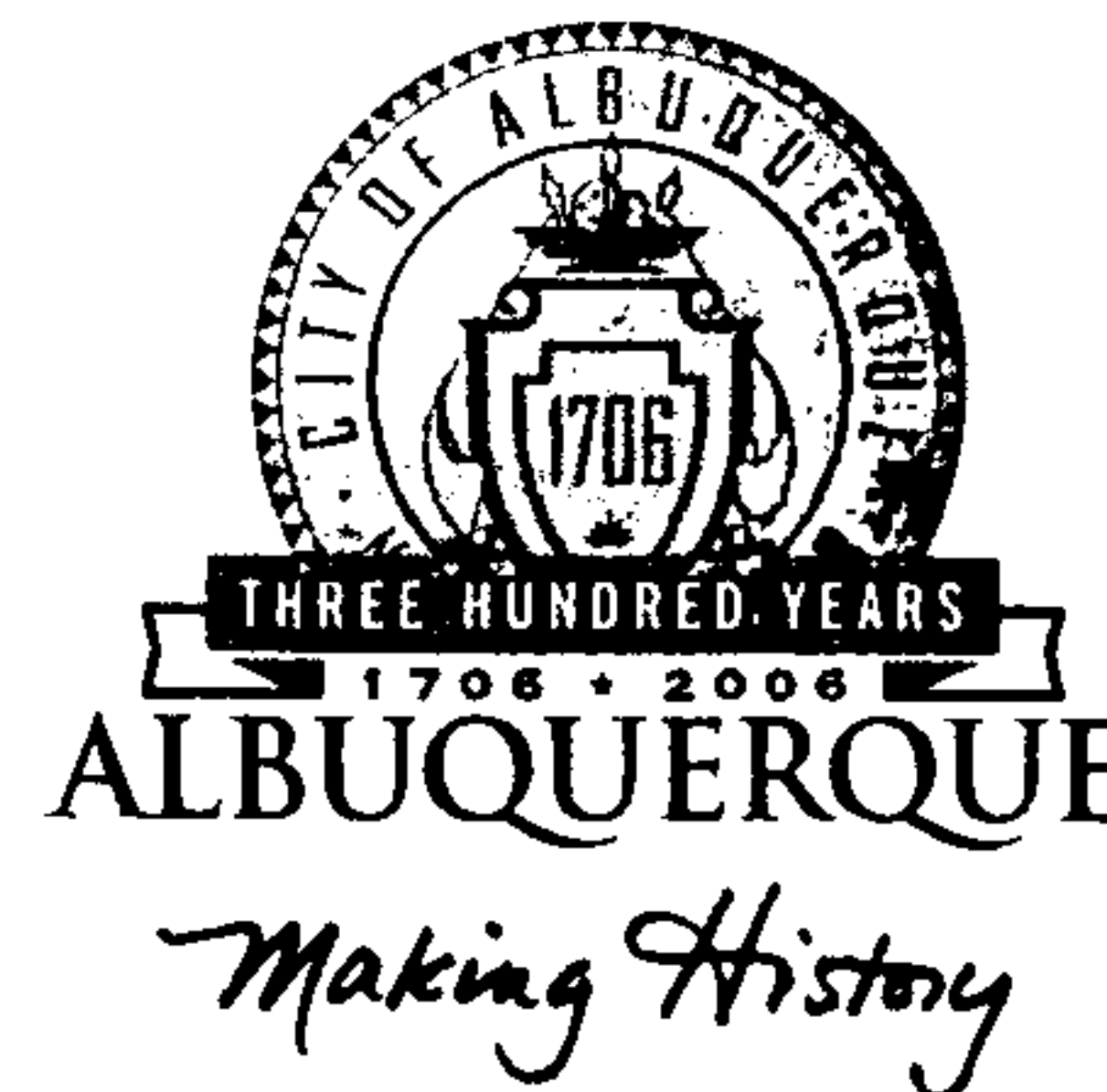


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 21, 2005

Lee D. Gamelsky, Registered Architect
2412 Miles Road SE
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for
Chalmers Alameda Car Sales, [C-18 / D69]
8700 San Mateo Blvd NE
Architect's Stamp Dated 07/06/05

Dear Mr. Gamelsky:

P.O. Box 1293

The TCL / Letter of Certification submitted on July 21, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Santiago-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
~~Hydrology~~ file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

C-18/D69

PROJECT TITLE: Chalmer's Alameda Car Sales
~~CAR CARE Center / SALES~~ ZONE MAP/DRG. FILE # C-17/C-18
 DRB#: _____ EPC#: 1003824 WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 1-A Levi Graves & Co. (A REPT OF TRACT 1)
 CITY ADDRESS: 5200 Alameda Ave
8700 San Mateo NE

ENGINEERING FIRM: ISAACSON and AEMAN
 ADDRESS: 128 Manzanita NE
 CITY, STATE: ALBUQUERQUE NM
 CONTACT: Scott McGee
 PHONE: 268.8828
 ZIP CODE: 87108

OWNER: WRangler Properties
 ADDRESS: 2600 American Rd
 CITY, STATE: Rio Rancho NM
 CONTACT: Vaden Kales
 PHONE: 890.2280
 ZIP CODE: 87124

ARCHITECT: LEE Gamelsky Architects
 ADDRESS: 2412 Niles Rd SE
 CITY, STATE: ALBUQUERQUE NM 87106
 CONTACT: Lee Gamelsky
 PHONE: 842.8865
 ZIP CODE: 87106

SURVEYOR: By General Contractor
 ADDRESS: _____
 CITY, STATE: _____
 CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: Gerald Martin
 ADDRESS: Jefferson NE
 CITY, STATE: ALBUQUERQUE N.M.
 CONTACT: Johnny Barton
 PHONE: 823.6065
 ZIP CODE: 87199

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☒ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

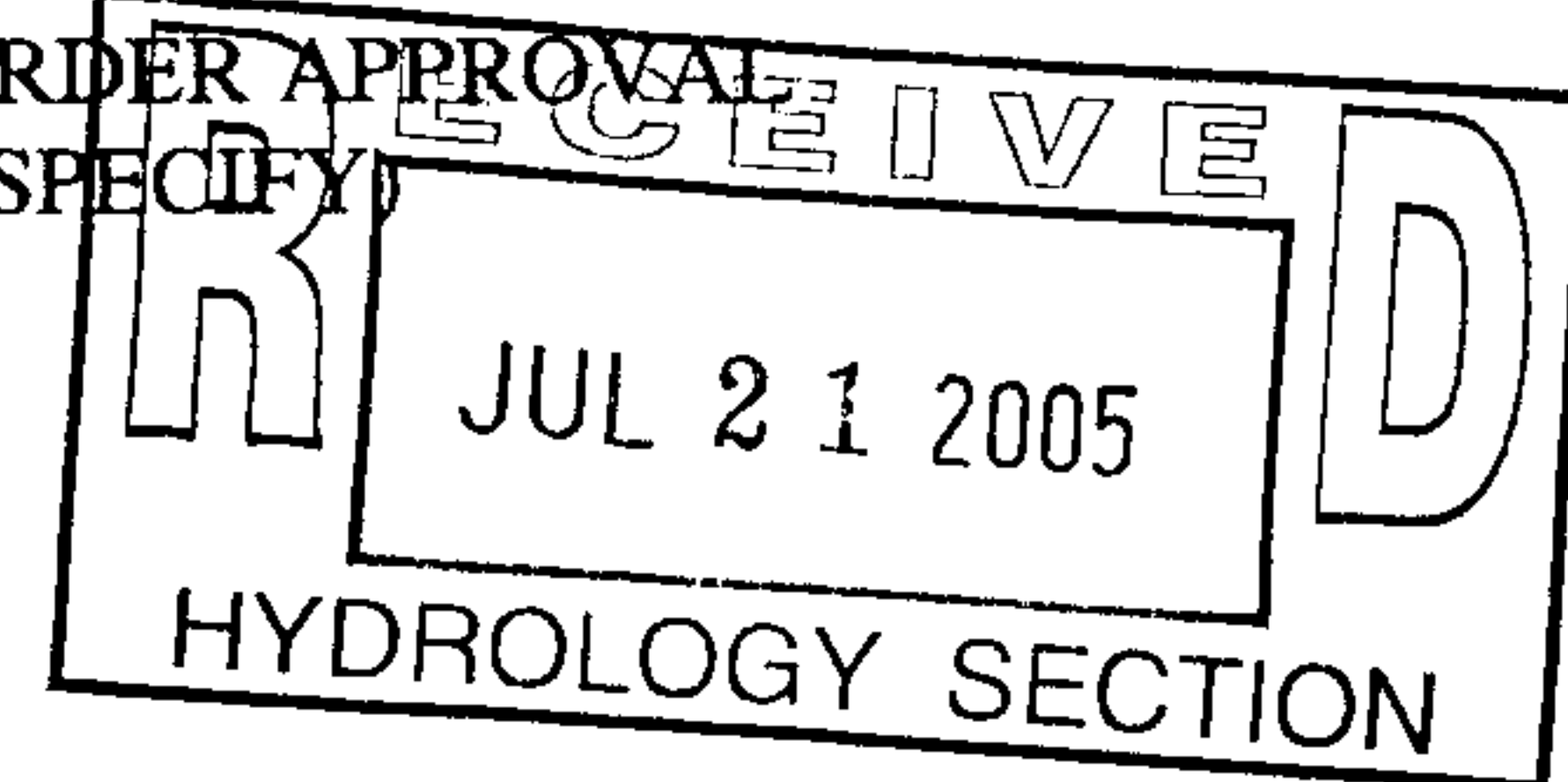
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: LEE Gamelsky DATE: 7.21.05

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



LEE GAMELSKY ARCHITECTS P.C.

6 July 2005

City of Albuquerque
Transportation Department
Plaza del Sol
600 - 2nd Street NW
Albuquerque, NM 87102

RE: Letter of Certification
Don Chalmers Car Care Center/Auto Sales Building
Located at Alameda and San Mateo Blvd., Albuquerque, NM.

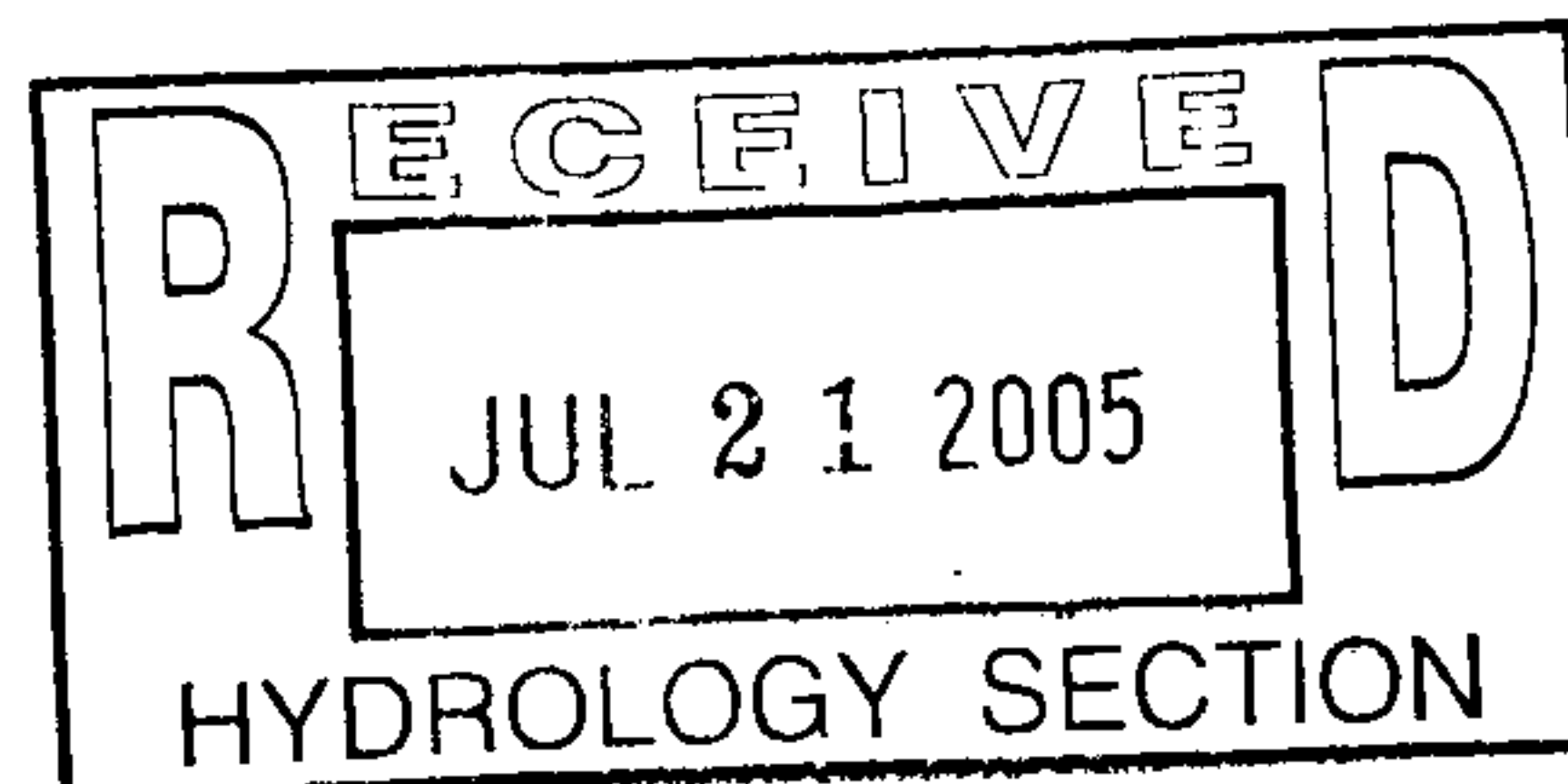
To Whom It May Concern:

This letter is written to certify that the above referenced project has been constructed per the Construction Documents and the approved Plans. The constructed Project shows substantial compliance of the Site Plan Drawings and the DRB approved Drawings.

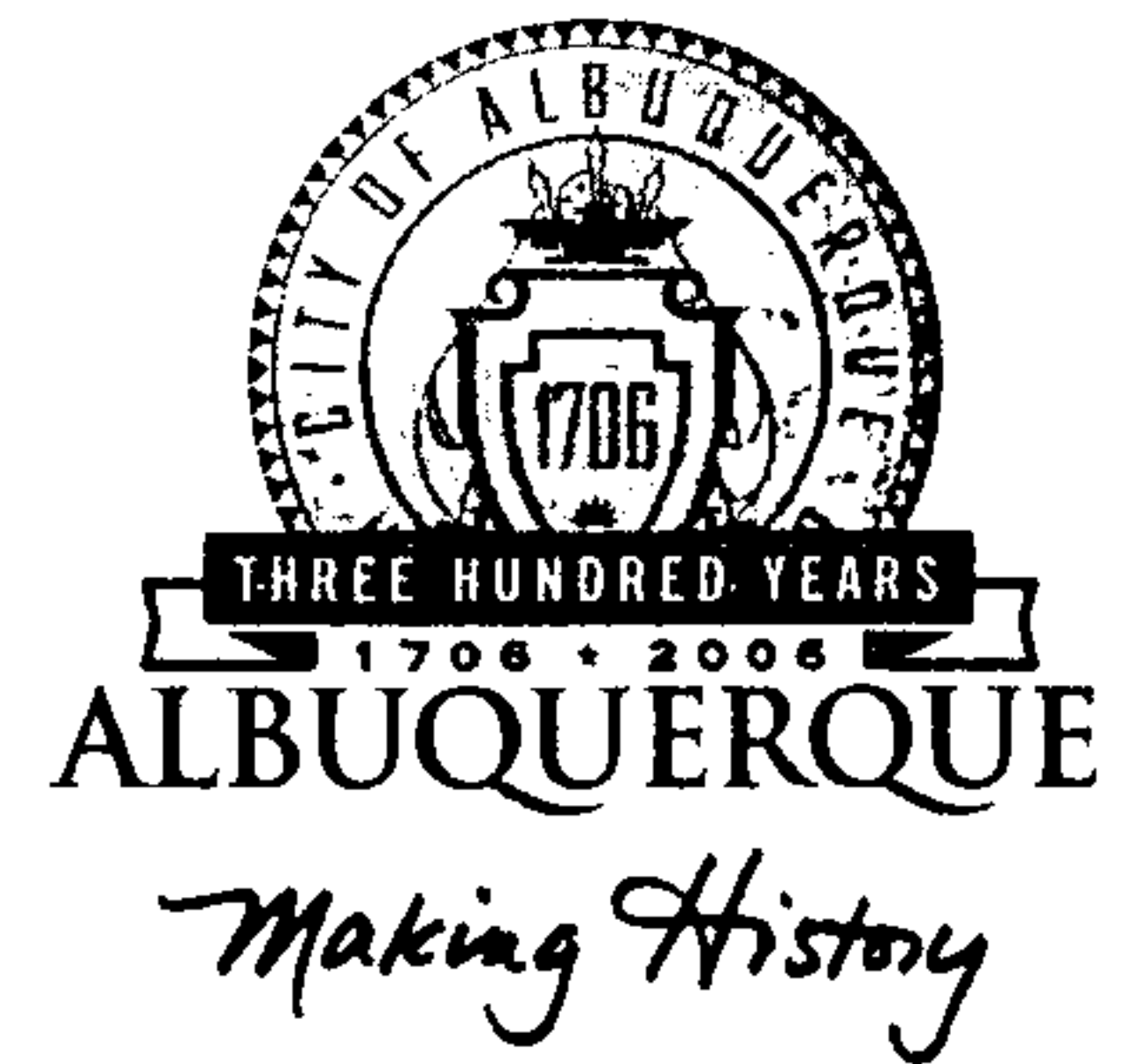
If you have any questions or comments please feel free to call.

Sincerely,


Lee Gamelsky, AIA



CITY OF ALBUQUERQUE



July 14, 2005

Mr. Scott McGee, P.E.
ISAACSON & ARFMAN, PA
128 Monroe St. NE
Albuquerque, NM 87108

Re: CHALMERS ALAMEDA CAR SALES
8700 San Mateo Blvd. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 01/07/2005 (C-18/D69)
Certification dated 07/13/2005

Dear Scott:

P.O. Box 1293

Based upon the information provided in your submittal received 07/14/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: Phyllis Villanueva
, File 1

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

C-18/1269

PROJECT TITLE: CHALMERS ALAMEDA CAR SALES ZONE MAP/DRG. FILE #: C-18/1269
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 1-A LEVI STRAUSS & CO.
CITY ADDRESS: 8700 San Mateo Rd. N.E.

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Scott McGEE
PHONE: (505) 268-8828
ZIP CODE: 87108

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: LEE GAMELSKY
ADDRESS: 2412 MILES RD SE
CITY, STATE: ABQ NM

CONTACT: LEE GAMELSKY
PHONE: 842-8865
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: GERALD MARTIN
ADDRESS: 8501 JEFFERSON NE
CITY, STATE: ABQ, NM

CONTACT: FRED GORENZ
PHONE: 828-144
ZIP CODE: 87113

CHECK TYPE OF SUBMITTAL:

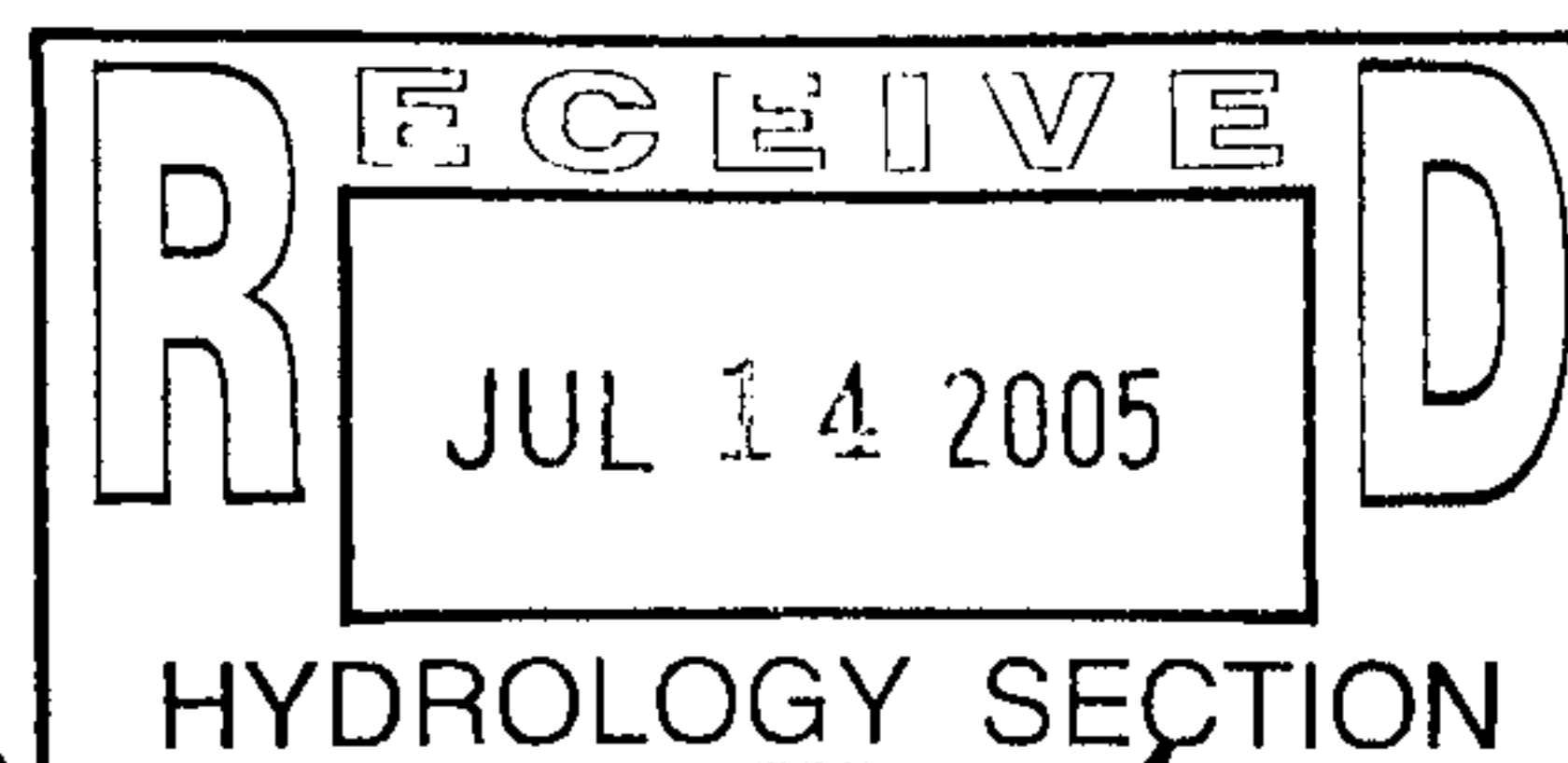
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

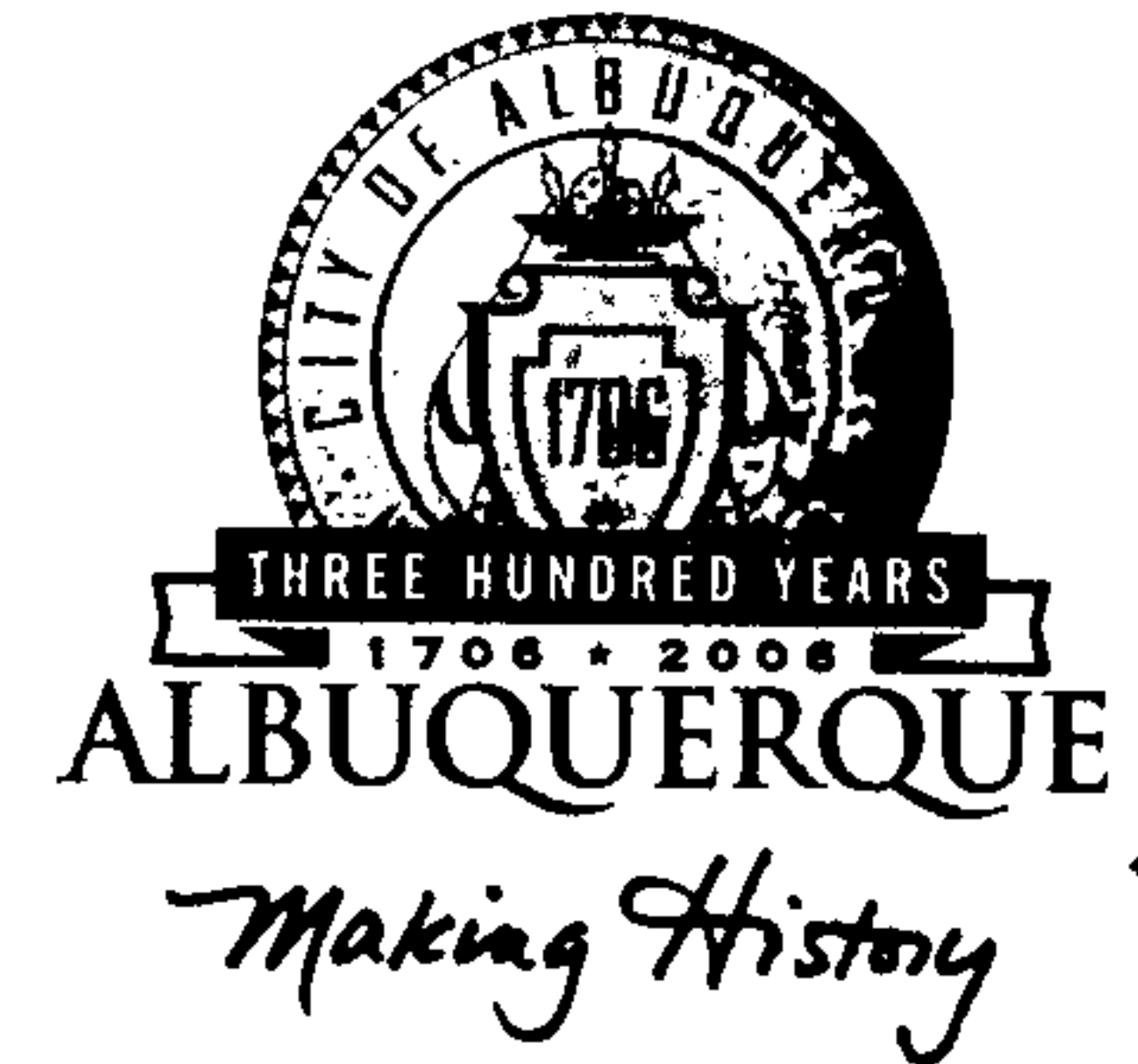


DATE SUBMITTED: 7/13/05 BY: Scott McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



February 10, 2005

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Chalmers Alameda Car Sales, 8700 San Mateo Blvd NE, Grading and
Drainage Plan
Engineer's Stamp dated 1-07-05 (C18-D69)**

Dear Mr. McGee,

P.O. Box 1293

Based upon the information provided in your submittal received 1-13-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Pam Lujan, Excavation Permits
Charles Caruso, DMD Storm Drainage Design
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Chalmers Alameda Car Sales
Car Care Center / Sales at San Mateo / Alameda
 DRB #: _____ EPC #: _____
 LEGAL DESCRIPTION: Tract 1-A, Levi Strauss and Co
 CITY ADDRESS: 8700 San Mateo
 ZONE MAP / DRG. FILE #: C-18 / D69
 WORK ORDER #: _____

ENGINEERING FIRM: Isaacson & Arfman, P.A.
 ADDRESS: 128 Monroe St. NE
 CITY, STATE: Albuquerque, NM
 CONTACT: Amy L. D. Niese, PE
 PHONE: 268-8828
 ZIP CODE: 87108

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____
 CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

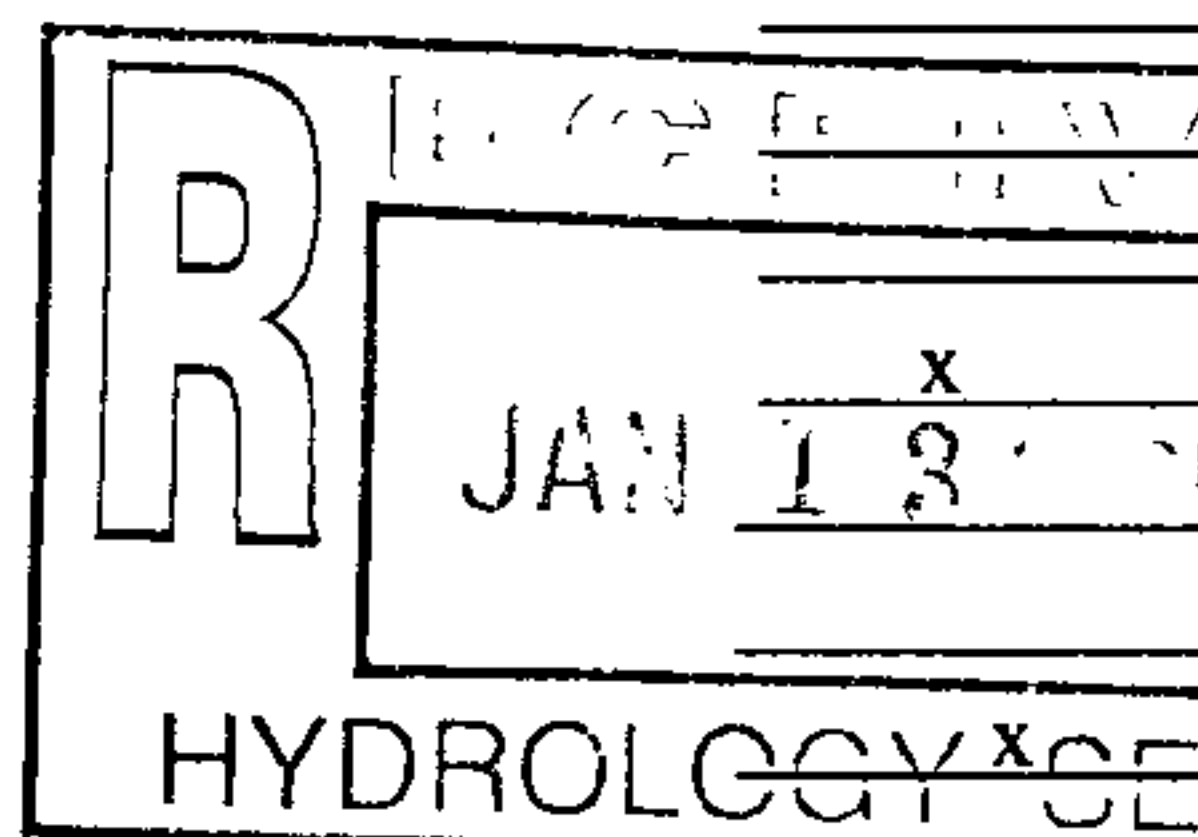
ARCHITECT: Lee Gamelsky
 ADDRESS: 2413 Miles Road SE
 CITY, STATE: Albuquerque, New Mexico
 CONTACT: Lee Gamelsky
 PHONE: 842-8865
 ZIP CODE: 87106

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: Albuquerque, New Mexico
 CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: Gerald Martin
 ADDRESS: 8501 Jefferson NE
 CITY, STATE: Albuquerque, NM
 CONTACT: Fred Gorenz
 PHONE: 828-1144
 ZIP CODE: 87113

CHECK TYPE OF SUBMITTAL:
 _____ DRAINAGE REPORT
☒ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
 _____ DRAINAGE PLAN RESUBMITTAL
 _____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
 _____ EROSION CONTROL PLAN
 _____ ENGINEER'S CERTIFICATION (HYDROLOGY)
 _____ CLOMR / LOMR
 _____ TRAFFIC CIRCULATION LAYOUT (TCL)
 _____ ENGINEER'S CERTIFICATION (TCL)
 _____ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☒ OTHER - SO19

CHECK TYPE OF APPROVAL SOUGHT:
 _____ SIA / FINANCIAL GUARANTEE RELEASE
 _____ PRELIMINARY PLAT APPROVAL
 _____ S. DEV. PLAN FOR SUB'D APPROVAL
 _____ S. DEV. PLAN FOR BLDG. PERMIT APPR.
 _____ SECTOR PLAN APPROVAL
 _____ FINAL PLAT APPROVAL
 _____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 _____ CERTIFICATE OF OCCUPANCY (PERM)
 _____ CERTIFICATE OF OCCUPANCY (TEMP)
 _____ GRADING PERMIT APPROVAL
 _____ PAVING PERMIT APPROVAL
 _____ WORK ORDER APPROVAL
 _____ OTHER



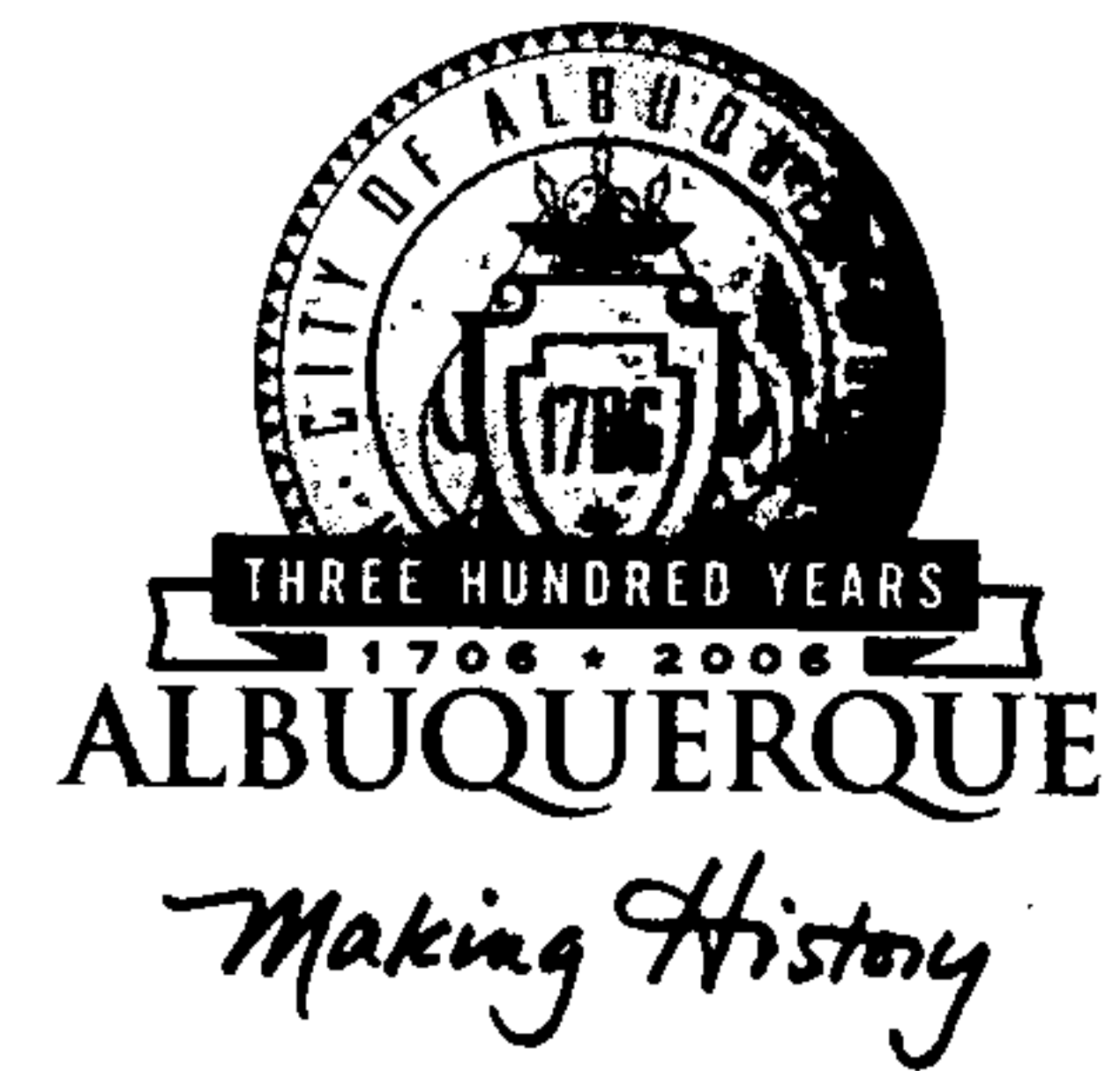
WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
☒ NO
 _____ COPY PROVIDED

DATE SUBMITTED: 1/12/04
 BY: Amy L. D. Niese, PE
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

CITY OF ALBUQUERQUE



February 10, 2005

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Chalmers Alameda Car Sales, San Mateo Blvd / Alameda Blvd NE, Site
Development Plan**
Engineer's Stamp dated 12-13-04 (C18-D69)

Dear Mr. McGee,

Based upon the information provided in your submittal received 12-13-04, the
above referenced plan is approved for Site Development Plan for Building Permit
action by the DRB.

P.O. Box 1293

If you have any questions, you can contact me at 924-3981.

Albuquerque

New Mexico 87103

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: CHALMERS ALAMEDA CAR SALES ZONE MAP/DRG. FILE #: C-18/D69
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 1-A LEVI STRAUSS & CO.
CITY ADDRESS: _____

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe Street NE

CITY, STATE: Albuquerque, NM

CONTACT: Scott McGEE

PHONE: (505) 268-8828

ZIP CODE: 87108

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: LEE GAMELSKY

ADDRESS: 2412 MILES RD SE

CITY, STATE: ABQ NM

CONTACT: LEE GAMELSKY

PHONE: 842-8865

ZIP CODE: 87106

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: GERALD MARTIN

ADDRESS: 8501 JEFFERSON NE

CITY, STATE: ABQ NM

CONTACT: FRED GORENZ

PHONE: 828-1144

ZIP CODE: 87113

CHECK TYPE OF SUBMITTAL:

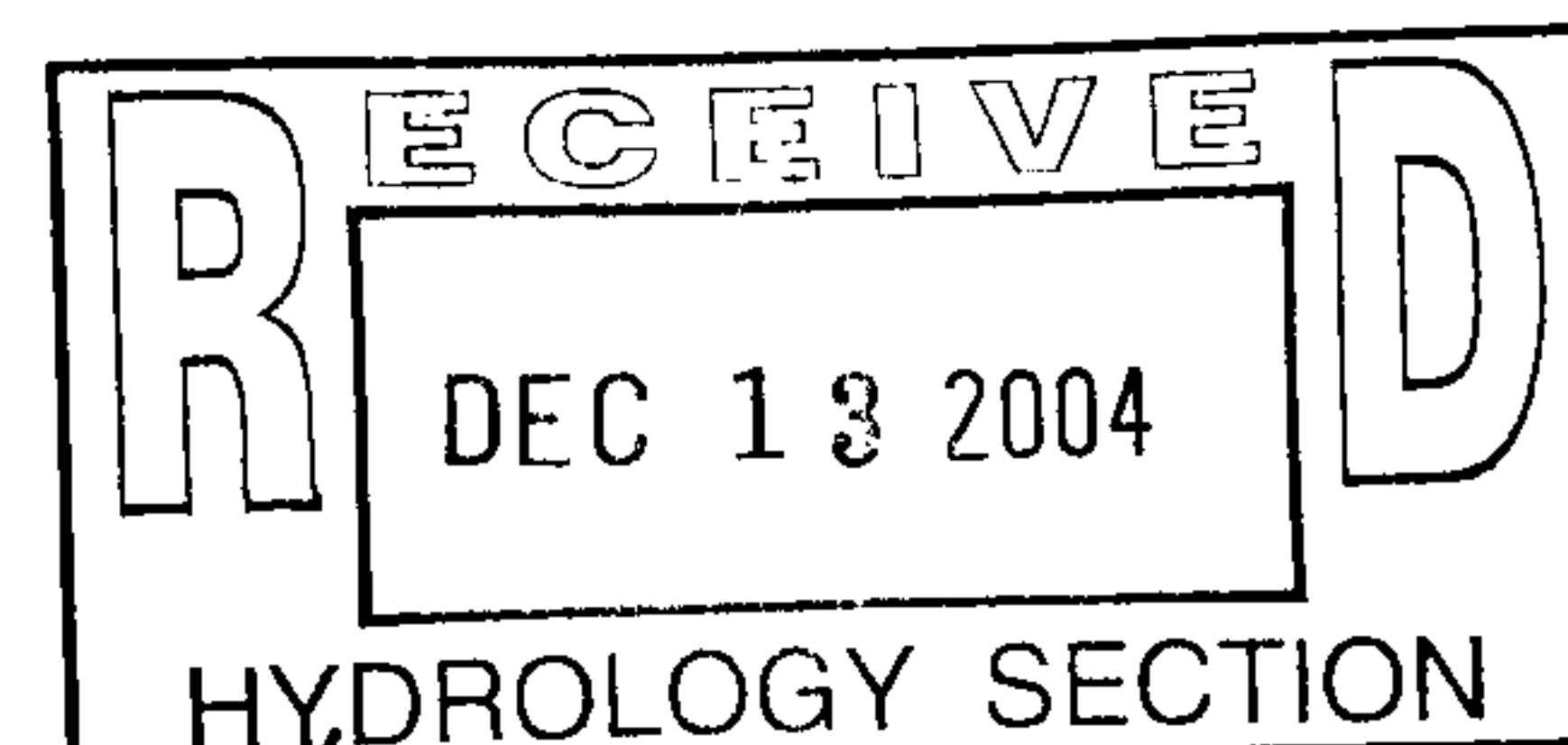
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 12/13/2004

BY: _____

Scott McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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