

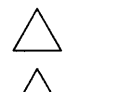


ISSUED FOR
CONSTRUCTION

PROJECT

belogo.gif
5351 Wilshire Ave NE
Albuquerque New Mexico 87113

REVISIONS



1 JAN 14 05 DESIGN CHANGES
PLAN CHECK

DRAWN BY amc./JCCREVIEWED BY amc

DATE 2/23/05

PROJECT NO. 04100

DRAWING NAME

TRAFFIC

CIRCULATION LAYOUT

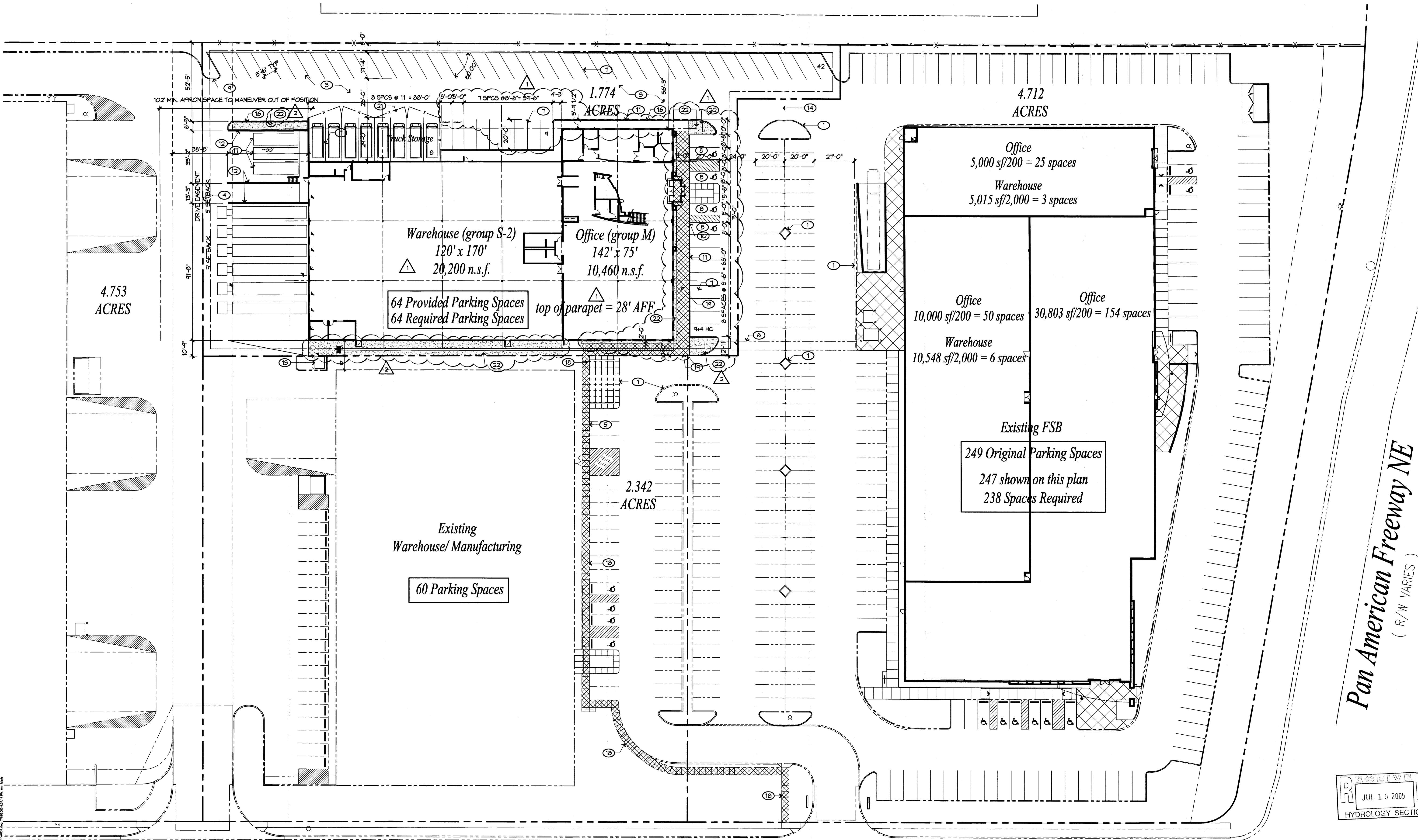
SHEET NO.

A001
OF

OF

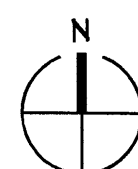
○ KEYED NOTES

- | | |
|---|--|
| 1. EXISTING CONCRETE CURB TO REMAIN. | 11. 4" THICK CONCRETE PAVING, REFER C1/A091 AND D3/A091. |
| 2. EXISTING FIRE HYDRANT TO REMAIN. | 12. 8" CMU WALL, SEE B2/A041 |
| 3. ASPHALTIC PAVING OVER PREPARED SUBGRADE PER GEOTECHNICAL REPORT. | 13. EXISTING TRANSFORMER |
| 4. FEATHER NEW ASPHALTIC PAVING INTO EXISTING. | 14. EXISTING ENTRY DRIVE TO REMAIN. |
| 5. EXISTING SIDEWALK AND ACCESSIBLE RAMP, TO REMAIN. | 15. 6" THICK CONCRETE DRIVE AT TRUCK WELL. |
| 6. 4" WIDE PAINTED STRIPING FOR PEDESTRIAN CROSSING. | 16. DASHED LINE INDICATES PAINTED REB CURB FOR FIRE LANE, TYP. |
| 7. 4" WIDE PAINTED PARKING STALL STRIPING, TYP. COLOR: WHITE. | 17. DUMPTER (8' x 30') |
| 8. TYP. ACCESSIBLE PARKING SPACE W/ LOADING ZONE, PAINT WITH 4" WIDE WHITE STRIPES @ 45° HATCH LINES @ 18" OC. PROVIDE SIGNAGE TO INDICATE EACH SPACE, VAN SIGNAGE AS INDICATED, REFER DETAIL E6/A091, PROVIDE ONE WHEELSTOP WITH 18" LONG #6 REBAR AT FRONT OF EACH HC STALL, TYP. OF 4. | 18. EXISTING PEDESTRIAN CONNECTION |
| 9. CONCRETE CURB, TYP., REFER C4/A091 | 19. NEW (MIN 6") PEDESTRIAN CONNECTION |
| 10. ACCESSIBLE SIDEWALK RAMP , REFER DETAIL C4/A091. | 20. PAINTED BICYCLE RACK (1 SPACES) SEE D5/A091 |
| | 21. 2' HIGH CHAIN LINK FENCE W/ LOCKING GATES |
| | 22. LANDSCAPE AREA, SEE LANDSCAPE PLAN |



Wilshire Ave. NE (60'R/W)

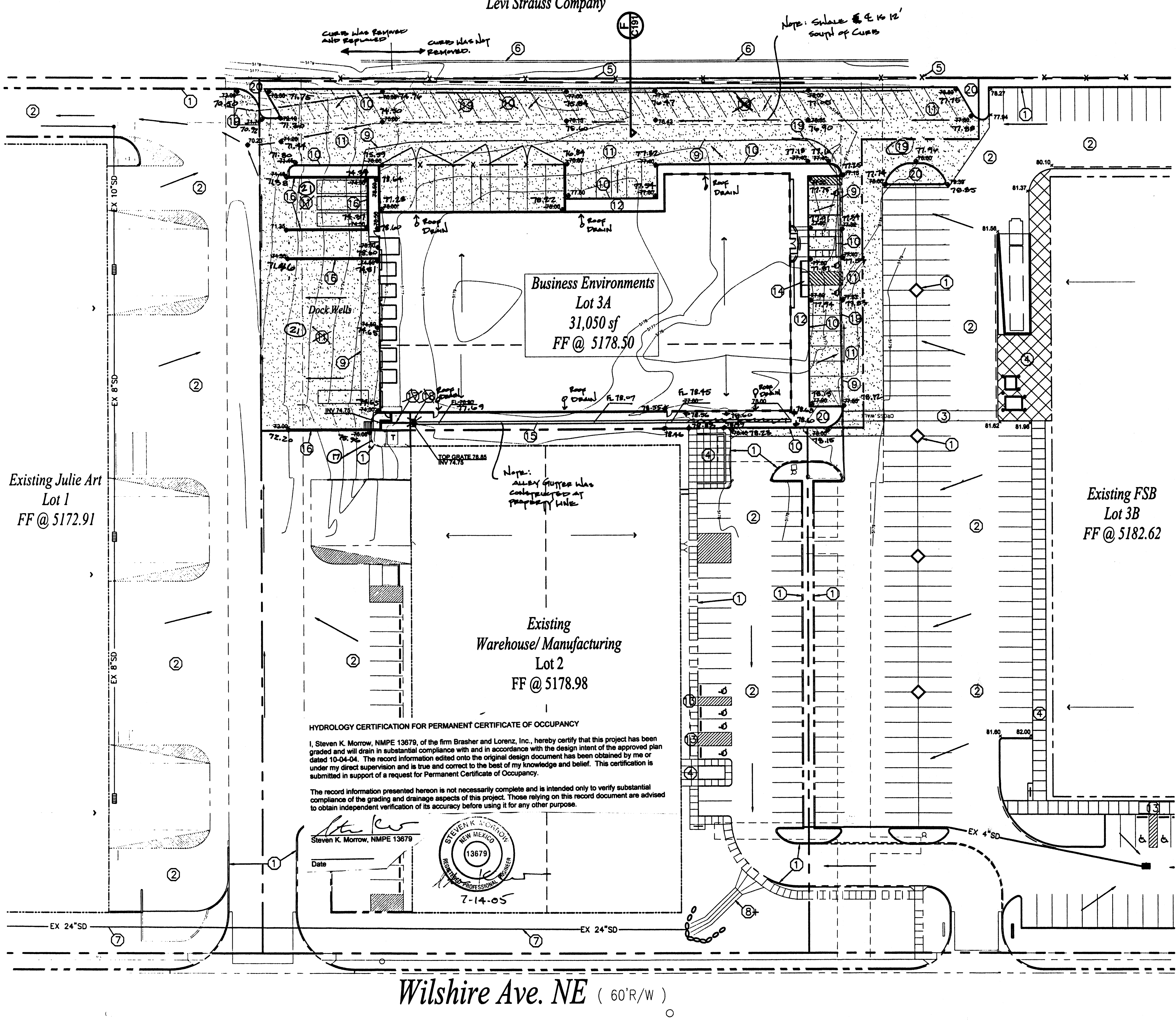
E1 SITE PLAN



ReidLogo150-2.jpg

6300 Riverside Plaza Lane NW Suite 220
Albuquerque, New Mexico 87120 Phone: 505-891-2528 Fax: 505-891-3040

Levi Strauss Company



LEGEND

- 6001 --- EXISTING CONTOUR ELEVATION
- 02.5 X EXISTING SPOT ELEVATION
- 01 --- PROPOSED CONTOUR ELEVATION
- 01.5 --- PROPERTY LINE
- 01.5 + PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- LIMITS OF PAVING THIS CONTRACT

ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE

PROJECT DATA

PROPERTY ADDRESS
5351 Wilshire Avenue NE

LEGAL DESCRIPTION
Lot 3A, Pan Am 25 Subdivision

PROJECT BENCHMARK
Sanitary Manhole Rim located on the intersection of San Mateo Blvd NE and Wilshire Ave. NE Elevation= 5186.92

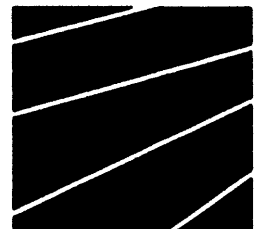
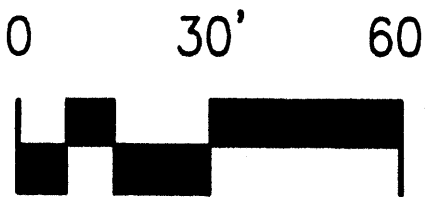
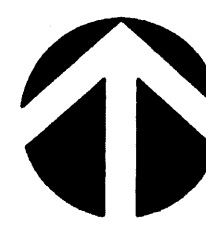
SURVEY
Topographic and Field Measurements by Brasher & Lorenz, Inc. September 2004

KEYED NOTES

1. EXISTING CONCRETE CURB
2. EXISTING ASPHALT PAVEMENT
3. EXISTING CROSSWALK
4. EXISTING CONCRETE SIDEWALK
5. EXISTING CHAINLINK FENCE TO REMAIN
6. EXISTING CMU WALL UNDER CONSTRUCTION
7. EXISTING 24 INCH CMP STORM DRAIN
8. EXISTING CONCRETE DRAINAGE CHANNEL
9. EDGE OF EXISTING PAVEMENT
10. NEW 6 INCH CONCRETE CURB
11. NEW ASPHALT PAVEMENT
12. NEW CONCRETE SIDEWALK
13. EXISTING ACCESSIBLE RAMP
14. NEW ACCESSIBLE PARKING AREA - INCL RAMPS PER CITY CODE
15. CONSTRUCT 12" ALLEY GUTTER PER COA STD DWG 2415A
16. NEW CONCRETE RETAINING WALLS. SEE STRUCTURAL PLAN
17. INSTALL 12 INCH CMP STORM DRAIN ~~DELETED~~
18. ~~CONSTRUCT SINGLE TYPE D INLET PER COA STD DWG 2206- DELETED~~
19. REMOVE & DISPOSE EXISTING CONCRETE CURB
20. PROPOSED LANDSCAPING. SEE LANDSCAPE PLAN
21. NEW CONCRETE PAVING

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
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Ph: 505-888-6088 Fax: 505-888-6188



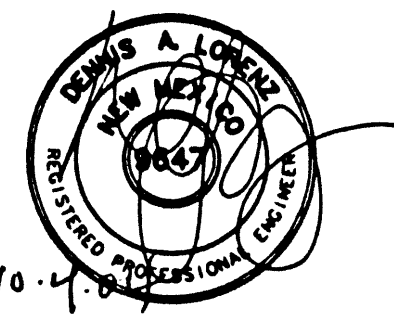
REID & ASSOCIATES
DESIGN BUILDERS

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Phone: 505-891-2528 - Fax: 505-891-3040

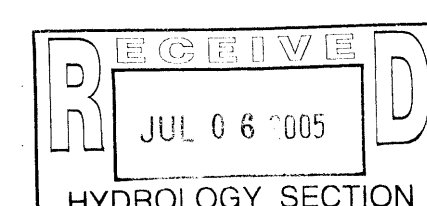
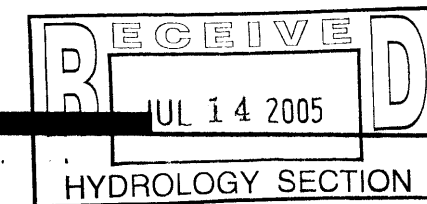
architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
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505 761-9700
fax 761-4222
dps@dpsaaq.com



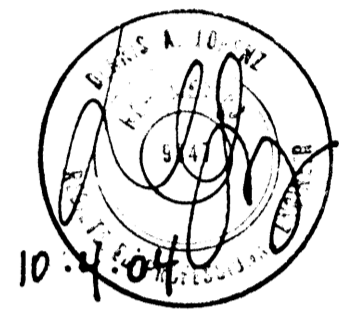
BUSINESS ENVIRONMENTS
5351 Wilshire Ave NE
Albuquerque New Mexico 87113



STAFF
DAL
10-04-2004
04539

**GRADING &
DRAINAGE
PLAN**

C101



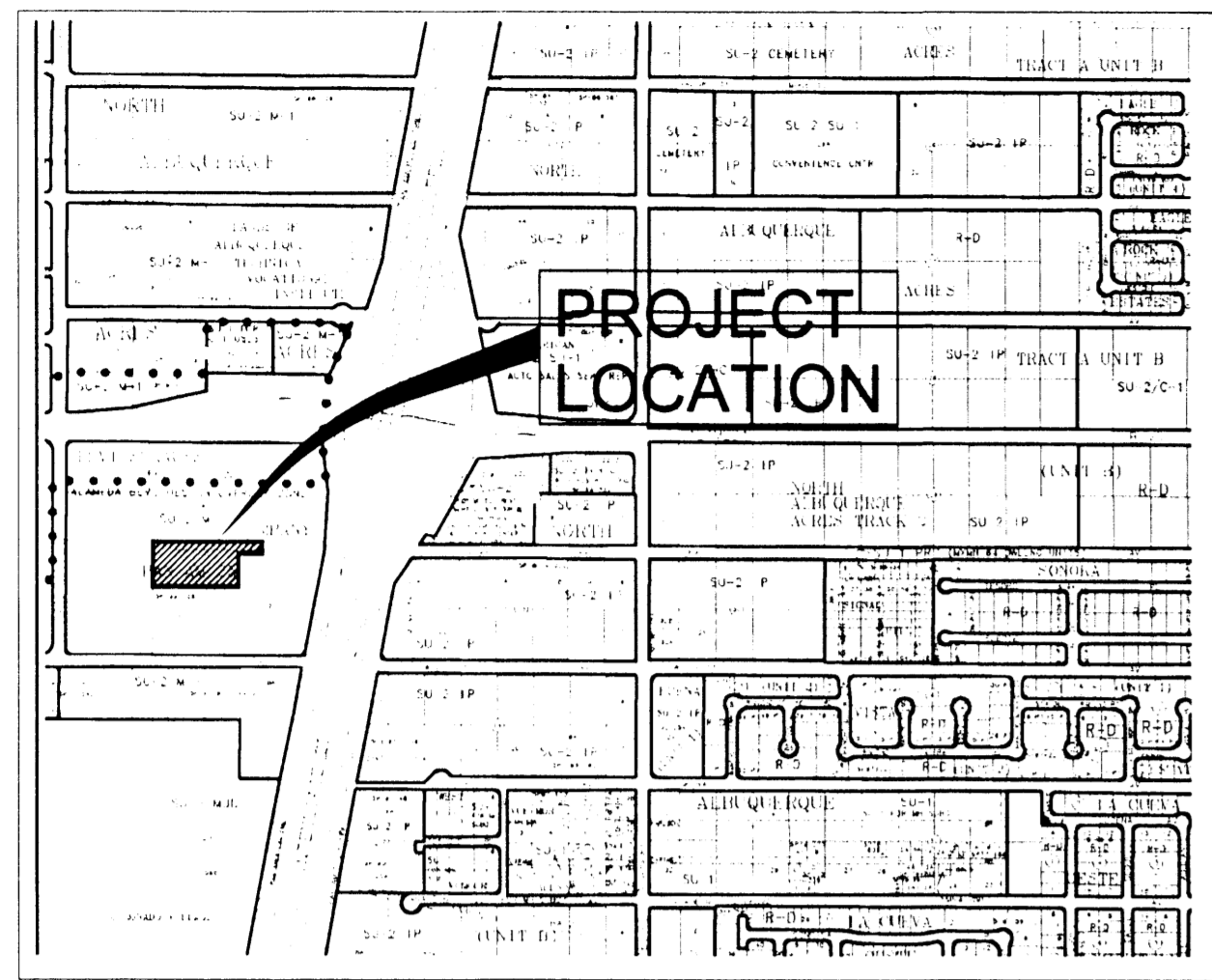
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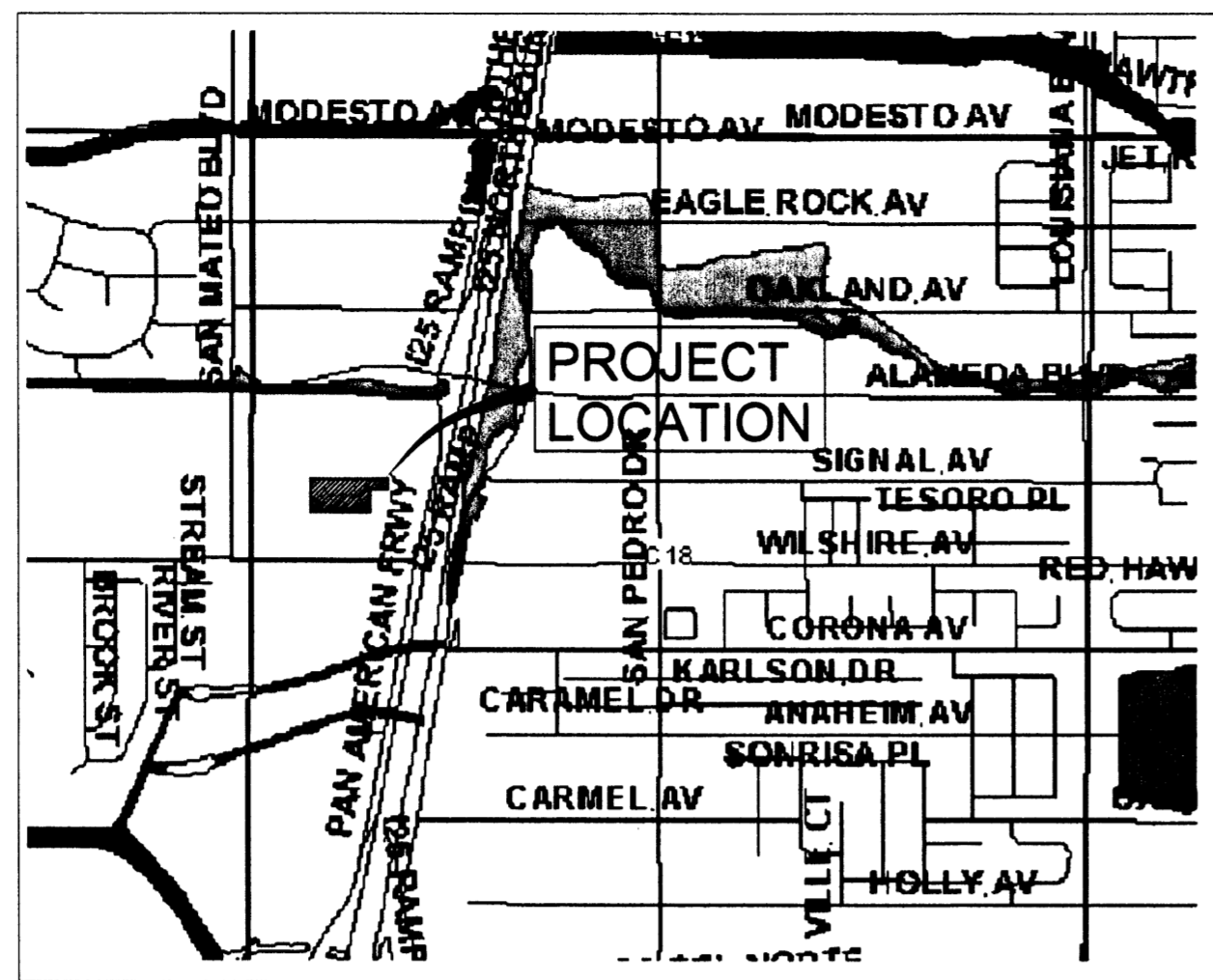
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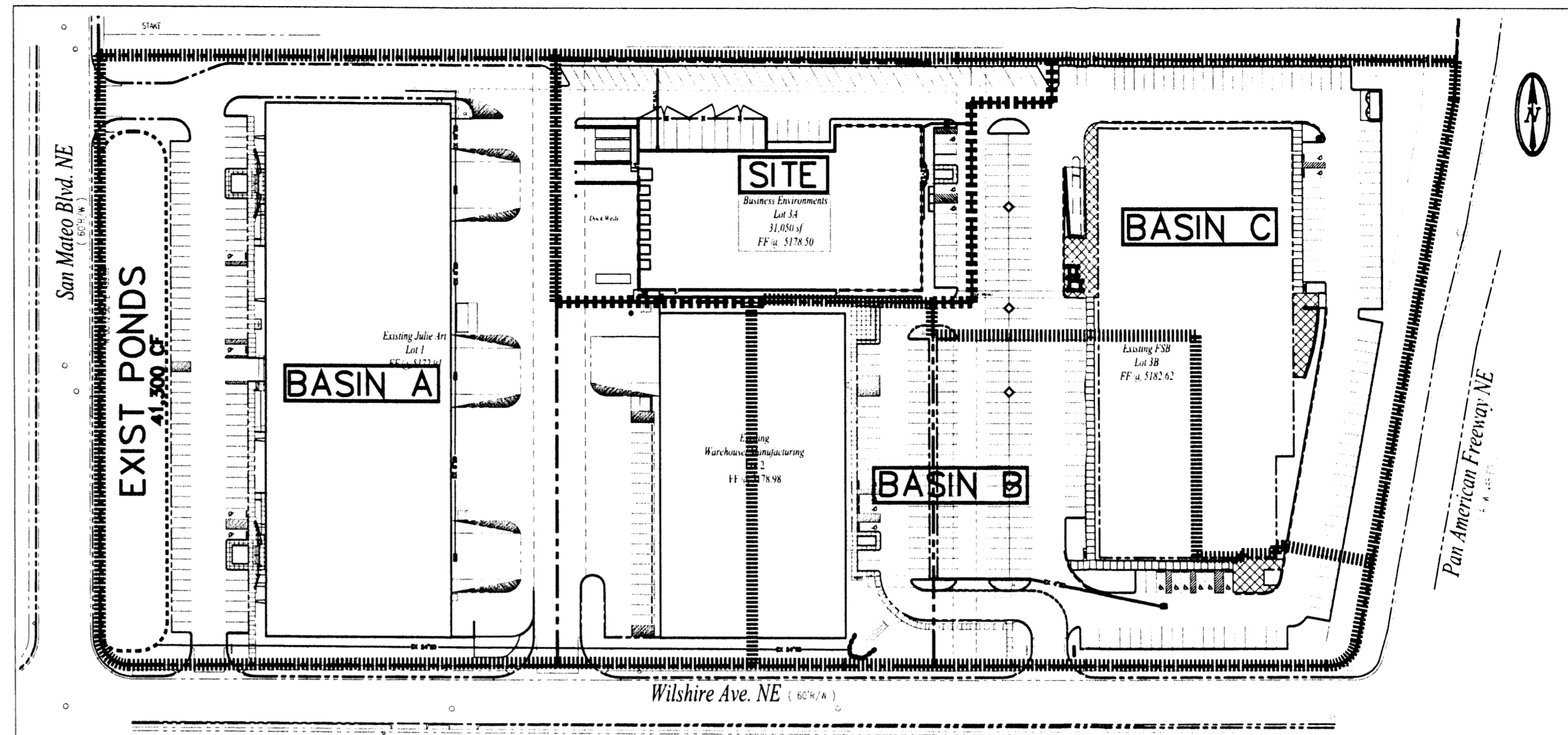
FIRM PANEL

NOT TO SCALE



LOCATION MAP L19

NOT TO SCALE



ON-SITE DRAINAGE BASIN MAP

1" = 100'

GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Drainage Report outlines the drainage management criteria for controlling developed runoff from the project site. The property is to be developed as office/warehouse building for Business Environments. Paving, landscaping, utility, grading, and drainage improvements will be provided to support the project. The scope of this plan is to provide drainage criteria for the safe management of excess runoff, and illustrate the grading, paving and drainage improvements required to support the project.

SITE DESCRIPTION

The project site is approximately 1.77 acres in size and is located on Wilshire Avenue, between San Mateo Blvd and the Pan American Freeway NE. Presently the site is partially developed. Buildings for Sennheiser, First State Bank and Julie Art have been constructed on Lots 1, 2 & 3.

Site terrain slopes east to west at varying gradients. The site is described as a portion of Lot 3 Pan Am 25. The site is bounded on the east by the Pan American Freeway NE, on the south by Wilshire Avenue, on the west by San Mateo Blvd, and on the north by the Levi Strauss, presently under development as Car MAX. As shown by the attached FIRM Panel, no designated flood hazard zones impact this site.

EXISTING DRAINAGE MASTERPLANS

The drainage criteria for this site is established by the Drainage Masterplan for Pan Am 25, prepared by Brasher & Lorenz, Inc. dated August 1999. Based on previous studies prepared in the area, the Masterplan recommends detention ponding to limit discharge from the Pan Am 25 masterplan area to a rate equivalent to the developed 10 year-6 hour storm. Detention ponds have been constructed along San Mateo Blvd with the development of Lots 1 & 2. This site will respect the recommendations made by the Masterplan.

EXISTING DRAINAGE CONDITIONS

The site drains around the north side of Lot 1, along with Basin "C" by paved swales to the existing detention ponds located along San Mateo Blvd. No off-site flows enter the property, with the exception of Basin "C" as described above.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the development of the property into an office/warehouse building for Business Environments, with associated paving, utility landscaping and drainage improvements. The Plan shows the elevations required to properly grade and construct the recommended improvements. The direction of drainage flows are given by flow arrows and on-site drainage basins are identified. All drainage improvements recommended by the Plan are detailed on the Plan.

All on-site runoff will be routed to the outfall locations designated by the DMP. All runoff will be managed by the 2 on-site detention ponds located on Lot 1, along the San Mateo Blvd frontage. The ponds presently discharge at controlled rates not to exceed the allowable discharge rate of 26.5 cfs for the entire site. All water discharged from the ponds will be intercepted by the existing storm drain located in San Mateo Blvd and conveyed to the Alameda storm drain to the North Diversion Channel. Due to cross lot drainage conditions, all on-site drainage facilities are designed to accept runoff from future developed upstream drainage basins.

CALCULATIONS

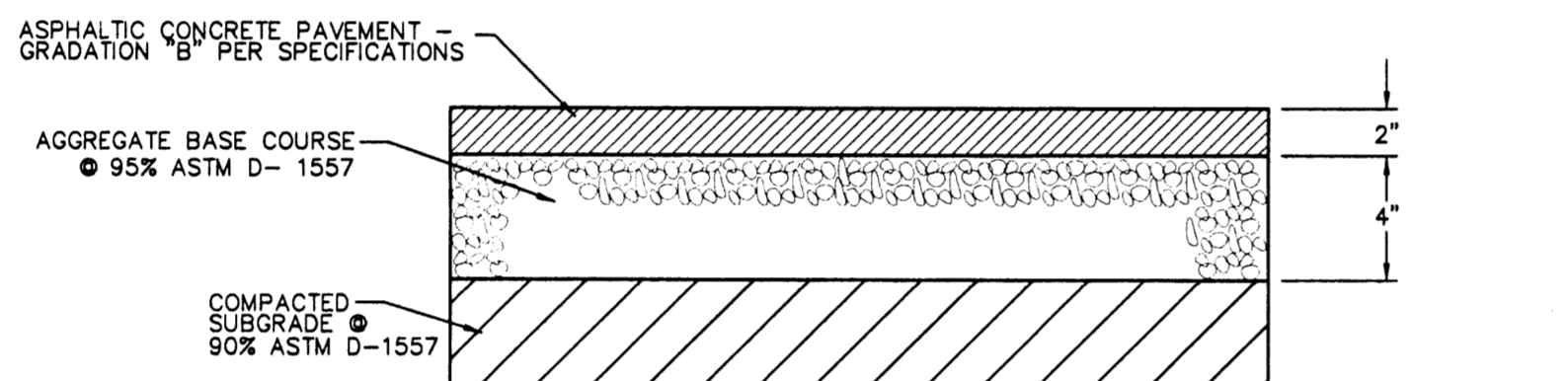
The calculations shown hereon define the 100 year 6 hour design storm falling within the project area under existing and developed conditions. Hydrology is per "Section 22.2, Part A, DPM, Vol 2", dated July 1997. Supplemental calculations are provided as necessary to demonstrate capacity of proposed drainage facilities.

HYDROLOGY - AHYMO									
Precipitation Zone 3			P360 = 2.60 in						
Basin	Basin	Land Treatment (acre)				Ew	V100	Q100	
	area (Ac)	A	B	C	D	(in)	(cf)	(cfs)	
Existing Conditions									
SITE	1.77	0.00	0.00	1.77	0.00	1.29	0.1888	6.1	
Developed Conditions									
SITE	1.77	0.00	0.09	0.55	1.50	2.18	0.3216	8.4	
A	5.96	0.00	0.30	0.60	5.06	2.18	0.9192	28.2	
B	2.91	0.00	0.15	0.29	2.47	2.18	0.5287	13.8	
C	1.96	0.00	0.09	0.20	1.67	2.18	0.3561	9.3	

- NOTES:
- SIGN SHALL BE VERTICALLY MOUNTED ON A POST OR A WALL AT FRONT CENTER OF ACCESS AISLE, NO MORE THAN 5'-0" HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE AND SET A MINIMUM OF 5'-0" ABOVE FINISH GRADE TO THE BOTTOM OF THE SIGN.
 - REFER TO SITE PLAN FOR LOCATION OF RESERVED PARKING SPACES.
 - COLORS - LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

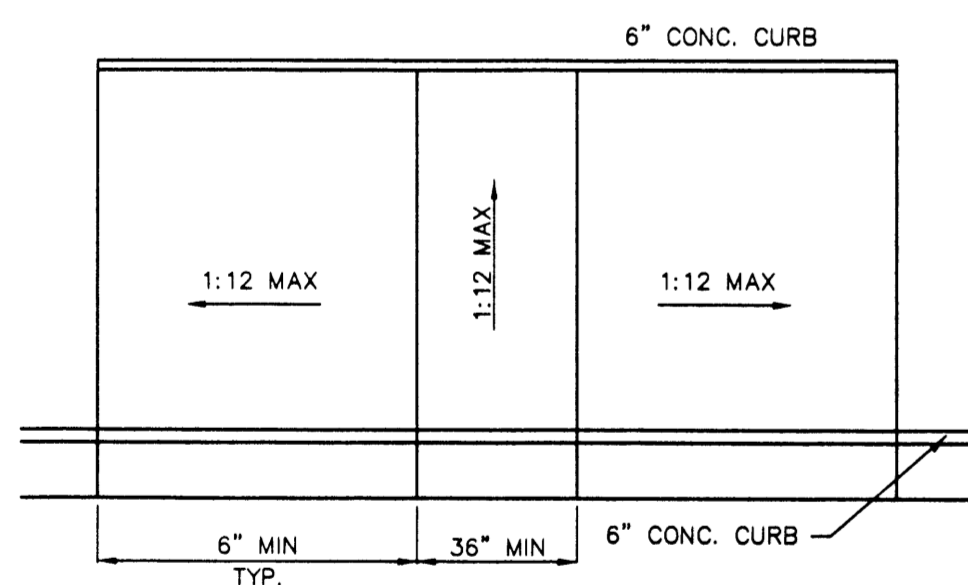
ACCESSIBLE PARKING SIGN

A
C191



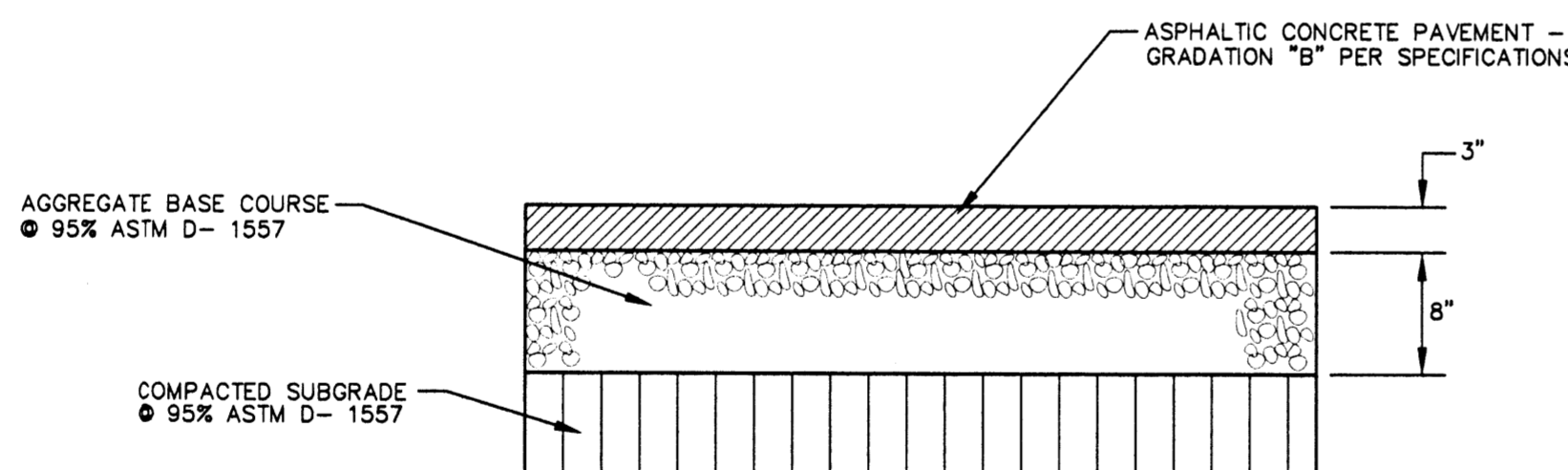
ASPHALT PAVEMENT SECTION AUTOMOBILE PARKING

D
NTS C191



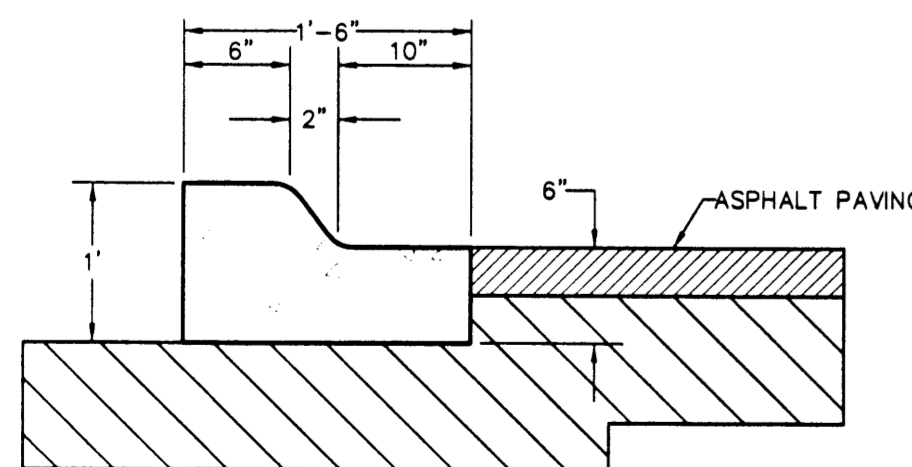
HANDICAP RAMP DETAIL - CASE I

B
C191



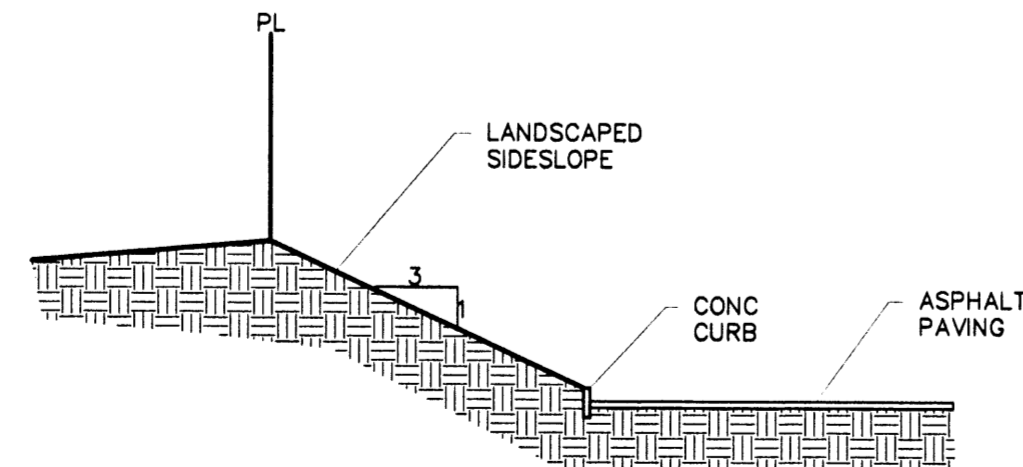
ASPHALT PAVEMENT SECTION TRUCK DRIVES

E
NTS C191



CURB & GUTTER DETAIL

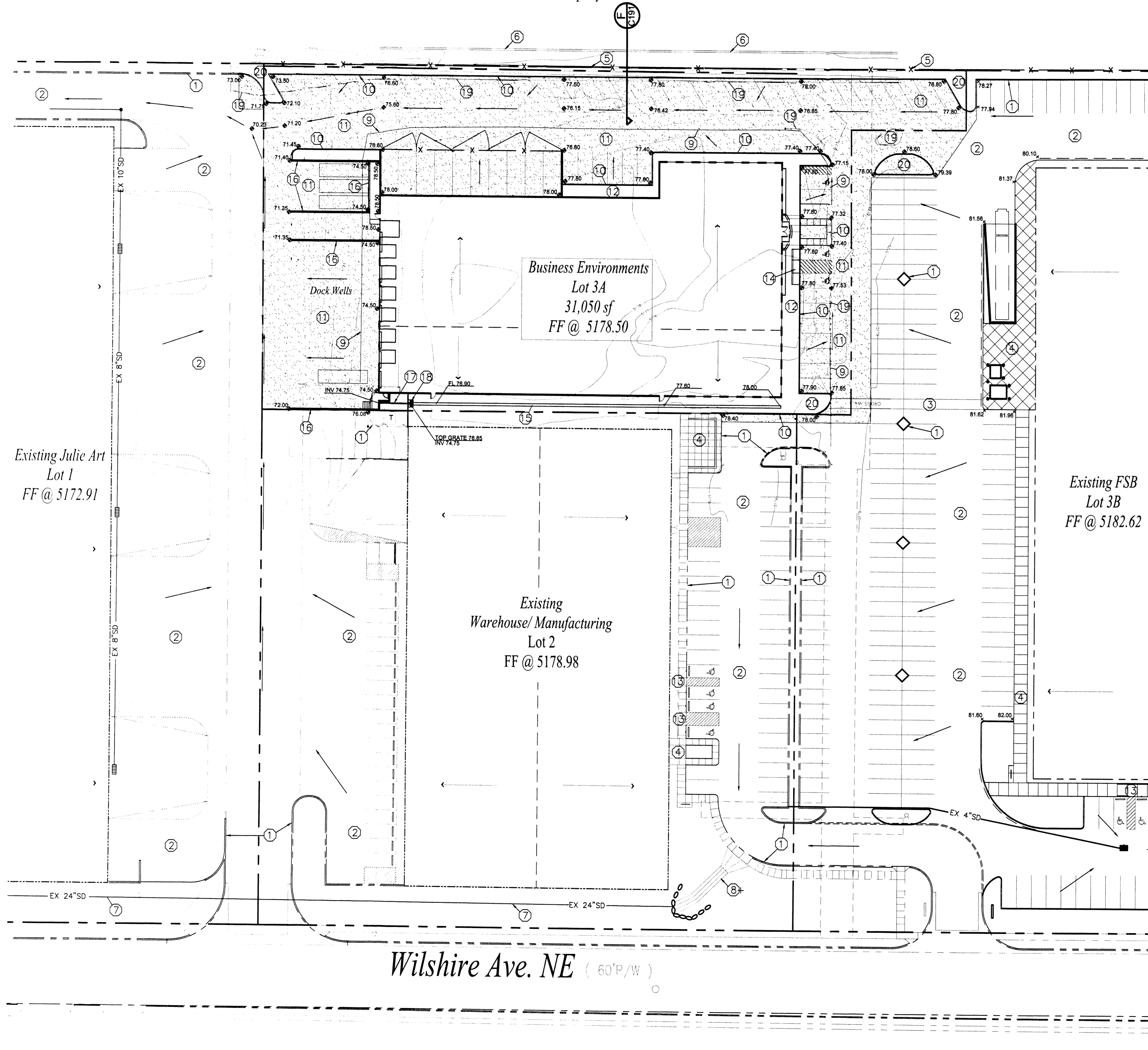
C
NTS C191



SIDESLOPE SECTION

F
NTS C191

Levi Strauss Company



LEGEND

- 6001 --- EXISTING CONTOUR ELEVATION
- 02.5 X EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- 01 --- PROPERTY LINE
- 01.5 + PROPOSED SPOT ELEVATION
- ← DIRECTION OF FLOW
- DRAINAGE SWALE
- LIMITS OF PAING THIS CONTRACT

ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE

PROJECT DATA

PROPERTY ADDRESS
5351 Wilshire Avenue NE

LEGAL DESCRIPTION
Lot 3A, Pan Am 25 Subdivision

PROJECT BENCHMARK
Sanitary Manhole Rim located on the intersection of San Mateo Blvd NE and Wilshire Ave. NE Elevation= 5166.92

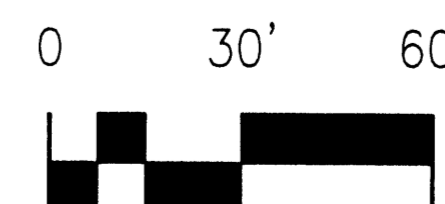
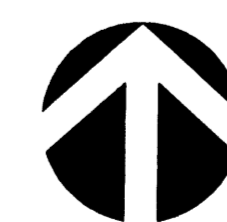
SURVEY
Topographic and Field Measurements by Brasher & Lorenz, Inc. September 2004

KEYED NOTES

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2. EXISTING ASPHALT PAVEMENT
3. EXISTING CROSSWALK
4. EXISTING CONCRETE SIDEWALK
5. EXISTING CHAINLINK FENCE TO REMAIN
6. EXISTING CMU WALL UNDER CONSTRUCTION
7. EXISTING 24 INCH CMP STORM DRAIN
8. EXISTING CONCRETE DRAINAGE CHANNEL
9. EDGE OF EXISTING PAVEMENT
10. NEW 6 INCH CONCRETE CURB
11. NEW ASPHALT PAVEMENT
12. NEW CONCRETE SIDEWALK
13. EXISTING ACCESSIBLE RAMP
14. NEW ACCESSIBLE PARKING AREA, INCL RAMPS, PER CITY CODE
15. CONSTRUCT 12" ALLEY GUTTER PER COA STD DWG 2415A
16. NEW CONCRETE RETAINING WALLS. SEE STRUCTURAL PLAN
17. INSTALL 12 INCH CMP STORM DRAIN
18. CONSTRUCT SINGLE TYPE 'D' INLET PER COA STD DWG 2206
19. REMOVE & DISPOSE EXISTING CONCRETE CURB
20. PROPOSED LANDSCAPING. SEE LANDSCAPE PLAN

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
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REID & ASSOCIATES
DESIGN BUILDERS

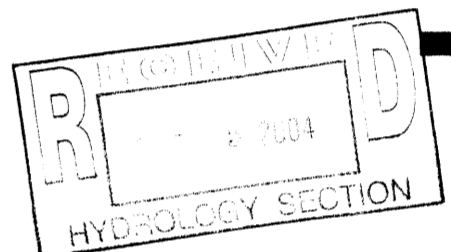
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Albuquerque, New Mexico 87120
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interiors
planning
engineering

**Dekker
Perich
Sabatini**

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Albuquerque, NM 87109
505-761-9700
fax 761-4222
dps@dpsabq.com



**BUSINESS
ENVIRONMENTS**

5351 Wilshire Ave NE
Albuquerque New Mexico 87113

STAFF
DAL
10-04-2004
04539

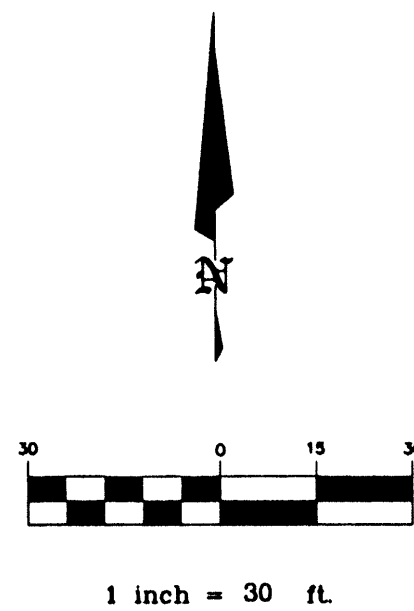
**GRADING &
DRAINAGE
PLAN**

C101

TRACT 1, LEVI STRAUSS

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TEMPORARY EROSION CONTROL PLAN

1. The intent of the Temporary Erosion Control Plan is to limit the discharge of sediment into the public street and/or storm drainage system and to protect adjacent properties from operations.
2. The Contractor shall submit a Temporary Erosion Control Plan and obtain a TopSoil Disturbance Permit from Environmental Health prior to performing any earthwork-related excess runoff during construction.
3. After the initial site clearing, the temporary erosion control facilities should be constructed per the Plan to direct excess runoff and sediment the outfall locations.
4. The temporary erosion control plan consists of the placement of either earthen erosion control berms or silt fencing along the downstream project boundaries that will direct runoff and sediment to the proposed detention ponds located at the west end of the site.
5. It is recommended that each site construct a temporary sedimentation pond immediately upstream to prevent the discharge of sediment into the downstream developments.
6. It is the Contractor's responsibility to properly maintain all temporary erosion control facilities during the construction phase of the project.

KEYED NOTES

1. EXISTING STD CURB & GUTTER
2. EXISTING 4" SIDEWALK
3. EXISTING ASPHALT PAVEMENT
4. EXISTING TYPE 'C' INLET
5. EXISTING HANDICAP RAMP
6. CONSTRUCT CONCRETE VALLEY GUTTER PER COA STD DWG 2420 & 2426
7. EXISTING POWER POLE W/ ANCHOR
8. CONSTRUCT 6" CONC. HEADER CURB
9. CONSTRUCT 6" CONC. TURN DOWN SIDEWALK
10. CONSTRUCT UNIDIRECTIONAL ACCESS RAMP PER COA STD DWG 2420
11. CONSTRUCT ACCESSIBLE PARKING SPACES AT 2% SLOPE MAX IN ALL DIRECTIONS
12. INSTALL 30" SD
13. EXISTING 24" SD
14. INSTALL 10" SD - SEE MECHANICAL DRAWINGS
15. INSTALL 8" SD - SEE MECHANICAL DRAWINGS
16. INSTALL 10" CLEANOUT @ INVERTS SHOWN
17. CONSTRUCT ACCESS RAMP
18. REMOVE EXISTING LANDSCAPING CONSTRUCT ACCESS DRIVE MATCH GRADE AT EXISTING ASPHALT PAVEMENT
19. INSTALL LOADING DOCK AREA DRAIN. (POLYDRAIN CHANNEL W/HEAVY DUTY GRATE)
20. CONSTRUCT LOADING DOCK PIT SEE DETAIL SHEET C-0.2
21. LIGHT DUTY ASPHALT PAVEMENT PER DETAIL E/C-0.2
22. HEAVY DUTY ASPHALT PAVEMENT PER DETAIL F/C-0.2
23. CONCRETE PAVEMENT PER DETAIL G/C-0.2
24. EXISTING CHAIN LINK FENCE TO REMAIN
25. 10x10 COOLING TOWER
26. CONSTRUCT PATIO W/ TURN DOWN CURBS
27. CONSTRUCT EROSION CONTROL PAD PER DETAIL J/C-0.2
28. CONSTRUCT EROSION CONTROL PAD PER DETAIL K/C-0.2
29. CONSTRUCT CONC. RUNDOWN PER DETAIL M/C-0.2
30. PROVIDE 6" CURB OPENING @ 18' O.C.
31. DOWNSPOUT & CONCRETE SPLASH PAD
32. CONCRETE TIRE STOP - TYP
33. CONSTRUCT ACCESSIBLE RAMPS SEE ARCH. DETAILS
34. EXISTING 18" POND OUTLET PIPE CONNECTED TO BACK OF EXISTING INLET
35. EXISTING 24" POND OUTLET PIPE CONNECTED TO BACK OF EXISTING INLET
36. CONSTRUCT RETAINING WALL SEE STRUCTURAL DETAILS
37. EXISTING ASPHALT PAVING
38. EXISTING CONCRETE VALLEY GUTTER
39. EXISTING EDGE OF PAVEMENT
40. EXISTING GRAVEL DRIVE TO BE REMOVED
41. CONSTRUCT 24" CMP RISER MANHOLE CONNECT TO EX. 24" SD INV(E)=72.00, INV(W)=67.50, RIM=77.00
42. CONSTRUCT 24" CMP RISER INLET INV=67.00, TOP INLET GRATE=71.50
43. CONSTRUCT RUNDOWN PER SECTION H/C-0.2
44. REGRADE DETENTION PONDS TO ELEVATIONS SHOWN.
45. 4' HIGH CMU SCREEN WALL
46. ASPHALT RUNDOWN

PROPERTY ADDRESS

5201 Wilshire Ave NE

LEGAL DESCRIPTION

Lot 1, Pan Am 25 Subdivision

PROJECT BENCHMARK

Sanitary Manhole Rim located on the intersection of San Mateo Blvd NE and Wilshire Ave. NE
Elevation= 5166.92

SURVEY

Topographic and Field Measurements by
Hall Surveying Co.
Dated May, 1999

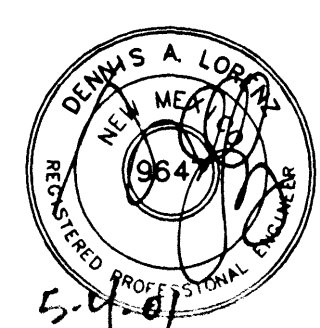
LEGEND

- 6001 --- EXISTING CONTOUR ELEVATION
- 02.5 x EXISTING SPOT ELEVATION
- 01 --- PROPOSED CONTOUR ELEVATION
- ... PROPERTY LINE
- 01.5 • PROPOSED SPOT ELEVATION
- ← DIRECTION OF FLOW
- DRAINAGE SWALE
- DRAINAGE BASIN DIVIDE

FOR INFO ONLY

4-25-01 ISSUED FOR CONSTRUCTION

PAN AM 25 GRADING & DRAINAGE PLAN LOT 1



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: M.D.T. DATE: MAY, 2001
CHECKED BY: D.A.L.
FILE: 99512-GDUWG SHEET 1 OF 2

Dekker/Perich/Sabatini
architecture • interiors • planning • engineering
4801 Jefferson NE, Suite 100 Albuquerque, NM 87110
99001 505-761-9746 505-761-4222 07.01.99

ENGINEER'S CERTIFICATION

I, the undersigned, being a Professional Engineer in the State of New Mexico, do hereby certify that the as-built information shown hereon is based on actual field measurements and visual inspections performed by Brasher & Lorenz, Inc. I further certify that the as-built condition of the site as of October 1, 2001 is in substantial compliance with the approved Grading and Drainage Plan prepared by Brasher & Lorenz, Inc., dated May 4, 2001.

This certification is limited to on-site grading and drainage improvements and does not extend to the structural integrity of the materials used or the workmanship of the contractor. Any future modifications to the site improvements shall render this certification null and void.

Steven K. Morrow, NMPL 13679 Date: 10/1/01



Wilshire Ave. NE
(60' R/W)

MANHOLE (SANITARY)
RIM=5174.34

FUTURE TENNANT
FF=5173.00
72.91

JULE ART
FF=5173.00
72.91

EXISTING DIRT PAD

LOT 2, PAN AM 25

SENNHIESER
FF = 5178.98

9512