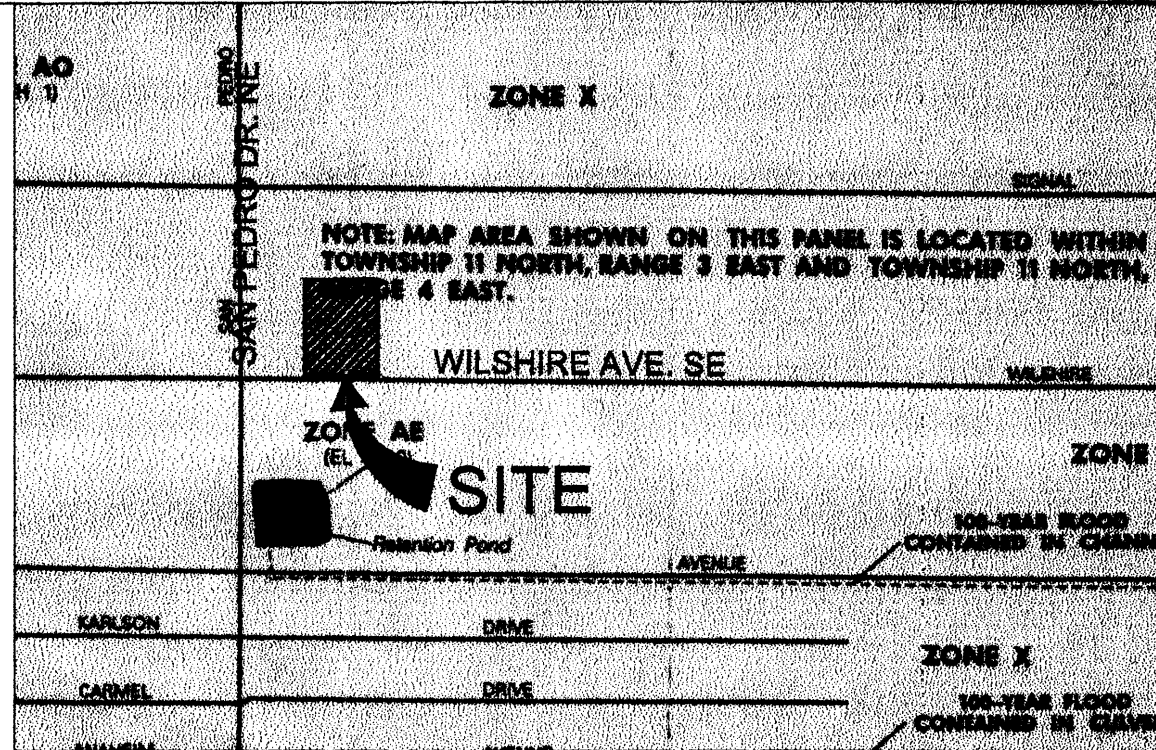


VICINITY MAP



FIRM MAP

### KEYED NOTES

- EXISTING BUILDING TO REMAIN
- EXISTING 6' HIGH CMU WALL TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRETE STOOP/APRON TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- EXISTING WOOD SHED TO BE DEMOLISHED
- EXISTING STEEL PIPE GATE TO REMAIN
- CONSTRUCT NEW STANDARD CONCRETE CURB & GUTTER PER COA STD DWG #2415A.
- CONSTRUCT NEW 4' WIDE CONCRETE SIDEWALK PER COA STD DWG #2430
- CONSTRUCT NEW CONCRETE DRIVEPAD PER COA STD DWG #2425
- REMOVE PORTION OF EXISTING ASPHALT PAVEMENT TO EXTENT SHOWN; INSTALL NEW ASPHALT PAVEMENT PER COA STD DRAWING AND SPECIFICATIONS, MATCH EXISTING PAVEMENT TYPE AND ELEVATIONS.
- CONSTRUCT NEW 4" CONCRETE APRON
- PROPOSED LANDSCAPING AREA
- PROPOSED CRUSHER FINES PAVEMENT, SEE DETAIL THIS SHEET
- CONSTRUCT NEW CMU BLOCK TRASH BIN ENCLOSURE PER COA SOLID WASTE DEPARTMENT SPECIFICATIONS

### NOTE:

ITEMS IDENTIFIED BY KEYED NOTES #10, 11 12 AND 13 WILL BE CONSTRUCTED UNDER "PROCEDURE "B" MODIFIED, WHEN THE REMAINING UNDEVELOPED PORTION OF THE WILSHIRE AVE. NE WILL BE IMPROVED.

### NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION. CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1009) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE DRAWING.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

### GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, INCLUDING TOP OF EXISTING PAVEMENT ELEVATIONS, FIN. FLOOR ELEVATION, EXACT LOCATION OF EXISTING WROUGHT IRON GATES, LOCATION OF EXISTING UTILITY LINES, ETC., PRIOR TO COMMENCING THE WORK AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PROMPTLY.
- WARNING: EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION, AS AMENDED WITH UPDATE NO. 7.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR COMMENCING THE WORK, SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPES OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NEW MEXICO ONE CALL SYSTEM" PROCEDURES, OR OTHERWISE.

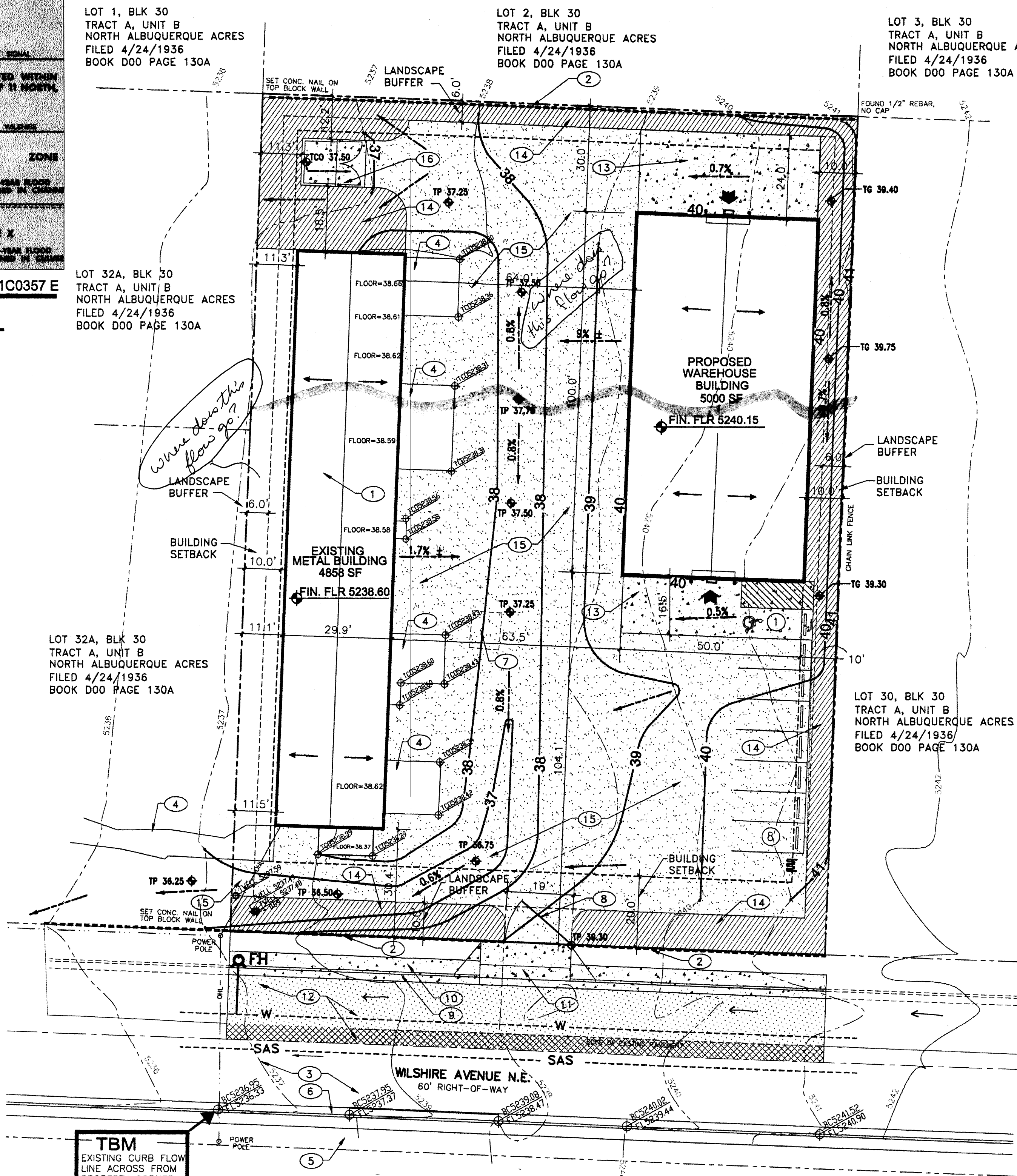
NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.

NOTE: ADD 5200 FEET TO PROPOSED SPOT ELEVATIONS TO GET MEAN SEA LEVEL DATUM ELEVATIONS.

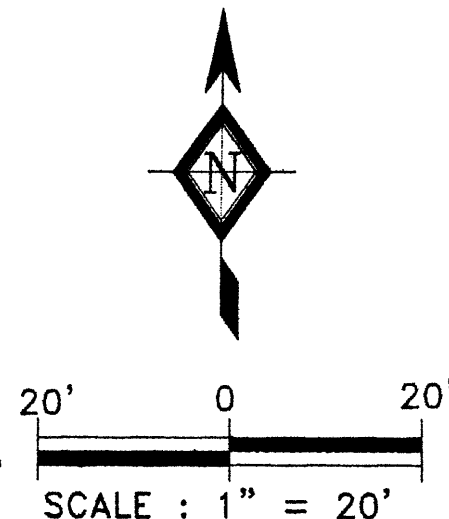
**BENCHMARK:**  
**ACS 9-C18**

**ELEVATION 5232.47**  
ACS ALUMINUM CAP  
STAMPED "9-C18 1985",  
RIVETED TO 2 1/2" ALUM. TUBE  
PROJECTING 0.05 FT BELOW  
THE GROUND.

### SITE PLAN



**TBM**  
EXISTING CURB FLOW  
LINE ACROSS FROM  
PROPERTY CORNER,  
ELEV 5236.33

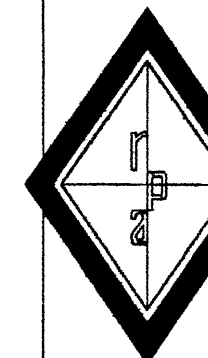


OWNER: LOTS 31, 32A, 32B 5-3-05

### ENGINEERS CERTIFICATION

I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE SITE AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY (DECEMBER 20, 2004).

Celia S. Tomlinson, PE



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TEL. (505) 881-6690 FAX (505) 881-6896

### PROJECT TITLE:

**WAREHOUSE BUILDING**

6205 WILSHIRE AVE. N.E. ALBUQUERQUE, NEW MEXICO

### SHEET TITLE:

**GRADING AND DRAINAGE**

MAP NO:

C-18-Z

RHOMBUS JOB NO:

05-02-10

SHEET

C-2

## DRAINAGE AND GRADING PLAN

FOR  
**LOT 31, BLOCK 30, TRACT A, UNIT B**  
**NORTH ALBUQUERQUE ACRES**  
**CITY OF ALBUQUERQUE, BERNALILLO COUNTY**  
**NEW MEXICO**

### LEGAL DESCRIPTION

Lot 31, Block 30, Tract A, Unit B, North Albuquerque Acres Subdivision,  
City of Albuquerque, New Mexico

### FLOOD HAZARD ZONE

Lot A is located in Flood Hazard Zone X (i.e., Areas determined to be outside 500-year floodplain) designated on the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Map Panel No. 35001C0357E (November 19, 2003).

### DRAINAGE ANALYSIS

REFERENCE: City of Albuquerque, Development Process Manual -Vol. 2, Section 22.2 - Hydrology, January, 1993.

Principal Design Storm: 100-year 6-hour event

Precipitation Zone (4) (Table A-1)

Excess Precipitation (Table A-8):

E<sub>1</sub> = 0.80 in (Land Treatment 'A'), E<sub>2</sub> = 1.08 in (Land Treatment 'B')  
E<sub>3</sub> = 1.46 in (Land Treatment 'C'), & E<sub>4</sub> = 2.64 in (Land Treatment 'D')

Peak Discharge (Table A-9):

Q<sub>P1</sub> = 2.20 ft<sup>3</sup>/sec-acre (Land Treatment 'A')  
Q<sub>P2</sub> = 2.92 ft<sup>3</sup>/sec-acre (Land Treatment 'B')  
Q<sub>P3</sub> = 3.73 ft<sup>3</sup>/sec-acre (Land Treatment 'C')  
Q<sub>P4</sub> = 5.25 ft<sup>3</sup>/sec-acre (Land Treatment 'D')

On-Site 'Existing' Conditions:

Total Site Area = 38,589 ft<sup>2</sup> x 1 acre/43,560 ft<sup>2</sup> = 0.8859 acres  
80.04% Land Treatment 'C', 19.96% Land Treatment 'D' (Table A-4)

Weighted E = ((E<sub>3</sub> x 0.7091 acres) + (E<sub>4</sub> x 0.1768 acres))/0.8859 acres  
= 1.696 in

V<sub>360</sub> = 1.696 in x 0.8859 acres x 1 ft/12 in  
= 0.1252 acre-ft x 43,560 ft<sup>2</sup>/acre  
= 5452 ft<sup>3</sup>

Total Q<sub>P</sub> = (Q<sub>P3</sub> x 0.7091 acres) + (Q<sub>P4</sub> x 0.1768 acres)  
= 3.57 ft<sup>3</sup>/sec

On-Site 'Post Development' Conditions:

9.09% Land Treatment "B", 70.00% Treatment 'C', 20.91% Treatment 'D'

Weighted E = ((E<sub>2</sub> x 0.0805 acres) + (E<sub>3</sub> x 0.6201 acres) + (E<sub>4</sub> x 0.1853 acres))/0.8859 acres  
= 1.672 in

V<sub>360</sub> = (1.672 in x 0.8859 acres) x 1 ft/12 in  
= 0.1234 acre-ft x 43,560 ft<sup>2</sup>/acre  
= 5375 ft<sup>3</sup>

Total Q<sub>P</sub> = (Q<sub>P2</sub> x 0.0805 acres) + (Q<sub>P3</sub> x 0.6201 acres) + (Q<sub>P4</sub> x 0.1853 acres)  
= 3.52 ft<sup>3</sup>/sec

Off-Site 'Existing' Conditions:

Offsite Drainage Basin: Vacant lot, undeveloped except for some dirt tracks and parking of trucks and other vehicles (2003 aerial photo) plus adjacent Wilshire ROW

Drainage Basin Area = 149,587 ft<sup>2</sup> x 1 acre/43,560 ft<sup>2</sup> = 3.4340 acres  
71.07% Land Treatment 'A', 18.63% Treatment 'C', 10.30% Treatment 'D'.

Weighted E = ((E<sub>1</sub> x 0.24407 acres) + (E<sub>3</sub> x 0.6398 acres) + (E<sub>4</sub> x 0.3535 acres))/3.4340 acres  
= 1.112 in

V<sub>360</sub> = (1.112 in x 3.4340 acres) x 1 ft/12 in  
= 0.3182 acre-ft x 43,560 ft<sup>2</sup>/acre  
= 13,867 ft<sup>3</sup>

Total Q<sub>P</sub> = (Q<sub>P1</sub> x 2.4407 acres) + (Q<sub>P3</sub> x 0.6398 acres) + (Q<sub>P4</sub> x 0.3535 acres)  
= 9.61 ft<sup>3</sup>/sec

Does the off-site flow enter the site?

As demonstrated by the calculations presented herein, the proposed new building, in combination with the new landscaping, will not increase the peak discharge from the project site. The proposed building addition will not create an additional impact on the capacity of the adjacent streets or any downstream channel; therefore, continued free discharge from the subject site is recommended.

