas PHONE: 822-9990 CITY, STATE: Albuquerque, NM CONTACT: Will Plotner 896-3050 CONTACT: Mark Maestas 87124 CONTAC | · · · · · · · · · · · · · · · · · · · | AYBRIDGE EXTENDED STAY N | | |
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| Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The | SUBMITTED BY: | Frank D. Lovelady, P.E. | DATE: Marc | h 20, 2006 |
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levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

North Albuquegne Acres Master Plan shows an

| CITY OF ALBUQUERQUE |
|---|
| 1706 |
| August 10, 2011 |
| Santosh Mody, P.E. Santosh Mody Engineering 6912 Shale Ave NE Albuquerque, NM 87113 |
| Re: Staybridge Suites Meeting Room Addition |
| Grading and Drainage Plan |
| Engineer's Stamp dated 5-31-11 (C18/D067) |
| Dear Mr. Mody, |
| |
| Based upon the information provided in your submittal received 8-09-115 the above referenced plan is approved for Building Permit. Please attach a copy of this |
| approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM |
| chécklist will be required: |
| PO Box 1293 |
| If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977. |
| Albuquerque |
| Sincerelý, |
| NM 87103 |
| Curtis A. Cherne, P.E. |
| www.cabq.gov, Principal Engineer, Planning Dept. Development and Building Services — |
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| RER/CAC |
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| Albuquerque - Making History 1706-2006 |
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DRAINAGE AND TRANSPORTATION INFORMATION SHE

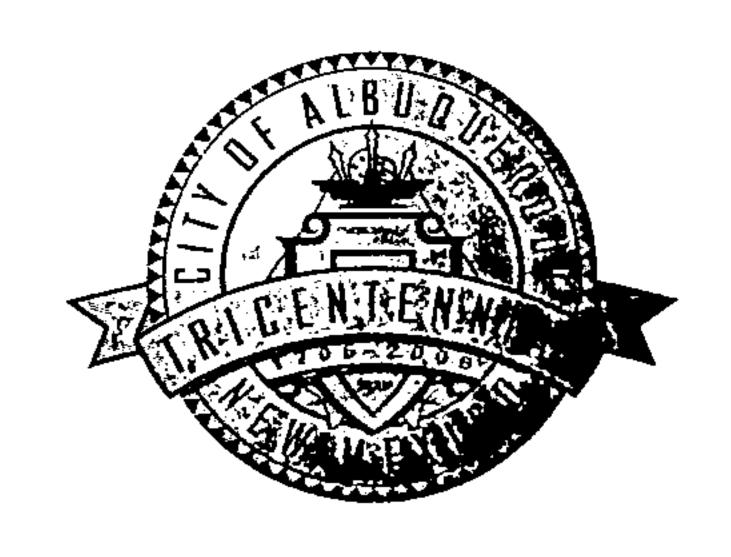
(REV 12/2005)

| CET |
|---|
| G-18/D067 |
| NE MAP: C-18 |
| ABQ. ACRES. |
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| SANTOSH MODY 505-797-9997 87113 |
| SANTUSH MODY 505-797-9997 87113 |
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| TOSH MODY |
| al. The particular nature, vels of submittal may be |
| (5) acres and Sector Plans. |

| PROJECT TITLE: STAYBRIDGE SUITES MEETING ROOM | APDITION ZONE MAP: - G-18- |
|---|---|
| DRB#: 1003483 EPC#: | WORK ORDER#: |
| | |
| LEGAL DESCRIPTION: LOT 17-A, BLOCK 12, TRACT A, U | NIT B NORTH ABQ. ACRES. |
| CITY ADDRESS: 5817 SIGNAL AVE NE ALBUQUERQ | UE, NM 87113 |
| | |
| ENGINEERING FIRM: SANTOSH MODY PE | CONTACT: SANTOSH MOL |
| ADDRESS: 6912 SHAVE DUE'NE CITY, STATE: AVENQUERQUE, NM 8. | PHONE: 505 - 797-9997 |
| CITT, STATE: ALGORIGACYUS, TANL | ZIP CODE: 87113 |
| OWNER: KRISHANG, LLC | CONTACT. SANTUSH MOD |
| ADDRESS: 5817 SIGNAL AVE NE | CONTACT: SANTUSH MODE PHONE: 505-797-999 |
| CITY, STATE: AUBUQUERQUE, NW | ZIP CODE: 8-7113 |
| | |
| ARCHITECT: | CONTACT: |
| ADDRESS:CITY, STATE: | PHONE: ZIP CODE: |
| CITI, OIPALE. | |
| SURVEYOR: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
| CONTRACTOR: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
| DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) OTHER (SPECIFY) WAS A PRE-DESIGN CONFERENCE ATTENDED: | PPROVAL SOUGHT: NCIAL GUARANTEE RELEASE JARY PLAT APPROVAL LAN FOR SUB'D APPROVAL DR BLDG. PERMIT APPROVAL LAN APPROVAL AT APPROVAL TON PERMIT APPROVAL ATE OF OCCUPANCY (PERM) ATE OF OCCUPANCY (TEMP) PERMIT APPROVAL ERMIT APPROVAL |
| YESNOCOPY PROVIDED DATE SUBMITTED: | more of the following levels of submittal may be at Plans greater than five (5) acres and Sector Plans. |
| Drainage Plans: Required for building permits, grading permits, paving permits and si Drainage Report: Required for subdivision containing more than ten (10) lots or cons | stituting five (5) acres or more. |

AUG 09 2011

HYDI CLOGY SECTION



Planning Department Transportation Development Services Section

May 3, 2007

Leon K. Lauver, Registered Architect 700 W. Benjamin Avenue Norfolk, Nebraska 68701

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Staybridge Suites, [C-18 / D67]

5817 Signal Ave. NE

Architect's Stamp Dated 05/01/07

Dear Mr. Lauver:

P.O. Box 1293

The TCL / Letter of Certification submitted on May 3, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Niko E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c:

Engineer

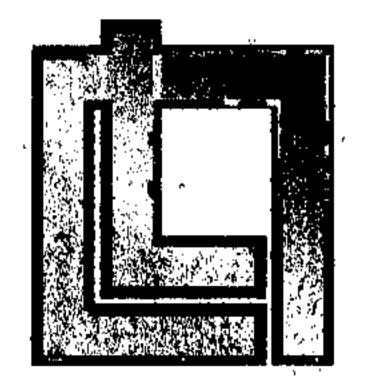
Hydrology file

CO Clerk

| | RTATION INFORMATION SHEET v. 12/05) |
|--|---|
| | |
| PROJECT TITLE: PROJEC | ZONE MAP/DRG. FILE # ZONE MAP/DRG. FILE # () / (/) |
| DRB#: EPC#: | WORK ORDER#: |
| LEGAL DESCRIPTION: | |
| CITY ADDRESS: 12/1/2/2/2/2/2/2/2/2/2/2/2/2/2/2/2/2/2/ | |
| | |
| ENGINEERING FIRM: | |
| ADDRESS: | |
| CITY, STATE: | ZIP CODE: |
| | CONITACT |
| OWNER: ADDRESS: | CONTACT: PHONE: |
| CITY, STATE: | ZIP CODE: |
| 1/ | |
| ARCHITECT: LEAL LAUVE | CONTACT: |
| ADDRESS: | ## PHONE: |
| CITY, STATE: NOTE: | ZIP CODE: |
| 147000 | |
| SURVEYOR: | CONTACT: |
| ADDRESS: | PHONE: ZIP CODE: |
| CITY, STATE: | ZIP CODE: |
| CONTRACTOR: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
| | |
| TYPE OF SUBMITTAL: | HECK TYPE OF APPROVAL SOUGHT: |
| DRAINAGE REPORT | SIA/FINANCIAL GUARANTEE RELEASE |
| DRAINAGE PLAN 1 st SUBMITTAL | PRELIMINARY PLAT APPROVAL |
| DRAINAGE PLAN RESUBMITTAL | S. DEV. PLAN FOR SUB'D APPROVAL |
| CONCEPTUAL G & D PLAN GRADING PLAN | S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL |
| EROSION CONTROL PLAN | FINAL PLAT APPROVAL |
| ENGINEER'S CERT (HYDROLOGY) | FOUNDATION PERMIT APPROVAL |
| CLOMR/LOMR | BUILDING PERMIT APPROVAL |
| TRAFFIC CIRCULATION LAYOUT | CERTIFICATE OF OCCUPANCY (PERM) |
| ENGINEER/ARCHITECT CERT (TCL) | CERTIFICATE OF OCCUPANCY (TEMP) |
| ENGINEER/ARCHITECT CERT (DRB S.P.) | GRADING PERMIT APPROVAL |
| ENGINEER/ARCHITECT CERT (AA) | PAVING PERMIT APPROVAL WORK ORDER APPROVALE (C) [2] [V] [宣 [] |
| OTHER (SPECIFY) | |
| | OTHER (SPECIFY) |
| WAS A PRE-DESIGN CONFERENCE ATTENDED: | MAY 03 2007 |
| WAS A PRE-DESIGN CONFERENCE ATTENDED: YES | |
| NO | HYDROLOGY SECTION |
| COPY PROVIDED | |
| | |
| SUBMITTED BY: | DATE: |

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Leon Lauver + Associates

architects consultants

TRAFFIC CERTIFICATION

I, LEON LAUVER, NMRA #3363, OF THE FIRM LEON LAUVER AND ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN PLOT DATED AUGUST 16, 2004. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON APRIL 27, 2007 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR-ANY OTHER PURPOSE.

LEON K. LAUVER

NO. 3363

03-01-07

ARCHITECT'S STA

Signature of Architect

1 MAY 2007

