# CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



Mayor Timothy M. Keller

December 19, 2019

Verlyn Miller Miller Engineering Consultants, Inc. 3500 Comanche NE Albuquerque, NM 87107

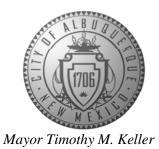
RE: Barlow Shop 6205 Wilshire NE Grading and Drainage Plan Engineer's Stamp Date: 12/4/19 Hydrology File: C18D070

Dear Mr. Miller,

- PO Box 1293 Based on the submittal received on 12/11/19, the above-referenced Grading and Drainage Plan cannot be approved until the following are corrected:
- This project requires major infrastructure (construction of Wilshire half-street), so a DRB approved Site Plan, with infrastructure list is required prior to considering this site for Building Permit.
- NM 87103
   As part of the DRB Site Plan, an approved Conceptual Grading and Drainage Plan is required; show all improvements in the ROW; these should be labeled as "to be constructed by Work Order, or similar.
- Www.cabq.gov
   3. This project must demonstrate compliance with the North Albuquerque Acres Master Drainage Plan (RTI, 1998); storm drain may be required.
  - 4. Show all existing and proposed property lines.
  - 5. Provide written and signed permission from the owner to the east for the grading and pond construction on their property.
  - 6. North arrow is oriented wrong.
  - 7. The plan should be labeled "Conceptual not for Construction" or similar, for inclusion in the Site Plan.
  - 8. Hydraulic calculations need to be provided for all proposed drainage facilities.

# CITY OF ALBUQUERQUE

*Planning Department* Brennon Williams, Director



If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E. Senior Engineer, Planning Dept. Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



## City of Albuquerque

Planning Department Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

 Project Title: Barlow Shop
 Building Permit #:
 Hydrology File #:

 DRB#: \_\_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_ Legal Description: \* 031 030 TRACT A UNIT B NORTH ALBUQUERQUE ACRES CONT 38,610 SF M/L City Address: 6205 Willshire Ave. N.E., Albuquerque, NM, 87113 Applicant: Scott Barlow Contact: Scott Barlow Address: 209 Sombrero Loop NE, Albuquerque, NM 87113 Phone#:\_\_\_\_\_ Fax#:\_\_\_\_\_ E-mail:\_\_\_\_\_ Other Contact: Miller Engineering Consultants, Inc. Contact: Verlyn Miller Address: 3500 Comanche NE, Bldg. F, Albuquerque, NM 87107 Phone#: <u>505-888-7500</u> Fax#: <u>505-888-3500</u> E-mail: vmiller@mecnm.com TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE X ADMIN SITE IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes X No DEPARTMENT \_\_\_\_\_ TRANSPORTATION X HYDROLOGY/DRAINAGE Check all that Apply: **TYPE OF APPROVAL/ACCEPTANCE SOUGHT:** X BUILDING PERMIT APPROVAL TYPE OF SUBMITTAL: CERTIFICATE OF OCCUPANCY ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION PRELIMINARY PLAT APPROVAL CONCEPTUAL G & D PLAN SITE PLAN FOR SUB'D APPROVAL X GRADING PLAN SITE PLAN FOR BLDG. PERMIT APPROVAL DRAINAGE REPORT FINAL PLAT APPROVAL DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT APPLIC \_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE ELEVATION CERTIFICATE FOUNDATION PERMIT APPROVAL CLOMR/LOMR \_\_\_\_ GRADING PERMIT APPROVAL TRAFFIC CIRCULATION LAYOUT (TCL) \_\_\_\_ SO-19 APPROVAL \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS) PAVING PERMIT APPROVAL STREET LIGHT LAYOUT GRADING/PAD CERTIFICATION \_\_\_ OTHER (SPECIFY) \_\_\_\_ WORK ORDER APPROVAL PRE-DESIGN MEETING? CLOMR/LOMR \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY) DATE SUBMITTED: 12-11-19 By:

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:\_\_\_\_\_



#### LETTER OF TRANSMITTAL

 DATE
 12/11/19
 Project No.

 ATTENTION:
 Hydrology Dept.

 RE:

 Barlow Shop Project

#### Transmitted herein are the attached documents (noted below):

COPIES	DATE	NO.	DESCRIPTION	
1			COA Application for Building Permit	
2			Grading & Drainage Plans Set	
1			Email of COA electronic copy	
1			PDF electronic copy sent to COA	
1			Transmittal Letter	

THESE ARE TRANSMITTED as checked below:

🛛 For Approval	E For Your Use	As Requested	For Review & Comment

Other:

REMARKS: Project Engineer: Verlyn Miller

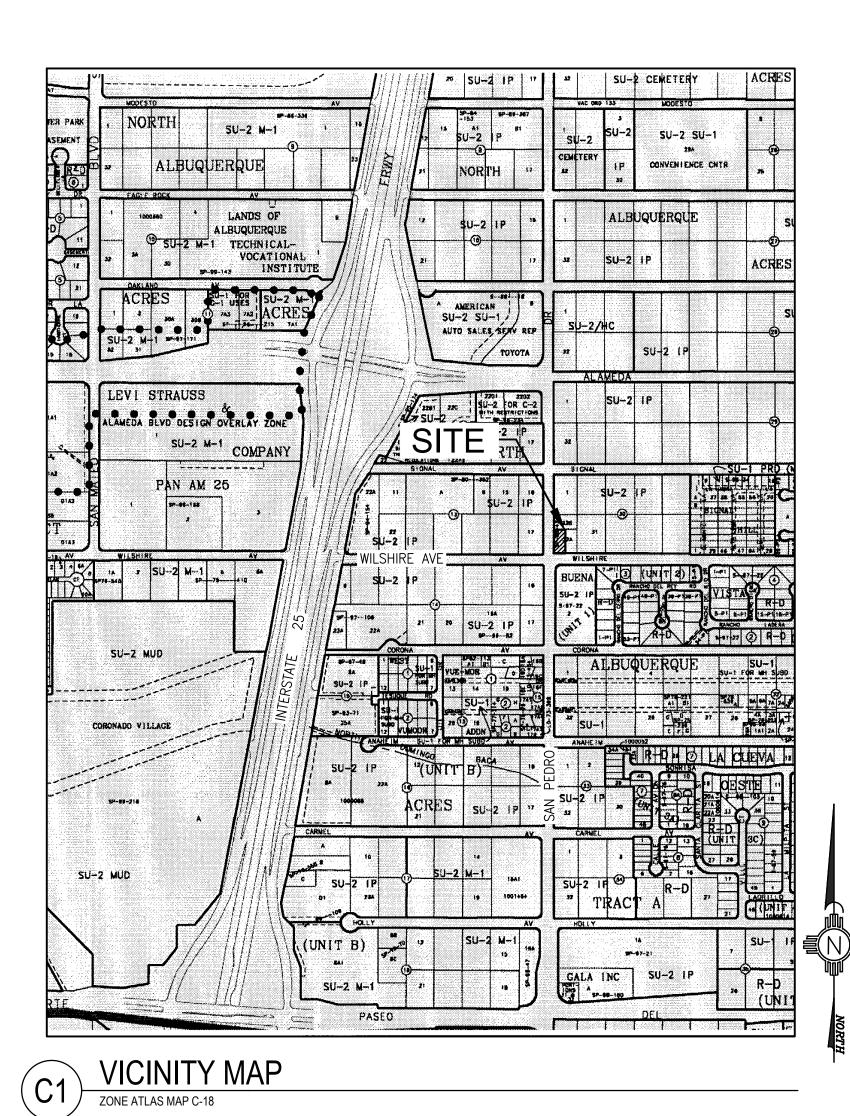
Copy Sent To: VA MEC File

SIGNED: J. Your FOR MILLER ENGINEERING

3500 Comanche Road NE, Building F · Albuquerque, NM 87107-4546 Phone 505-888-7500 · Fax 505-888-3800 · www.mecnm.com

COA Planning Department Development & Building Services Division – Design Review 600 2nd Street NW Albuquerque, NM 87102

TO



### SITE LOCATION

The site is located on Wilshire Avenue NE and can be accessed by San Pedro Boulevard south of Alameda Boulevard (see vicinity map).

#### **EXISTING CONDITIONS**

The current site is estimated at 0.87 acres and is partially developed with an existing commercial building and a small gravel parking area. Most of the site is a dirt parking lot with sparse native vegetation. The terrain moderately slopes from east to west at an estimated average slope of 4%. There are two offsite drainage basins that potentially impact the site, Basin OS-1 and OS-2, as indicated o the FEMA Panel Mop on this sheet. It appears that these offsite areas have been recently grading and surfaced with a base course material and is currently being used for a parking lot. The runoff from these offsite basins in indicated in the hydrology calculations on this sheet.

#### PROPOSED CONDITIONS

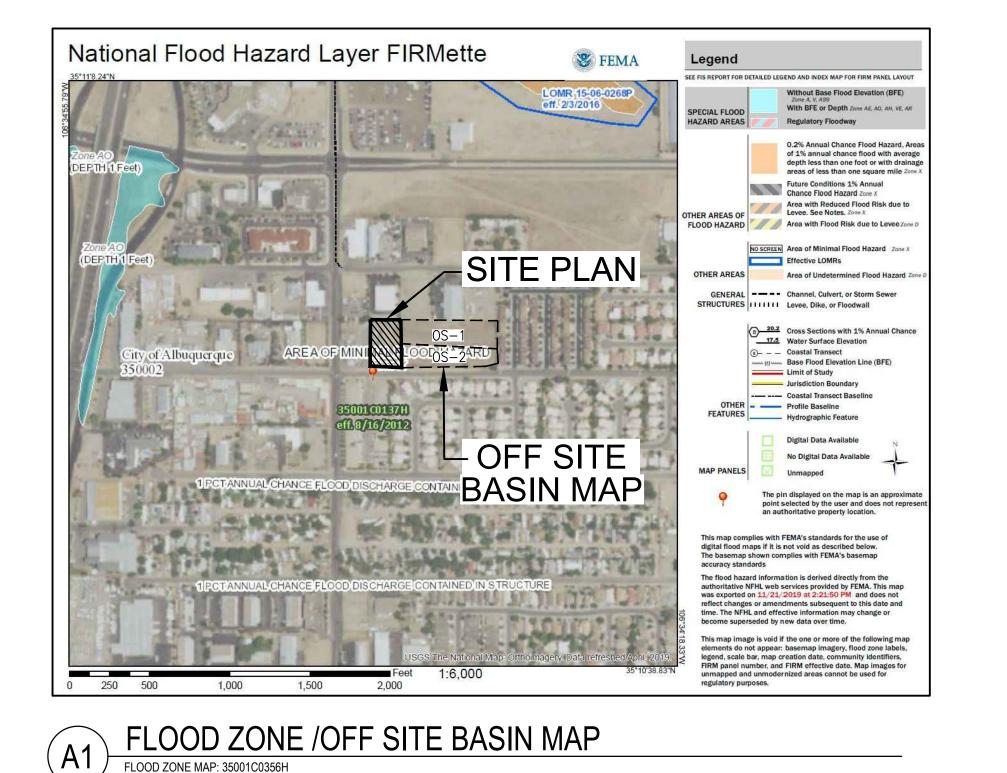
The proposed project would consist of a new commercial building, handicapped parking space, a concrete apron, trash enclosure, and concrete sidewalk around the building. The finish floor elevation will be set high enough to promote positive drainage away from the building foundation. A drainage swale and proposed first flush pond will be constructed on the site as indicated on the grading and drainage plan for accommodate the first flush volume required by ordinance.

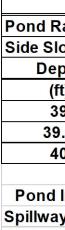
#### CONCLUSIONS

When developed as indicated on the grading and drainage plan, the increased runoff from the site is estimated at 0.21 cfs, and 784 cf during the 100-year event. The first flush pond volume required for the project estimated at 167 cf. The proposed first flush pond is designed to accommodate 266 cf, which is well above the anticipated first flush volume for the proposed project. The offsite drainage basin that impacts the site (Basin OS-2) will drain into a proposed offsite ponding area to be constructed by the adjacent landowner. This storm water control should have been construed with the recent development of this land when base course surfacing was added. This ponding area will alleviate the potential impacts of the offsite runoff on the site.

# Precipita Basir Existing Site OS-1 OS-2

Propose Site Tota





# DRAINAGE DATA

			HYDRO	LOGY					
tation Z	Zone 3 - 100-	year Storm		P(360) =		2.6 in		P(1440) = 3.1 in	
	Basin	L	and Treatn	nent Factor	s				
sin	Area	Α	В	С	D	Ew	V(100-6)	V(100-24)	Q(100)
	(Ac)		(Acres	)		(in)	(af)	(af)	(cfs)
Cond	itions								
	0.87	0.00	0.00	0.73	0.15	1.47	0.106	0.112	3.23
	1.68	0.00	0.00	1.68	0.00	1.29	0.181	0.181	5.80
	1.29	0.00	0.00	1.29	0.00	1.29	0.139	0.139	4.45
ed Conditions									
	0.87	0.00	0.00	0.59	0.28	1.63	0.118	0.130	3.44
al	0.87								3.44

Pond Rating Table						
	Ро	nd #1				
Pond Rating T	able	Spillway Crest = 40.0				
Side Slope	2:1					
Depth	Area	Volume	Cum Volume			
(ft) (sq ft)		(cubic fet)	(cubic feet)			
39	111	0	0			
39.5 243		88	88			
40	467	178	266			
Pond Invert		39.0				
Spillway Crest		40.0				
WSE (First Flue	sh)	39.7				
WSE (100-year	)	40.0				

# FIRST FLUSH CALCULATIONS

<u>BASIN A</u> VFF = (0.34 IN \*5880 SF)/12

VFF = 167 CF

VOLUME PROVIDED = 266 CF

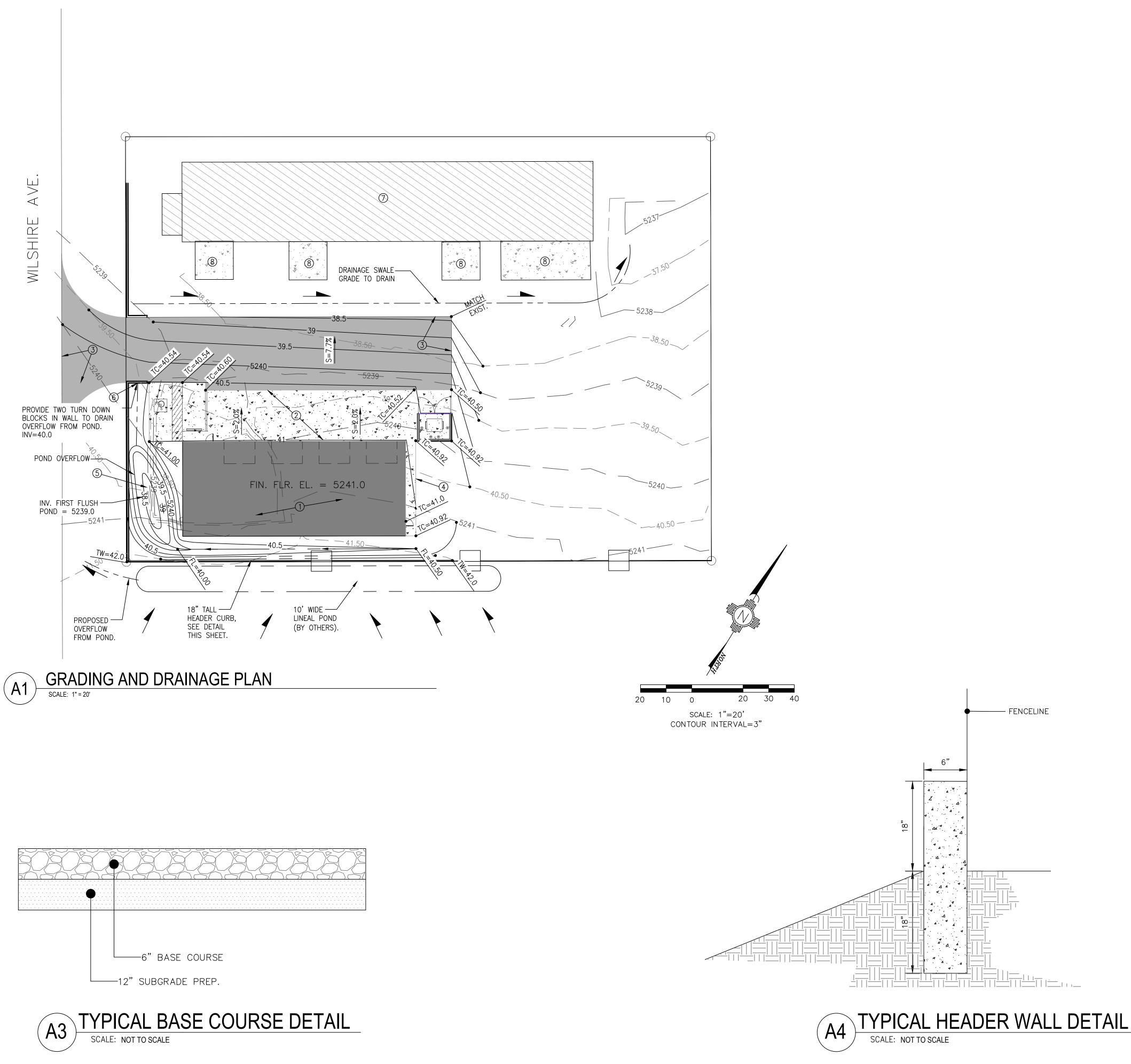
#### **GENERAL NOTES:**

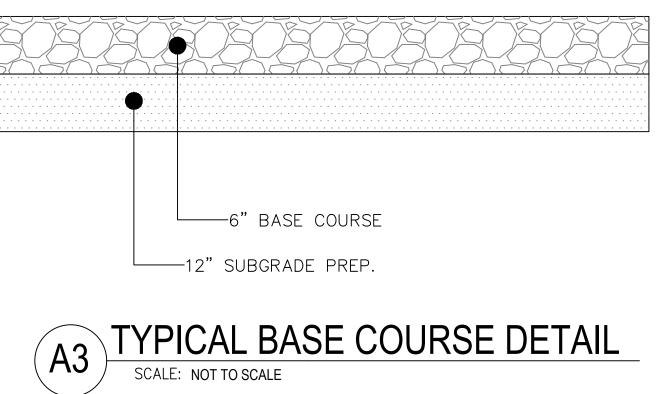
1. EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY THE OWNERS. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.

2. NOT USED

- 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- 4. CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- 6. ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- 7. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 8. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- 9. THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- 10. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.

		CHARLIE M. OTERO ARCHITECT
11.	THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.	8000 Pennsylvania Circle NE Albuquerque, New Mexico (505) 254-2232 (505) 881-2990 Fax
12.	THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.	Architecture / Construction Management Services
13.	SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.	
14.	THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.	
15.	THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.	
16.	ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.	
17.	THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.	
18.	THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)	
	ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.	
		No. Description Date
		Barlow Shop 6205 Wilshire Ave. N.E.
	AND A. MILLER	HYDROLOGY
	14507 E	REPORT
	CHARLES IZA 19	Project number019-XXDateXX-XX-19Drawn byXXX
	MILLER ENGINEERING CONSULTANTS	Checked by XXX
	Engineers • Planners	C-100

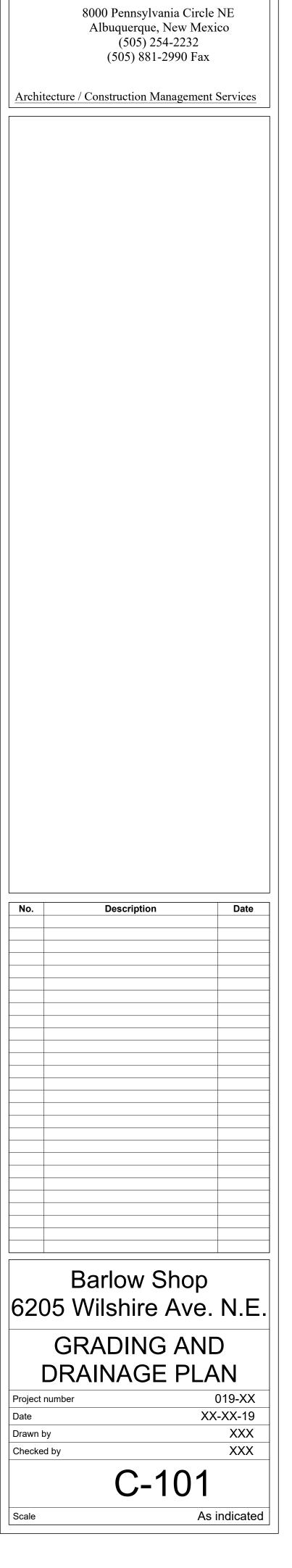




<u>    LEG</u>	END:							
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TCON FL INV	TOP OF ( FLOW LIN INVERT	CONCRETE IE, CURB	TBC TC TG	TOP OF CURB TOP OF GRATE	URSI			
FG	FINISH G	RADE	TA	TOP OF ASPHALT FLOW ARROW				
	$\frown$		EAK—HIGH F	POINT				
	SD	SWALE STORM DRA	AIN LINE					
5	895 ———		PROPOSED MAJOR CONTOUR					
5 5	895 — —	PROPOSED MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR						
		TOP OF CL	JT SLOPE					
EYED	NOTES	b: 1						
	NFORCED CO	METAL BUILD		DWGS. FOR SECTIO	NS			
NEW 6" SECTION	BASE COURS	SE SURFACING	SSEE THIS S	SHEET FOR PAVEME	NT			
4'WIDE	CONCRETE S	SIDEWALK.						
FIRST FI D=18".	USH POND,	INV=5238.5,	SPILLWAY=5	5240.0, VOL=417 CF	-,			
		CKS TO ALLOV	V FOR DRAI	NAGE.				
	WAREHOUSE							
EXISTING	CONCRETE	SLAB.						

MILLER ENGINEERING CONSULTANTS

Engineers • Planners



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CHARLIE M. OTERO

ARCHITECT