

CITY OF ALBUQUERQUE



February 5th, 2020

Charlie M. Otero Architect
Charlie M. Otero, R.A.
8000 Pennsylvania Circle NE
Albuquerque, NM

Re: Barlow Shop
6205 Wilshire Ave NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 12-11-19 (C18D070)

Dear Mr. Otero

Based upon the information provided in your submittal received 2-3-20, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please remove clouds on TCL Plan.
2. Please relocate Bike Rack, not allowed within parking stall.
3. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
4. Bicycle racks shall be sturdy and anchored to a concrete pad.
5. A 1-foot clear zone around the bicycle parking stall shall be provided.
6. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

PO Box 1293

Albuquerque

NM 87103

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Once corrections are complete please deliver TCL to front counter. No Resubmittal required. Minor Corrections.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

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KEYED NOTES

- 6" CONCRETE SLAB APRON 3000PSI W/WVF REINFORCEMENT TURN DOWN 8"
- 6" X 6" EVAP. COOLER PADS 3000PSI W/WVF TURN DOWN EDGES.
- 6" PARKING BUMPERS (2) TYP.
- 4" CONCRETE WALK & STOOP 3000PSI.
- 6" DIA. STEEL BOLLARD PROTECTION INTERIOR AND EXTERIOR.
- ASPHALT PAVING - SEE CIVIL.
- HANDICAP SIGN - SEE SITE PLAN.
- BIKE RACK - 5 - CAPACITY.
- 5 - 4" WHITE PAINT PARKING SPACES
- 4" WHITE PAINT MOTORCYCLE SPACES
- BIKE RACK DETAIL - 5 - CAPACITY
- 5' Wide-4" Thick 4000psi Concrete Sidewalk. Remove Portion of Existing Wall and Provide New Gate for Access.
- Clear Site Triangle: Landscaping and Signage will not Interfere with Clear Site Requirements. Therefore Signs, Walls, Trees and Shrubbery Between 3 and 8 Feet Tall (As Measured from the Gutter Pan) will not be Accepted in the Clear Sight Window.
- Wall Mounted Motorcycle Only Parking Sign, See Detail.

No.	Description	Date
1	CITY OF ABQ. REVIEW COMMENTS	12/19/19
2	CITY OF ABQ. REVIEW COMMENTS	12/30/19
3	CITY OF ABQ. REVIEW COMMENTS	12/31/19
4	CITY OF ABQ. REVIEW COMMENTS	01/06/20
5	CITY OF ABQ. REVIEW COMMENTS	01/07/20
6	CITY OF ABQ. REVIEW COMMENTS	01/28/20

Owner
Barlow Shop

Site Plan

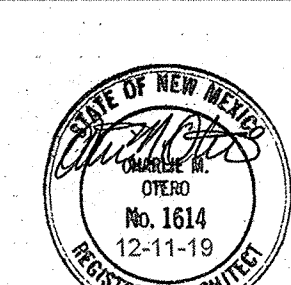
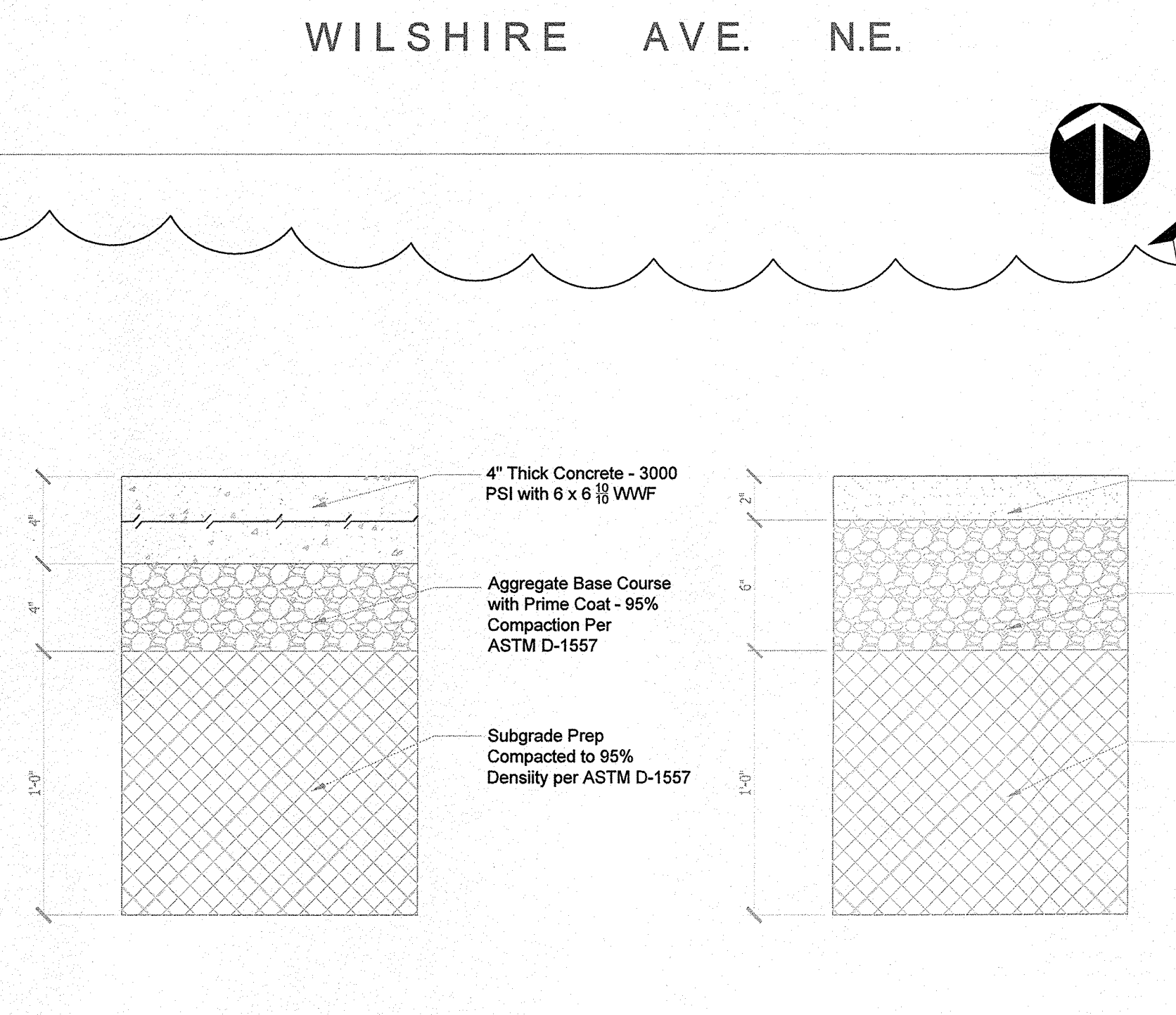
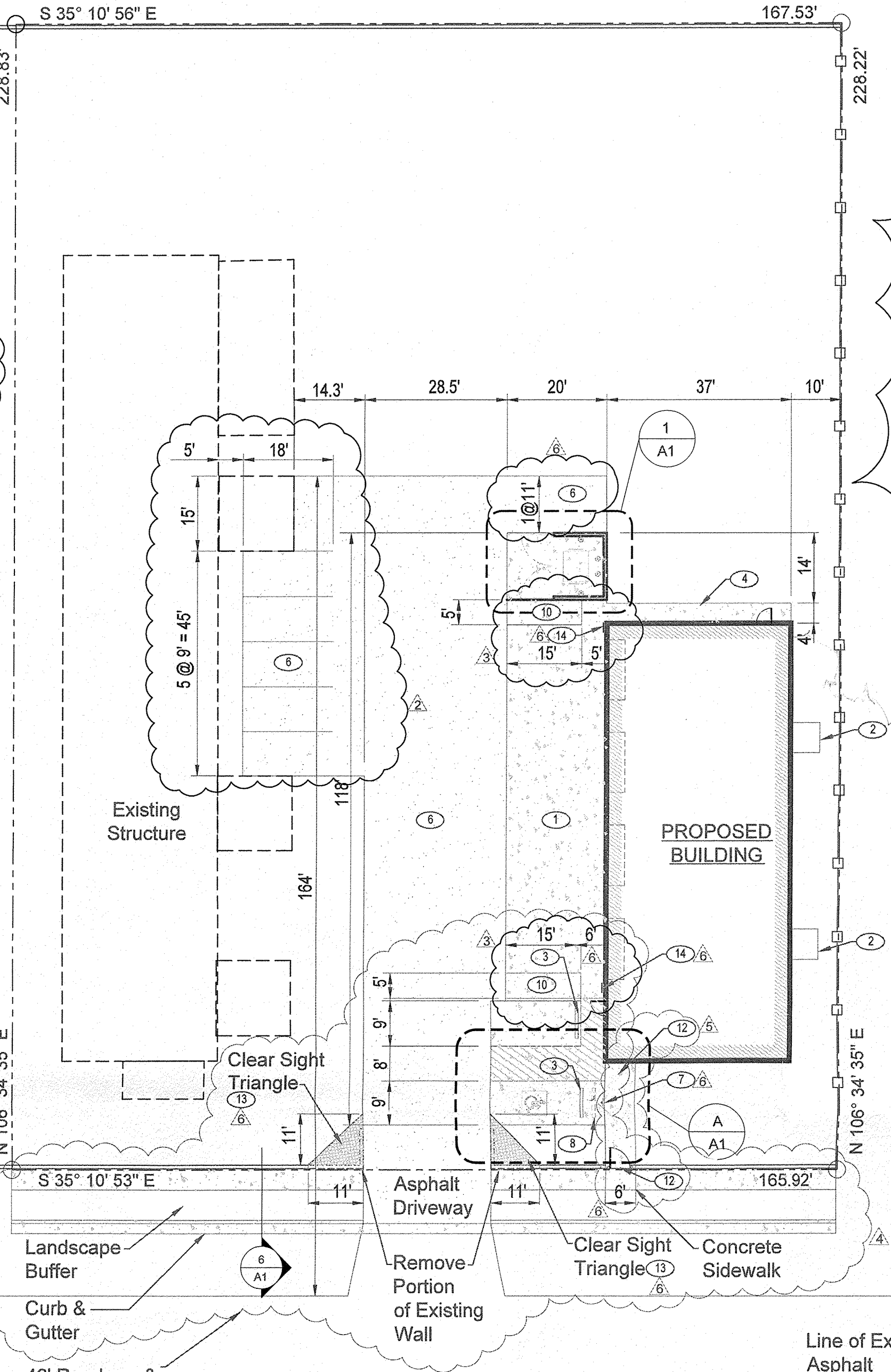
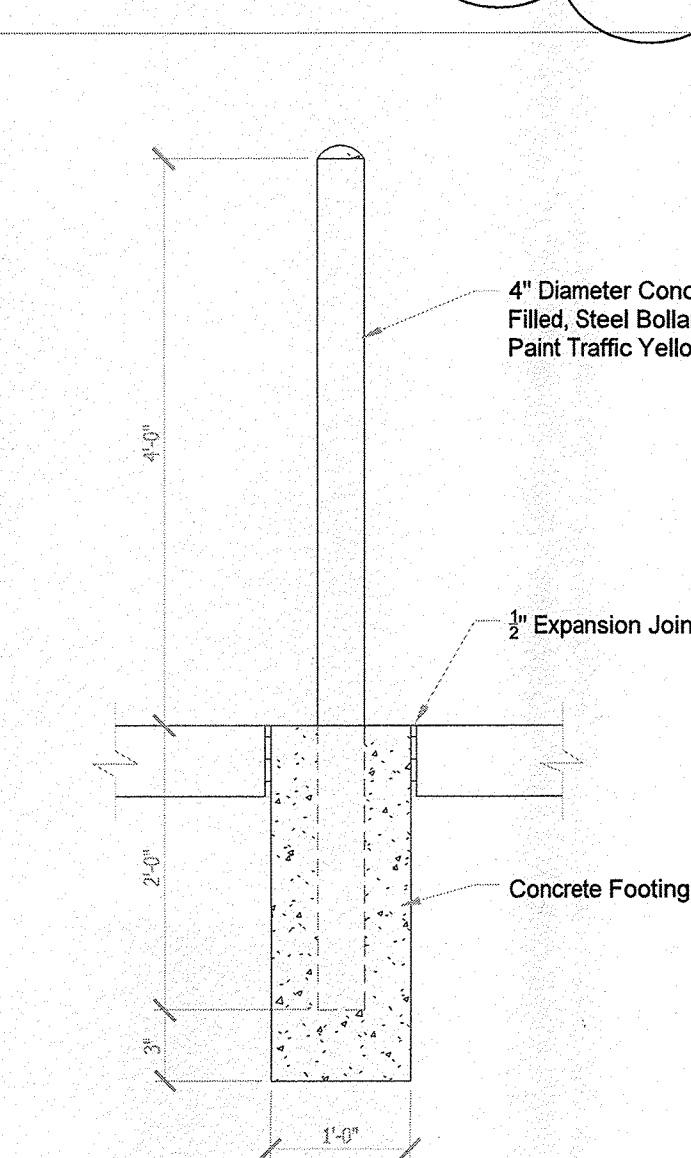
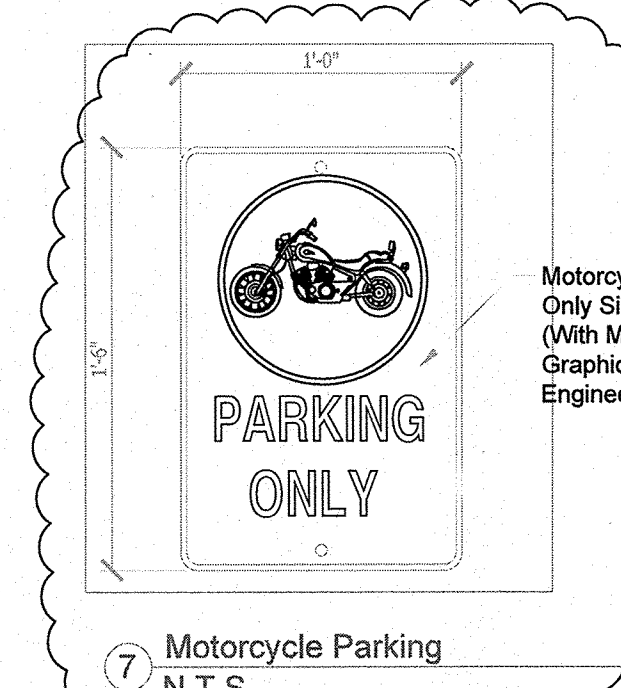
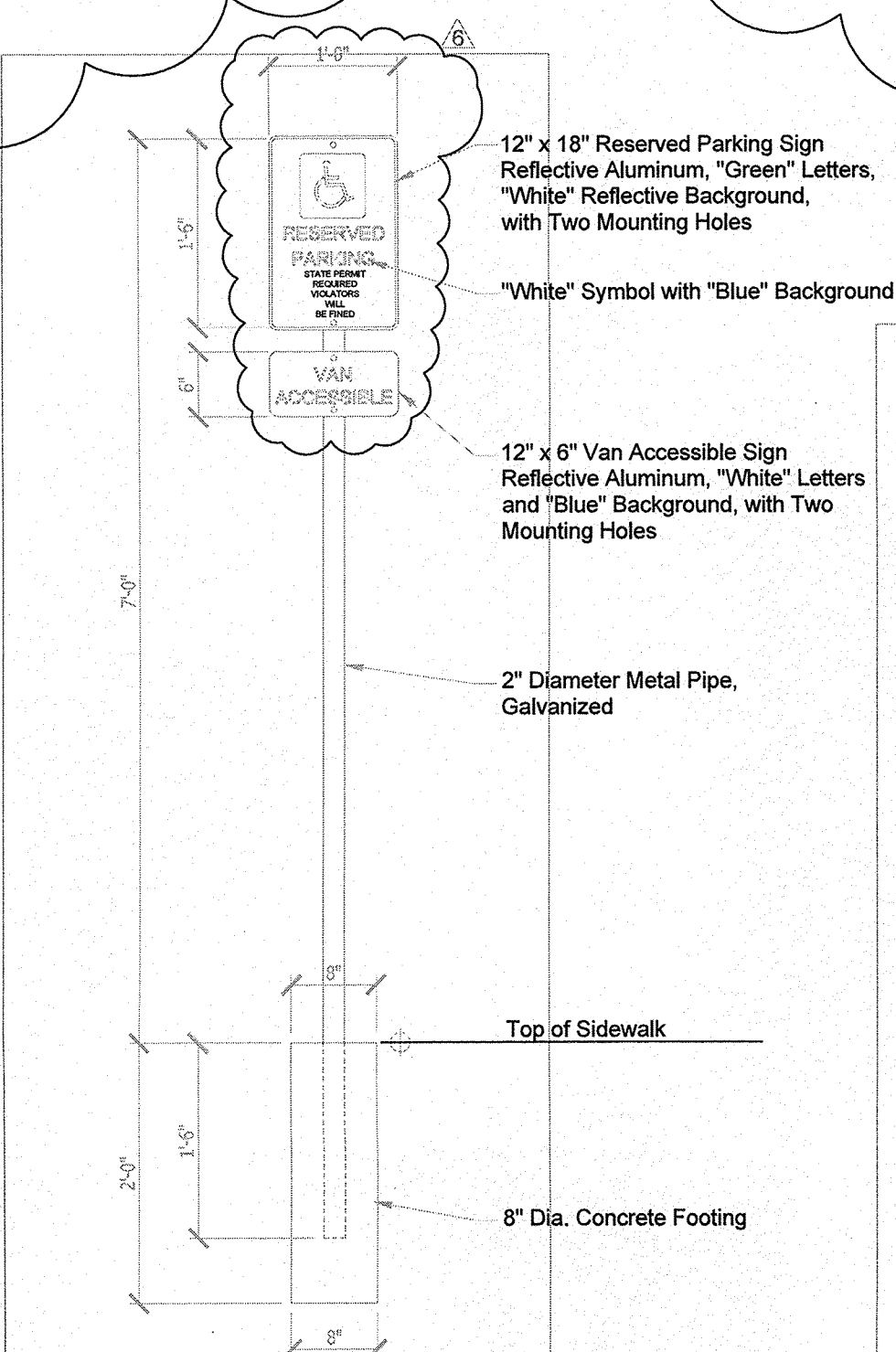
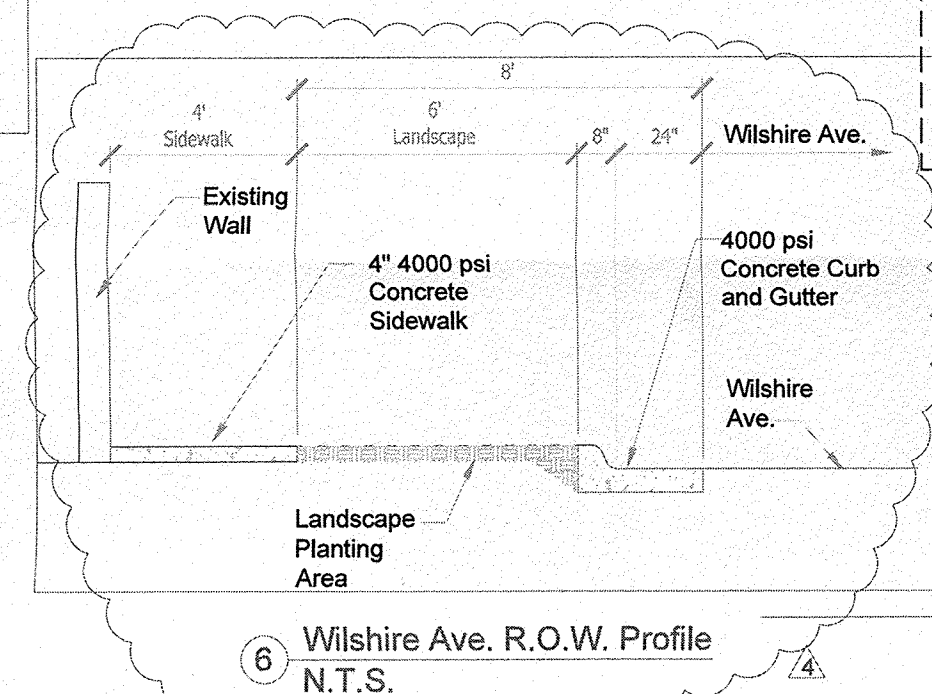
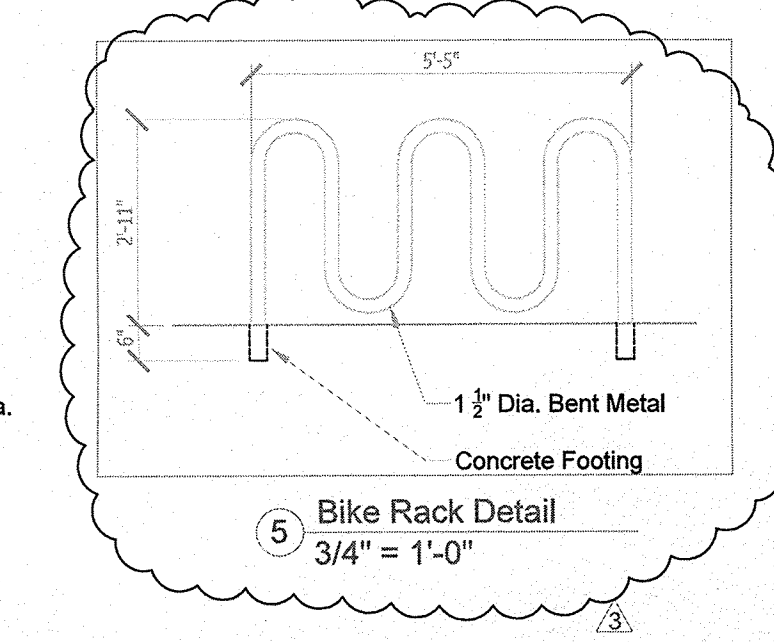
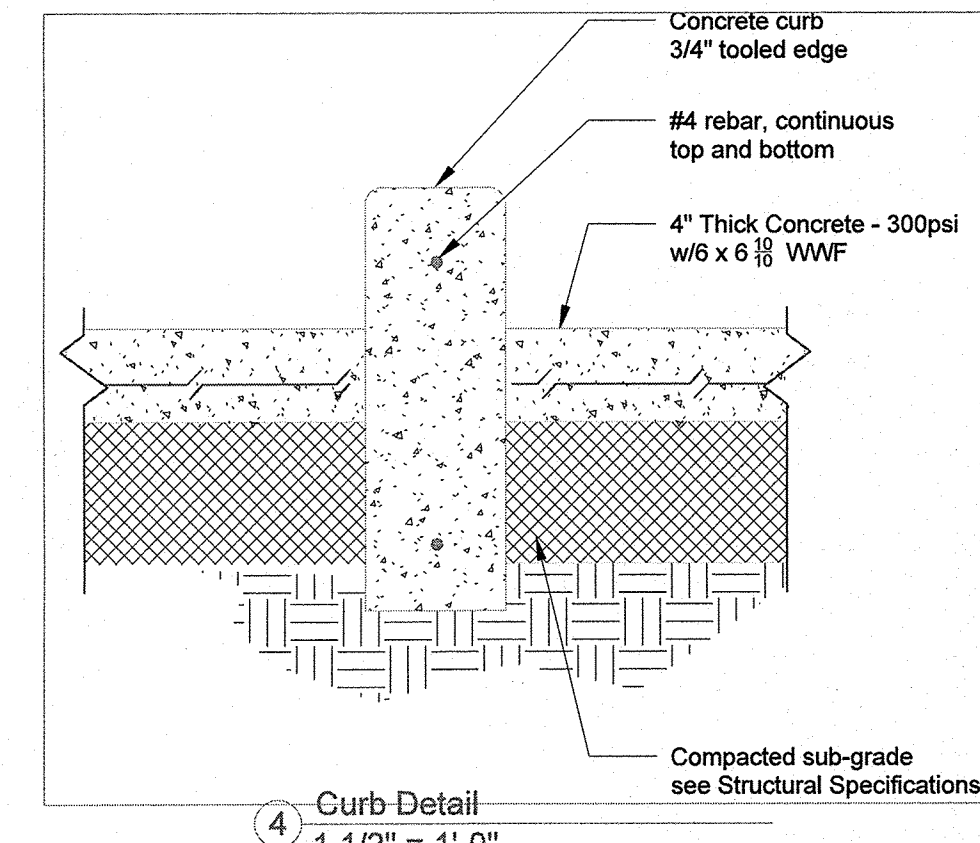
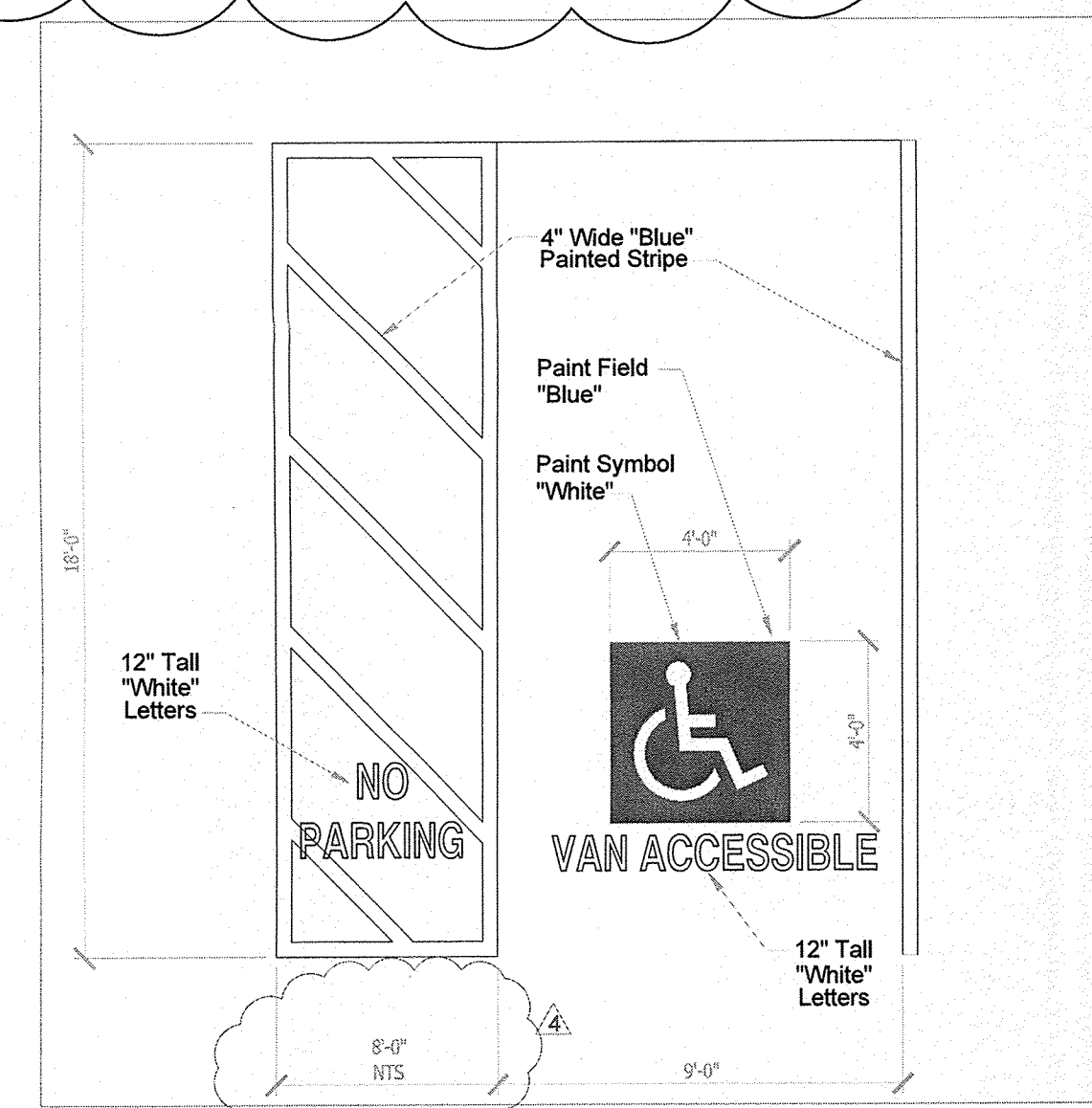
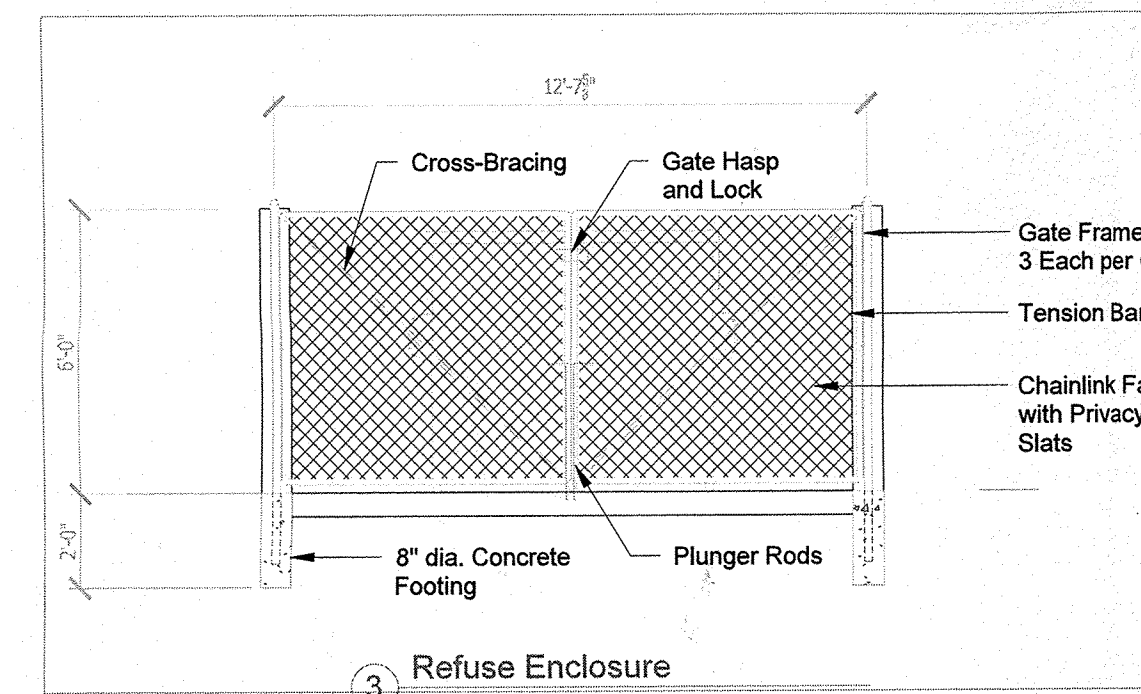
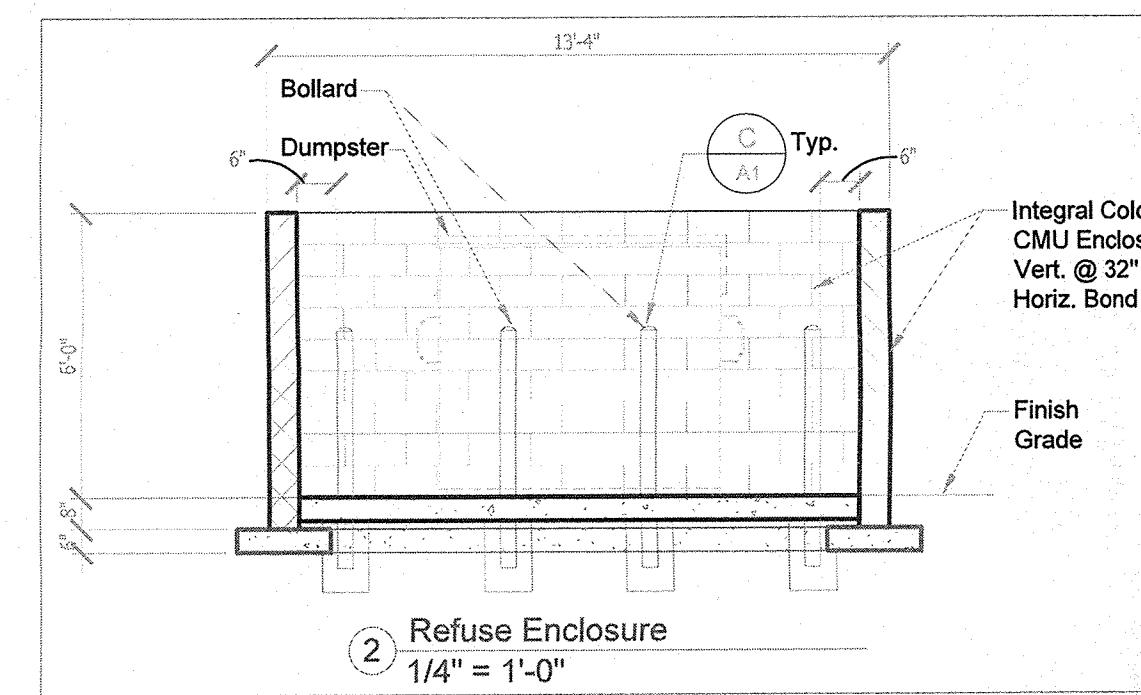
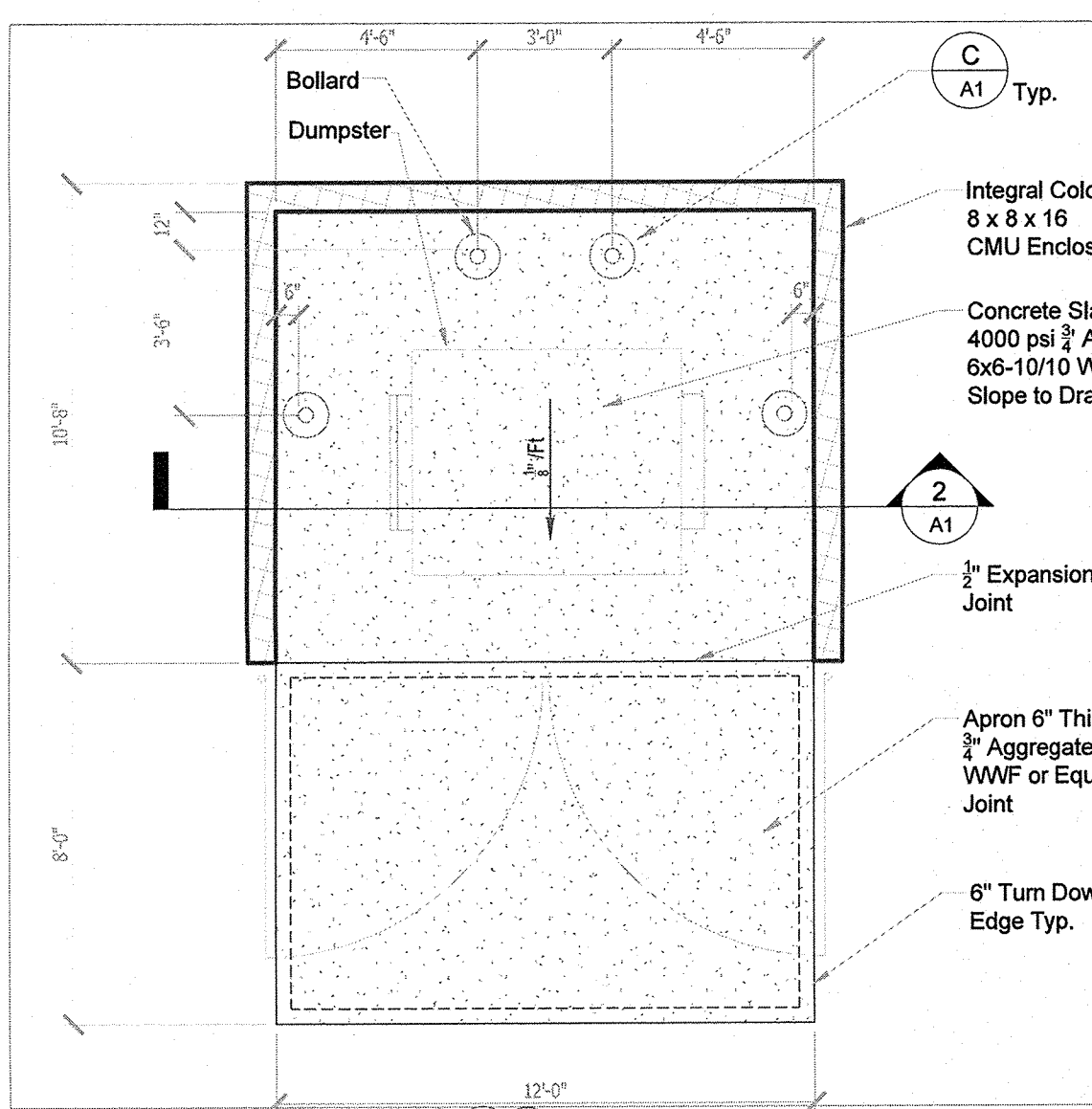
Project number 019.12
Date 12-11-19
Drawn by BEM
Checked by CMO

A1

Scale 1" = 20'-0"

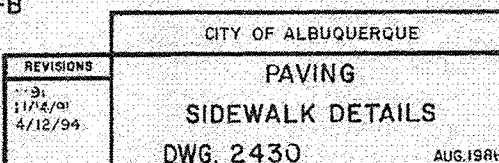
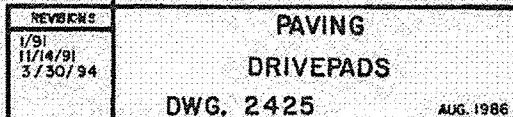
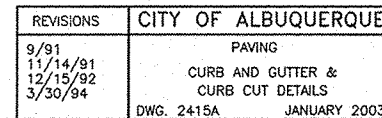
GENERAL NOTES

- FIELD VERIFY EXISTING CONDITIONS AND COORDINATE ALL TRADES.
- TROWEL FINISH INTERIOR CONCRETE FLOORS. SLOPE TO DRAIN.
- REFER TO METAL BUILDING MANUFACTURE FOR ERECTION DRAWINGS.
- ALL WORK IS INCLUDED ON THE WORK ORDER AND PRIVATE WORK ON SITE.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.

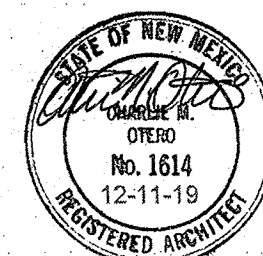




Architecture / Construction Management Services

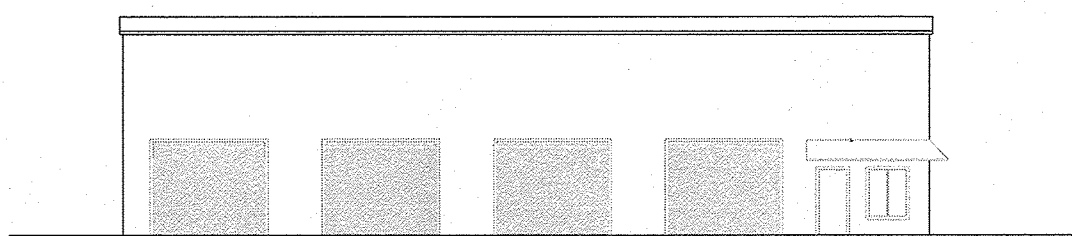


Scale N.T.S.

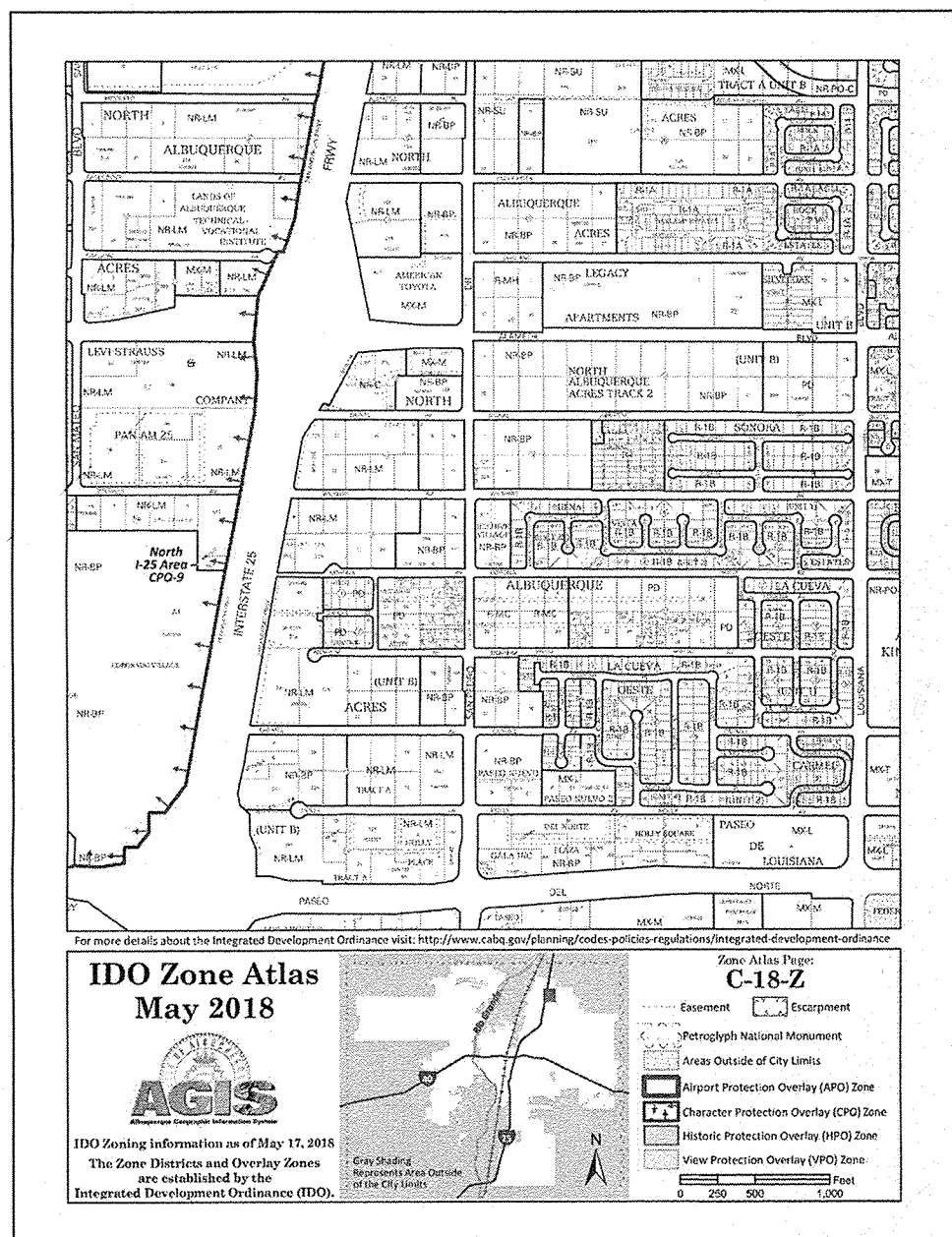


BARLOW SHOP

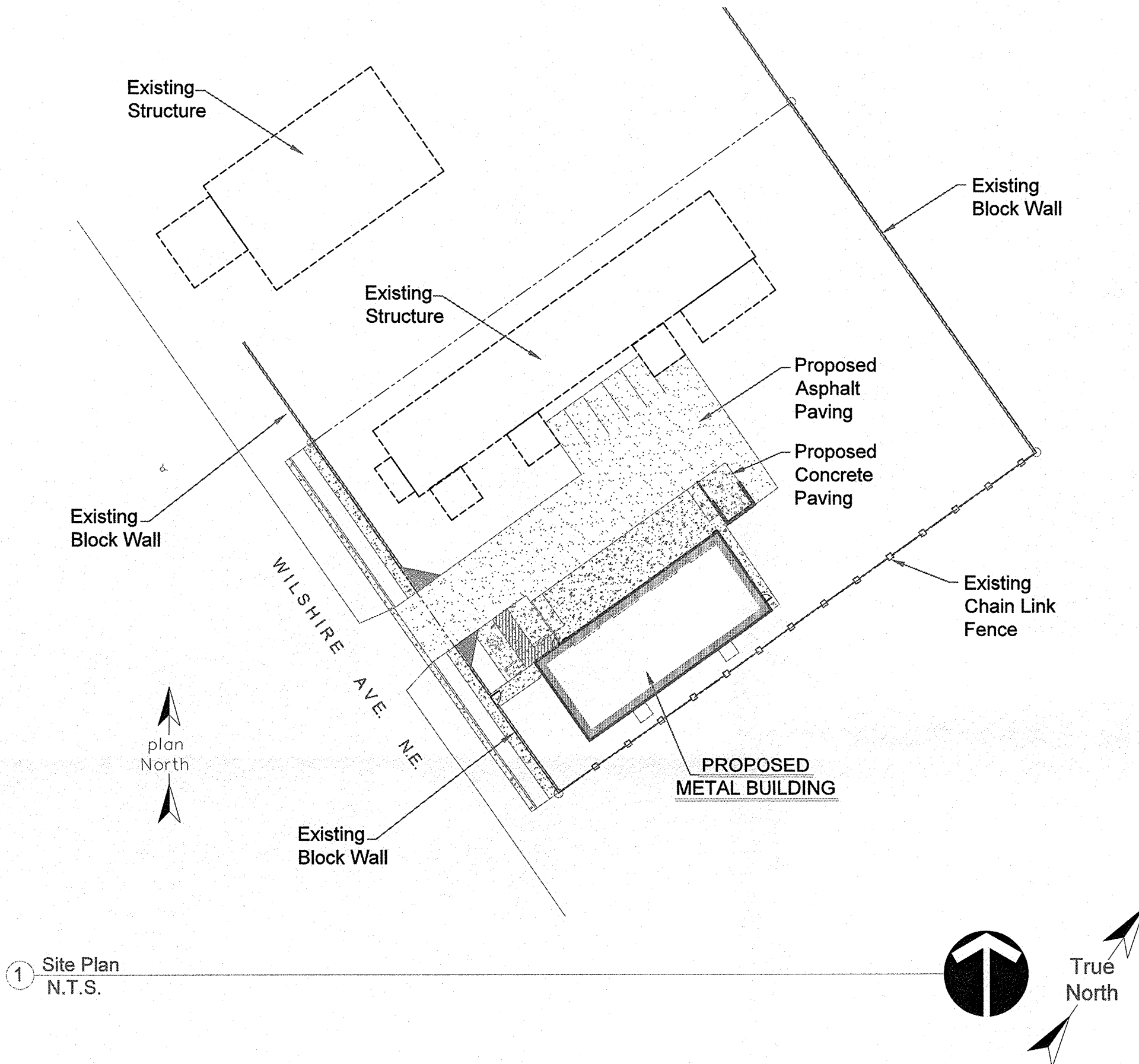
Albuquerque, New Mexico



PROJECT ADDRESS:
6205 Wilshire Ave. N.E.
Albuquerque, N.M.
87113



Zone Atlas Map
N.T.S.



Vicinity Map
N.T.S.

DRAWING LIST

- | | |
|------------|--|
| 1 - CS | COVER SHEET, CODE ANALYSIS PLANS, MAPS, ELEVATION, CALCS AND NOTES |
| 2 - C100 | HYDROLOGY REPORT |
| 3 - C101 | GRADING AND DRAINAGE PLAN |
| 4 - A1 | SITE PLAN AND DETAILS |
| 5 - A2 | FLOOR PLAN AND DETAILS |
| 5a - A3 | CITY STANDARD DETAILS |
| 6 - F1 | FIRE/EXIT SAFETY PLAN |
| 7 - F2 | FIRE/EXIT SAFETY PLAN |
| 8 - LS-101 | LANDSCAPING |
| 9 - S1.0 | GENERAL STRUCTURAL NOTES AND DETAILS |
| 10 - S1.1 | FOUNDATION PLAN |
| 11 - M1 | MECHANICAL PLAN |
| 12 - MP1 | SCHEDULES & DETAILS |
| 12 - E-1 | ELECTRICAL |

CODE ANALYSIS

SCOPE OF WORK SUMMARY:

Metal Building Shop with Bathrooms

ZONING NR-BP - NON RESIDENTIAL - BUSINESS PARK

CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION

SECTION 302 CLASSIFICATION
Storage Group S-1 Shop Building

SECTION 311.2 - Moderate Storage S-1 - Building Automotive

CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS

501.2 Address Identification - 6205 Wilshire NE, Alb. N.M.

SECTION 503 GENERAL BUILDING HEIGHT AND AREA LIMITATIONS

Table 503
Group S Type II-B - B Non-Sprinkled
Building Height Limitation in Feet Above Grade = 40 Feet
Actual Building Height - 22 Feet At Ridge
Building Area Limitation in Square Feet per Story = 9,000 Square Feet
Actual Square Footage Building = 3,220 Square Feet

CHAPTER 6 TYPES OF CONSTRUCTION

Table 601 Fire Resistance Rating Requirements for Building Elements (Hours) for Construction Type II - B
Primary Structural Frame - 0 Hours
Bearing Walls - Exterior - 0 Hours
Interior - 0 Hours
Non Bearing Wall / Partition - 0 Hours
Floor / Roof Construction & Associated Secondary Members - 0 Hours

Table 602
Fire Separation Less Than 5' for Occupancy Group S = 0 Hours
Load Bearing Wall Type II-B Construction Occupancy Group S = 0 Hours

Table 716.5 Opening Protection - N/A

CHAPTER 10 MEANS OF EGRESS

SECTION 1004 OCCUPANT LOAD = 7 Occupants
Table 1004.1.2 Maximum Floor Area Allowance per Occupant
Storage = 500 Gross
Total Available Floor Space 3220/500 = 7 Occupants

SECTION 1005 MEANS OF EGRESS SIZING

1005.3.2 Other Egress Components at Ground Level shall
Serve a Maximum of 7 Occupants/0.2 x 7 = 1.4 Inches
72 Inches Provided

1007.9 Signage : Lighted Exit Signs at Each Door
Table 10 21.2(2) 7<49 Occupants 1-Exit Required
2-Provided
Maximum Exit Access Travel Distance = 75 Feet
Maximum Exit Actual Distance From Any Location Within Building - 50 Feet

CHAPTER 29 PLUMBING SYSTEMS

7-Occupants - 2-Bathrooms, 1- Drinking Fountain, and 1-Service Sink
Provided

INTERNATIONAL FIRE CODE/ALARM SYSTEMS

1. Bracket Mounted ABC Type Fire Extinguishers Provided
One Every 3000 SF. Minimum. (2A1.0 BC Minimum)
1-Required 3-Provided

CHAPTER 5 FIRE SERVICE FEATURES

SECTION 503 FIRE APPARATUS ACCESS ROADS

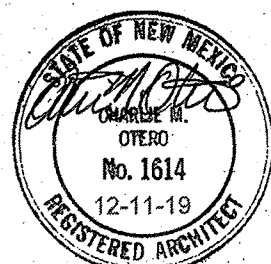
503.1.1. Approved fire apparatus access roads shall be provided for every facility, building or portion of building...and shall extend to within 150 feet of all portions of the facility...

503.2.1 Dimensions. Unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches

503.2.4 Turning radius. The required turning radius of a fire apparatus access road shall be determined by the fire code official

PARKING - 1-Space Per 1000/SF Required
New & Existing Building
8 Spaces Required
8 Spaces Provided
(1) - 5 Space Bike Rack Provided
(2) - Motorcycle Spaces Provided

LANDSCAPING - See Sheet LS-1



CHARLIE M. OTERO
ARCHITECT

8000 Pennsylvania Circle NE
Albuquerque, New Mexico
(505) 254-2232
(505) 881-2990 Fax

Architecture / Construction Management Services

CODES AND STANDARDS

This project shall be in accordance with the following Building Codes including all local amendments:

2015 International Building Code
2015 International Mechanical Code
2015 International Plumbing Code
2015 International Fire Code
2015 International Energy Conservation Code
2014 National Electric Code

All local codes and amendments

OTHER GUIDELINES, REGULATIONS & STANDARDS
Americans with Disabilities Act Accessibility Guidelines (ADAAG)
Seismic Zone Classification D

DESIGN TEAM

CIVIL ENGINEERING:
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3500 COMANCHE RD. N.E. SUITE F
ALBUQUERQUE, NEW MEXICO 87107
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MECHANICAL ENGINEER:
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CELL: 505-350-6383
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CONT. LICENSE #26458
PHONE: 505-898-9690
FAX: 505-898-7737

No.	Description	Date
1	CITY OF ABQ. REVIEW COMMENTS	12/19/19
2	CITY OF ABQ. REVIEW COMMENTS	12/31/19
3	CITY OF ABQ. REVIEW COMMENTS	01/28/20

Owner
Barlow Shop

Cover Sheet

Project number 019-12
Date 12-10-19
Drawn by BEM
Checked by CMO

CS

Scale As indicated