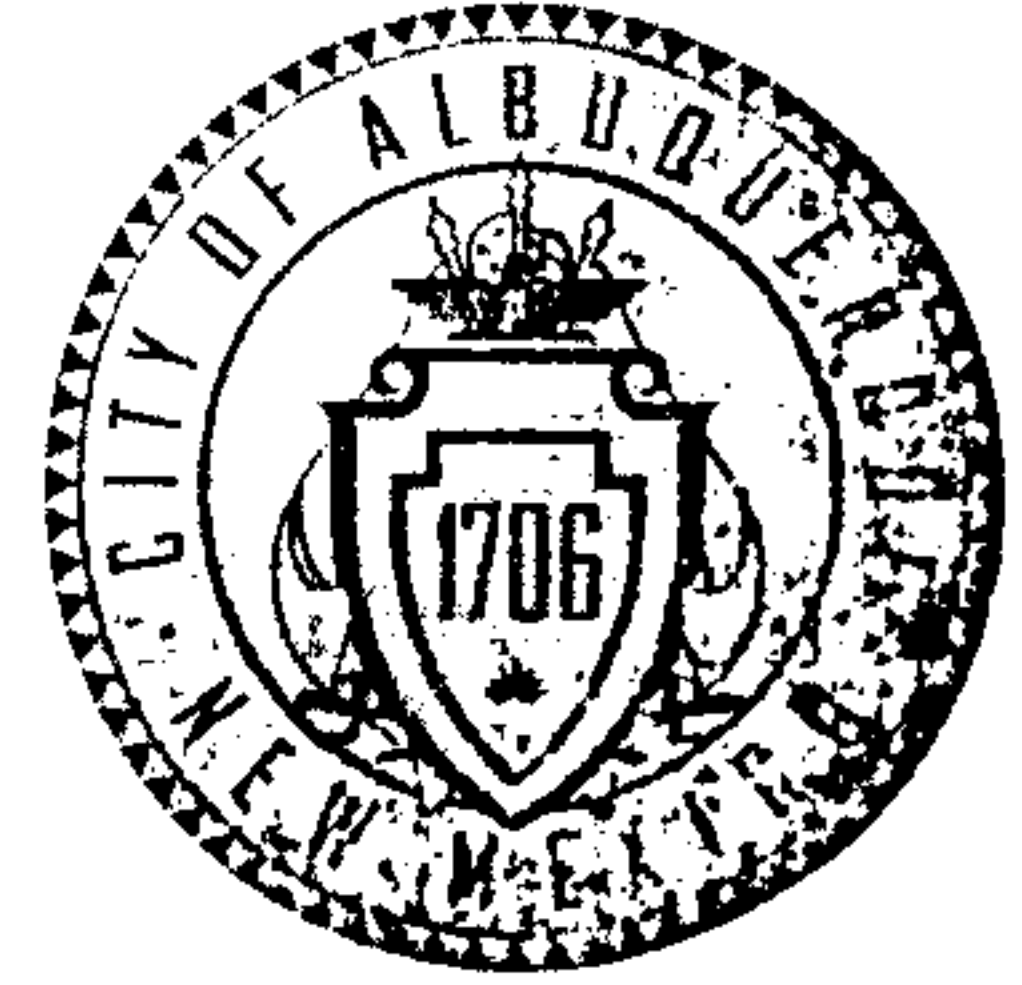


CITY OF ALBUQUERQUE



December 11, 2008

Ronald R. Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Holly Plaza, 6500, 6550, 6600, 6650 Holly Ave. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 01/02/08 (C-18/D071)
Certification dated 11/20/08

Mr. Bohannon,

PO Box 1293

Based upon the information provided in your submittal received 12/10/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3695.

Sincerely,

NM 87103

Curtis A. Cherne, P.E.
Senior Engineer
Development and Building Services

www.cabq.gov

C: CO Clerk – Katrina Sigala
File

CITY OF ALBUQUERQUE



FAX: 858-1118

Attn: Jon Niski

February 20, 2008

Ronald R. Bohannon, P.E.

Tierra West, LLC

~~8509 Jefferson NE~~ 5571 Midway Park Pl

Albuquerque, NM ~~87113~~ 87109

Re: Holly Plaza Grading and Drainage Plan

Engineer's Stamp dated 1-2-08 (C18/D71)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 1-9-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

This is the plan to certify for release of Certificate of Occupancy.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Curtis A. Cherne, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

www.cabq.gov

C: file

CITY OF ALBUQUERQUE



October 1, 2007

Ronald R. Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Holly Plaza Grading and Drainage Plan
Engineer's Stamp dated 9-28-07 (C18/D71)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 9-28-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of your SWPPP on a CD to the following address:

Albuquerque

Department of Municipal Development, Storm Drainage Division, P.O. Box 1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

New Mexico 87103

If you have any question concerning the SWPPP, please contact Kathy Verhage 768-3654.

www.cabq.gov

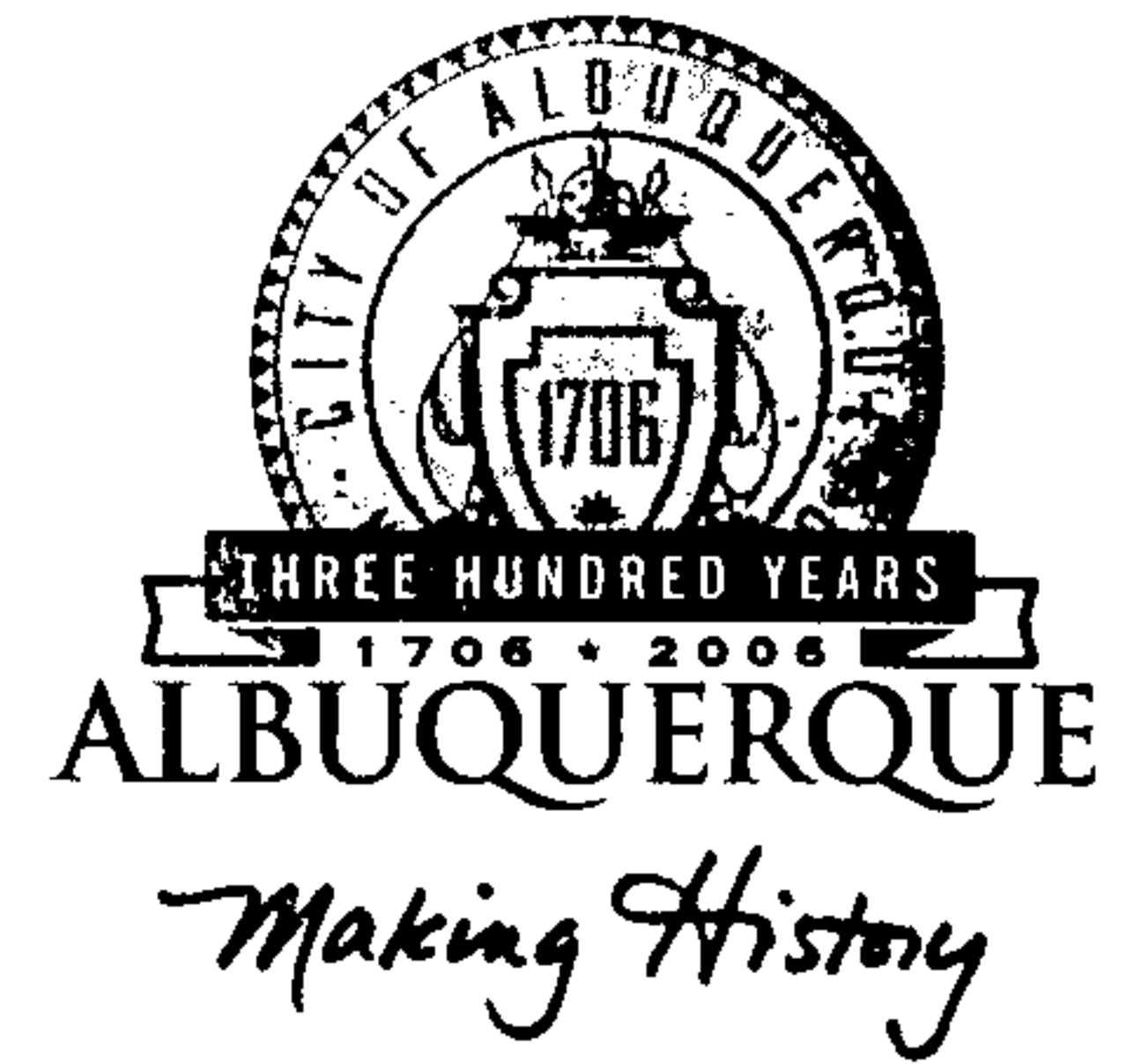
If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

C: file
Kathy Verhage, DMD

CITY OF ALBUQUERQUE



March 29, 2006

Ronald Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Daskalos Property, Holly Avenue near Paseo del Norte / Louisiana, Rough Grading / Stockpile Plan

Engineer's Stamp dated 2-06-06 (C18-D71)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 2-06-06, the above referenced plan is approved for Rough Grading Permit.

P.O. Box 1293

If you have any questions, you can contact me at 924-3981.

Albuquerque

New Mexico 87103

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: File

**DRAINAGE REPORT
FOR**

***Daskalos Holly Property
Albuquerque, NM***

Prepared by:

**Tierra West, LLC
8509 Jefferson NE
Albuquerque, New Mexico 87113**

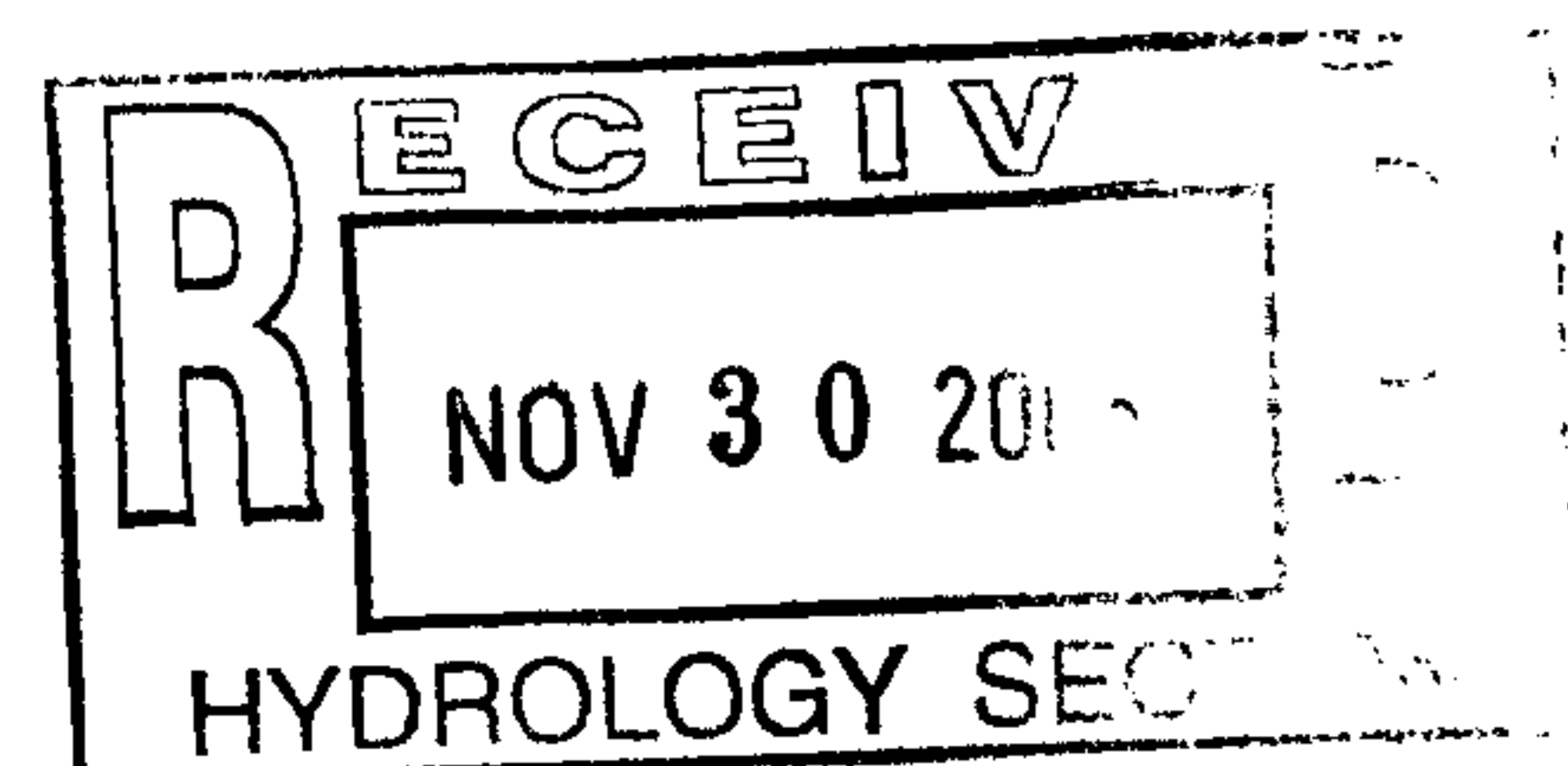
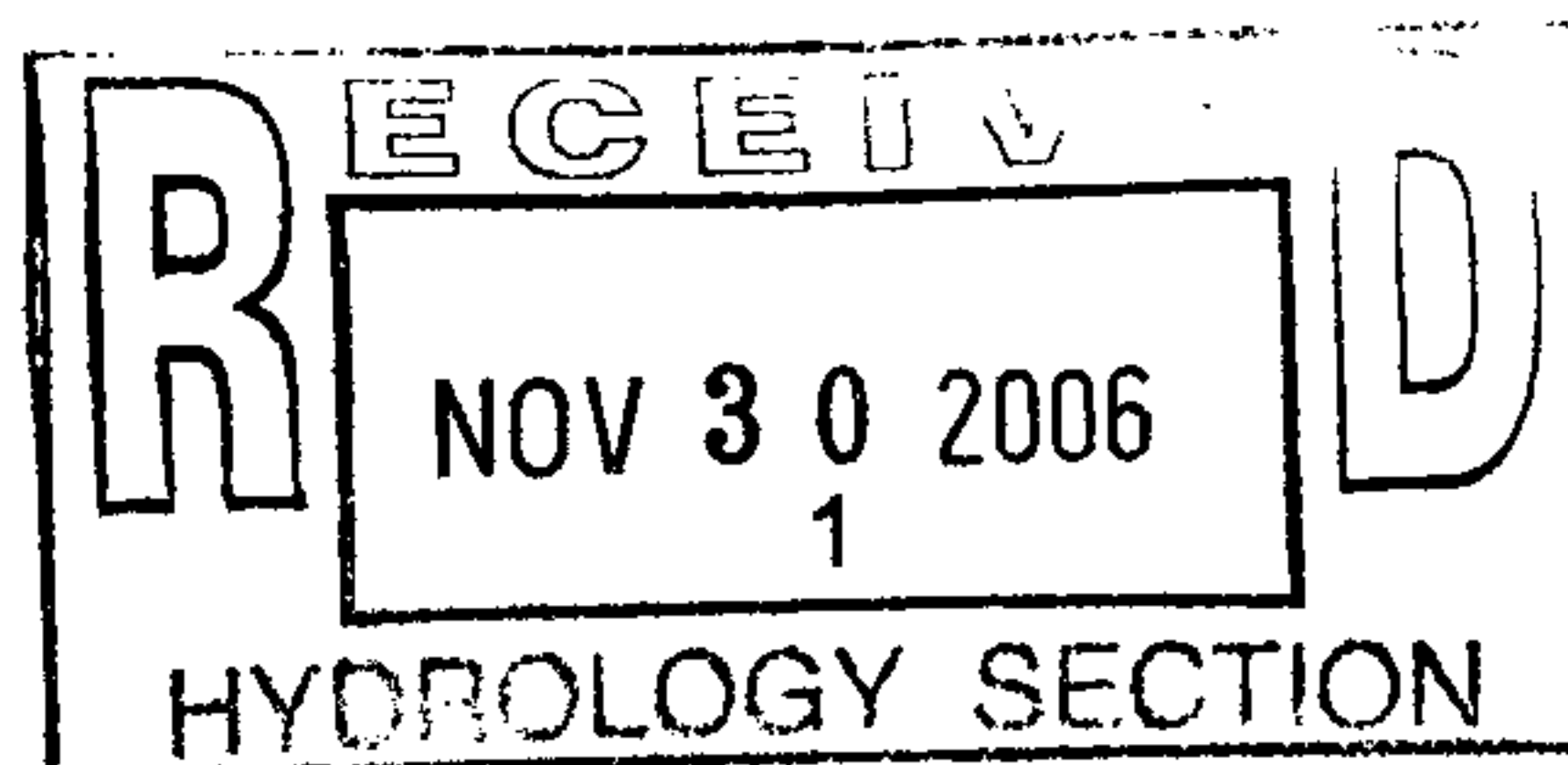
**Prepared for:
Kozani LLC
5321 Menaul Blvd. NE
Albuquerque, NM 87110**

November 2006

I certify that this report was prepared under my supervision, and I am a registered professional engineer in the State of New Mexico in good standing.



Job No 25061



Prelude

This report is being prepared at the request of the current owner, Kozani LLC, who proposes to develop a mixed use retail shopping center on the subject property.

Location

The subject site is located on Holly Avenue and consists of Lots 7, 8, 9, 10, 23, 24, 25 and 26 of Tract A, Block 35, Unit B, North Albuquerque Acres. The exact location of the site is shown highlighted on the enclosed Zone Atlas page number C-18. The site will be built in one phase and contains 5.42 acres, more or less.

Existing Drainage Conditions

The site is currently undeveloped and is bordered by Holly Avenue on the north, Paseo Del Norte on the south, an undeveloped tract of land to the west and the Kohl's Department Stone on the east

The flows from the site sheet flow to the northwest corner of the site where they enter Holly Avenue (currently unimproved) and pond near San Pedro Drive. There are no flows currently entering the site from the north, south, east or west.

Flood Plain

The site is located on FIRM Map 35001C0137F as shown on the attached excerpt. The map shows that the site does not lie within a flood plain; however it does lie within an area that has a 1% annual chance of flood discharge contained in the Paseo Del Norte storm sewer system.

Proposed Drainage Management Plan

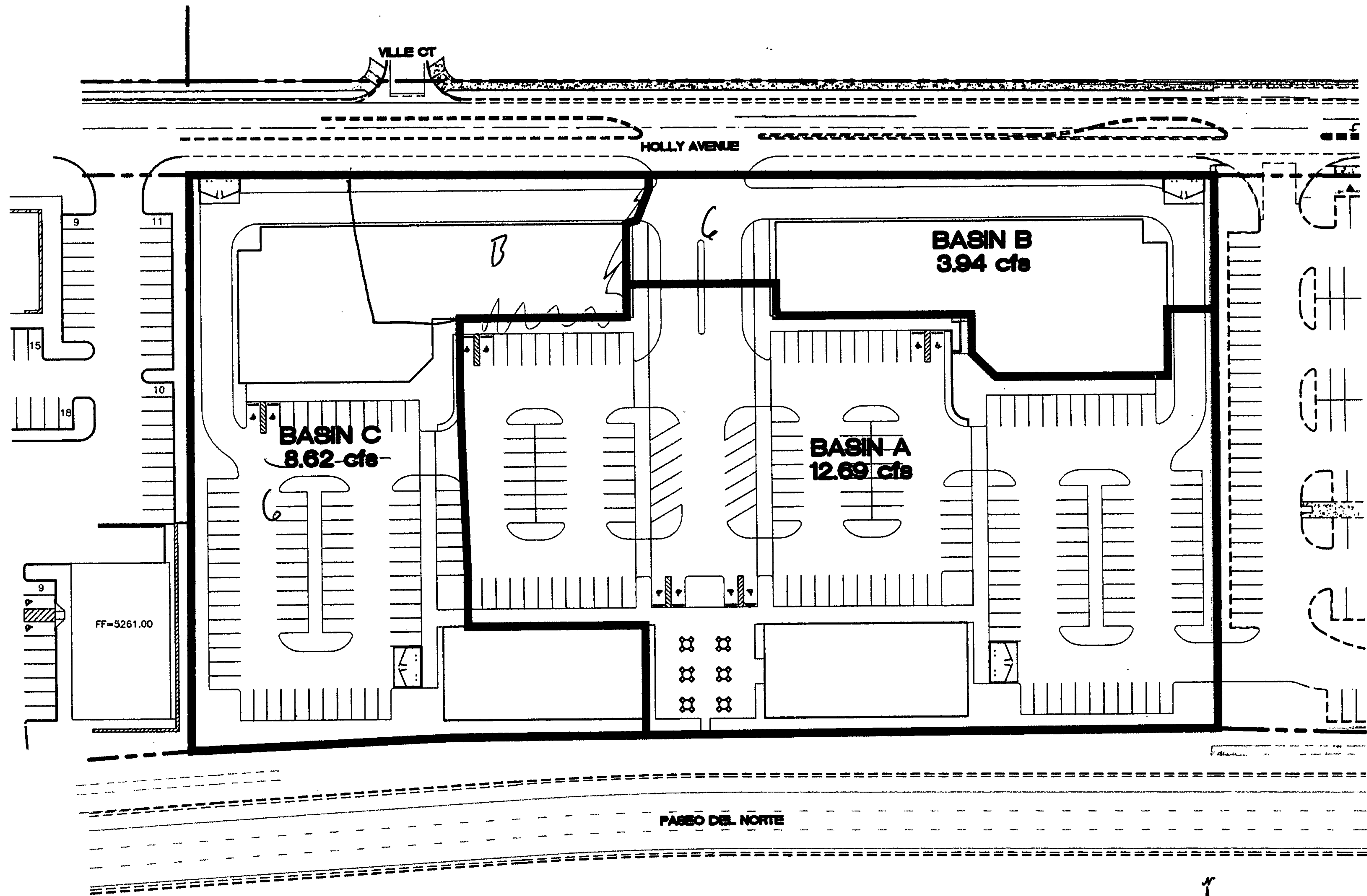
As shown on the attached exhibit, the proposed site is divided into 3 onsite basins. Based on the approved Conceptual Drainage Report for the Holly Avenue Improvements (C18/D72) dated March 2006, this site is allowed to discharge 24.47 cfs to the Holly Avenue and San Pedro Drive storm sewer system.

Basin A consists primarily of parking area and one building that will drain to a drop inlet located in the northwest corner of the basin. Basin B consists of a building and will drain directly to Holly Avenue. The flows from the site will be picked up by a drop inlet in Holly Avenue at the northwest corner of the property. Basin C consists of two buildings and a parking area and will drain to a drop inlet located on the west side of the basin.

The drop inlets in the site will convey the drainage to the existing Holly Avenue storm sewer system and eventually to the San Pedro and Paseo Del Norte storm sewer systems. This site will generate a total of 25.24 cfs into the Holly Avenue/San Pedro Drive storm sewer system which is slightly more than the 24.47 cfs allowed in the drainage plan mentioned above. The extra flows will be ponded onsite and the discharge controlled to the 24.47 cfs allowed.

Calculations

The weighted E method from the "City of Albuquerque Development Process Manual Volume 11 – Design Criteria, 1997 Revision" was used to calculate the runoff and volume for the site.



Summary

This site will discharge a total of 24.47 cfs which will flow to the Holly Avenue and San Pedro storm sewer system. Basins A and C will be routed through a storm sewer while Basin B will sheet flow to Holly Avenue.

The development of this site is consistent with the DPM, Chapter 22, Hydrology section. Since this site encompasses more than 1 acre an NPDES permit will be required in addition to a Top Soil Disturbance Permit prior to any construction activity.

Weighted E Method

Developed On-Site Basins

Developed On-Site Basins

											100-Year			10-Year		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)						
A	117,501	2.70	0%	0	13%	0.35	0%	0.00	87%	2.34	2.171	0.488	12.69	1.351	0.304	8.37
B	38,134	0.83	0%	0	11%	0.09	0%	0.00	89%	0.74	2.202	0.152	3.94	1.375	0.095	2.61
C	82,293	1.89	0%	0	19%	0.36	0%	0.00	81%	1.53	2.086	0.328	8.62	1.283	0.202	5.61
											25.24					
		235,928	5.42													

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (Inches)		
Zone3	100-Year	10 - Year
E _a	0.66	0.19
E _b	0.92	0.36
E _c	1.29	0.62
E _d	2.36	1.50

Peak Discharge (cfs/acre)		
Zone 3	100-Year	10 - Year
Q _a	1.87	0.58
Q _b	2.60	1.19
Q _c	3.45	2.00
Q _d	5.02	3.39

Pipe Capacity

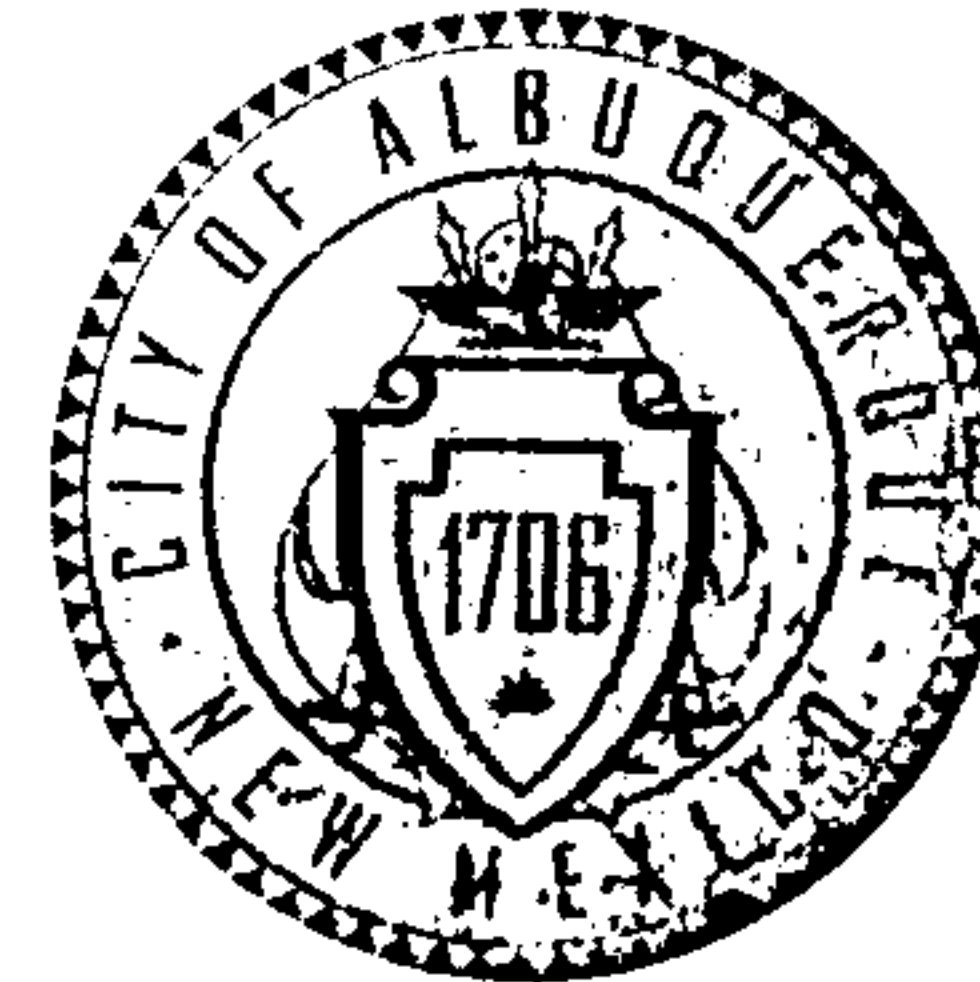
Pipe	D	Slope	Area	R	Q Provided	Q Required	Velocity
	(in)	(%)	(ft^2)		(cfs)	(cfs)	(ft/s)
1	18	1.50	1.77	0.375	12.90	12.69	7.18
2	18	1.50	1.77	0.375	12.90	12.69	7.18
3	18	1.50	1.77	0.375	12.90	12.69	7.18
4	24	1.00	3.14	0.500	22.68	21.31	6.78
5	24	1.00	3.14	0.500	22.68	21.31	6.78

Manning's Equation:

$Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$

- A = Area
- R = D/4
- S = Slope
- n = 0.013

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 20, 2008

Ronald R. Bohannon, P.E.
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Holly Plaza, [C-18 / D71] 6500, 6550, 6600, 6650 Holly Ave. NE
(Holly Plaza Lots A, B, C & D) Holly Ave.
Engineer's Stamp Dated 11/20/08

cc 12-11-08

Dear Mr. Bohannon:

PO Box 1293

The TCL / Letter of Certification submitted on November 20, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

gar

TIERRA WEST, LLC

November 20, 2008

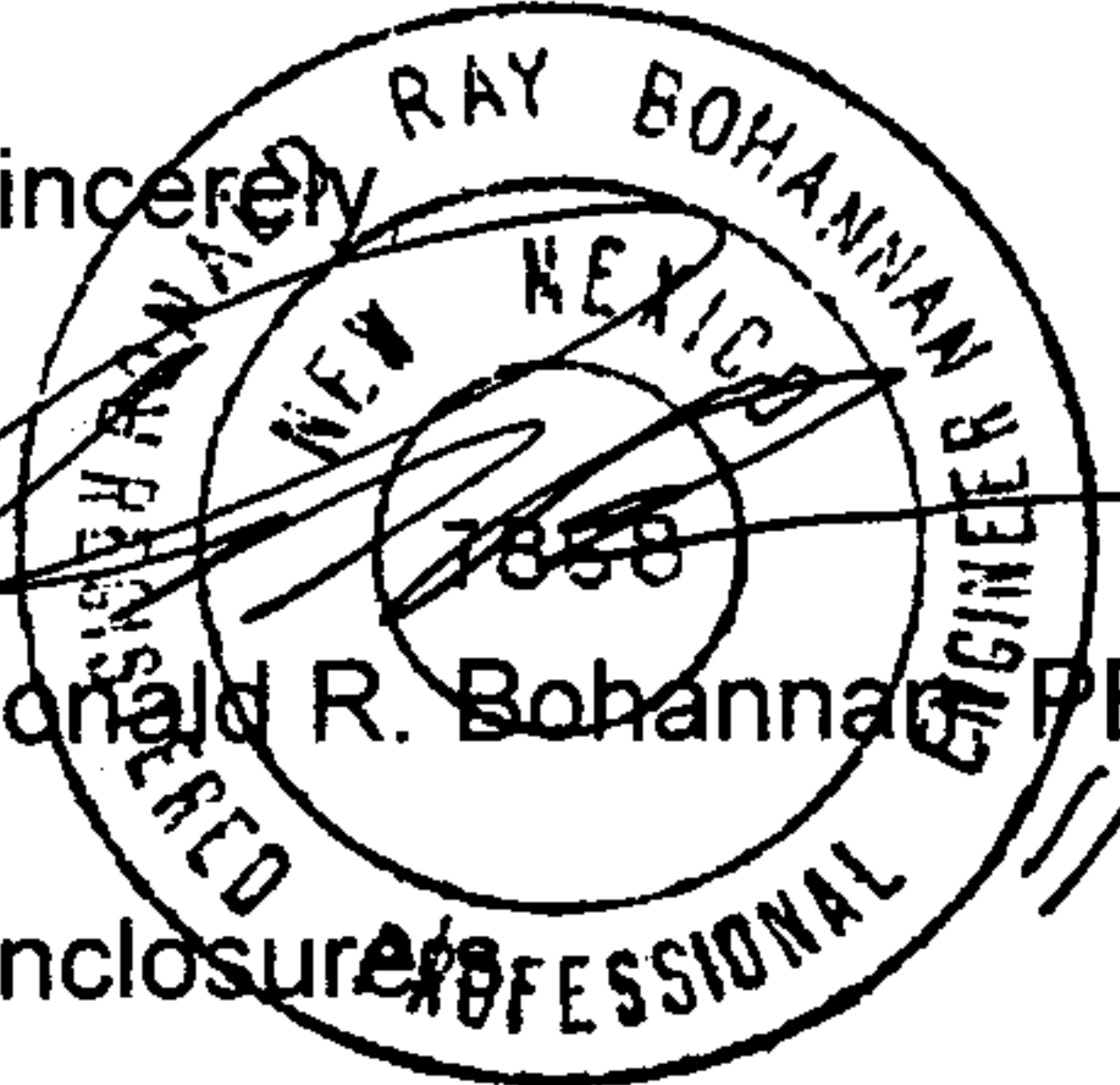
Mr. Nilo Salgado-Fernandez, PE
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103

**RE: DRB Approved Site Plan Certification for Permanent Certificate of Occupancy
Holly Plaza
#1004246**

Dear Mr. Salgado-Fernandez:

Tierra West, LLC requests a Permanent Certification for the DRB approved Site Plan for Building Permit for Holly Plaza located on Holly Avenue. Enclosed please find the information sheet and the As-Built Approved Site Plan for Building Permit.

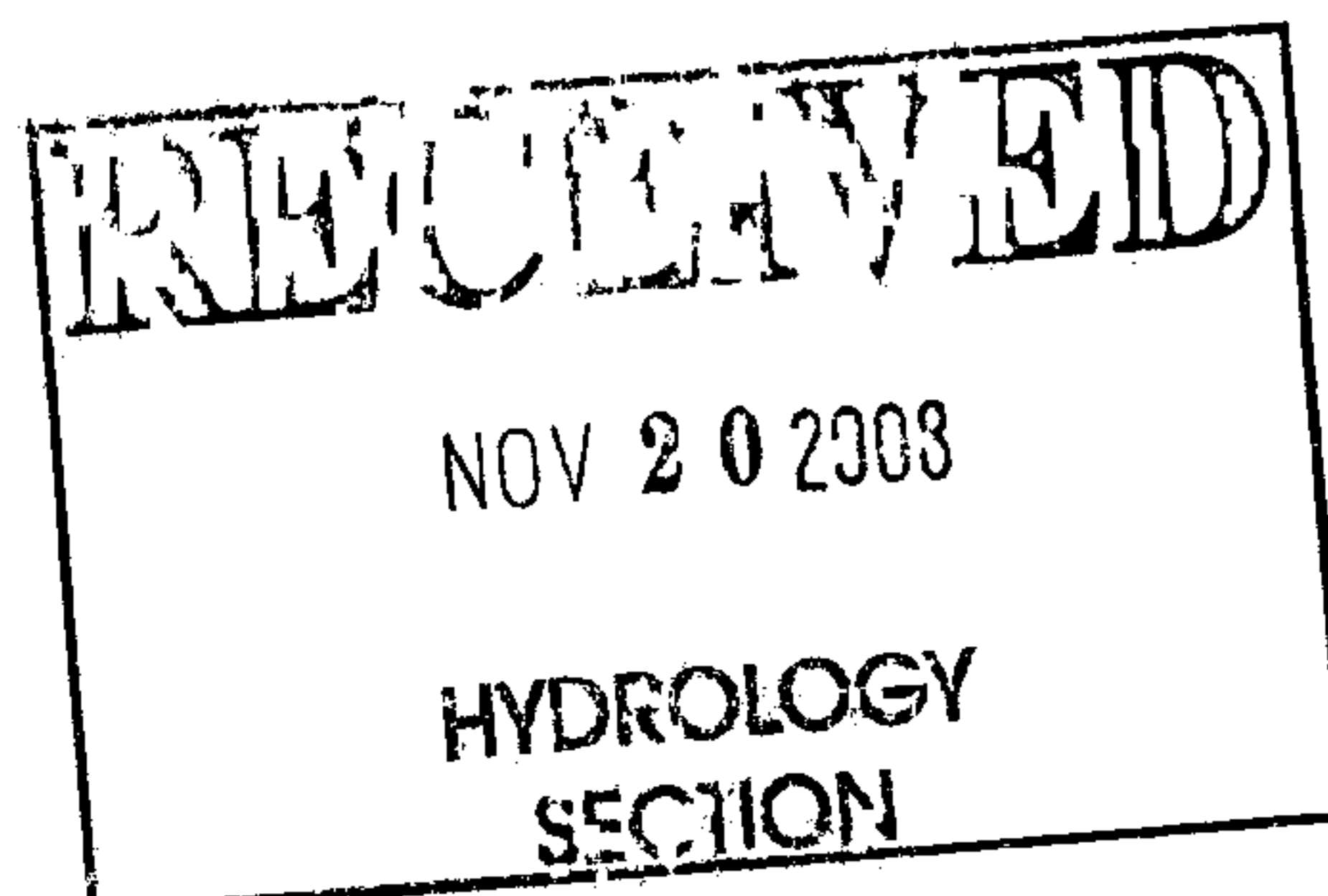
Therefore, we request Certification of the As-Built Site Plan for Building Permit for a Permanent Certificate of Occupancy. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannan, PE
Enclosure
11/29/08

cc: Pete Daskalos

JN: 25061
RRB/jdn/kdk

2005: 25061 Nilo Perm CO 112008



5571 Midway Park Place NE
Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Holly Plaza
DRB #: 1004246 EPC #: _____

ZONE MAP/DRG. FILE # C18/D71
WORK ORDER #: 7711.82

LEGAL DESCRIPTION Lots A, B, C & D, Holly Plaza
CITY ADDRESS: Holly Avenue

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN / JON NISKI
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Kozani LLC
ADDRESS: 5321 Menaul Blvd. NE
CITY, STATE: Albuquerque, NM

CONTACT: Peggy Daskalos
PHONE: (505) 883-0414
ZIP CODE: 87110

ARCHITECT: Dekker/Perrich/Sabatini
ADDRESS: 7601 Jefferson St. NE, Suite 100
CITY, STATE: Albuquerque, NM

CONTACT: Anthony Jaramillo
PHONE: 505-761-9700
ZIP CODE: 87109

SURVEYOR: Geosurvco Inc
ADDRESS: P.O. Box 65717
CITY, STATE: Albuquerque, NM

CONTACT: David Vigil/John Gallegos
PHONE: 505-975-4567
ZIP CODE: 87193

CONTRACTOR: CCM, Inc
ADDRESS: 8019 Edith Blvd. NE
CITY, STATE: Albuquerque, NM

CONTACT: Bob Gay
PHONE: 505-898-7777
ZIP CODE: 87113

CHECK TYPE OF SUBMITTAL:

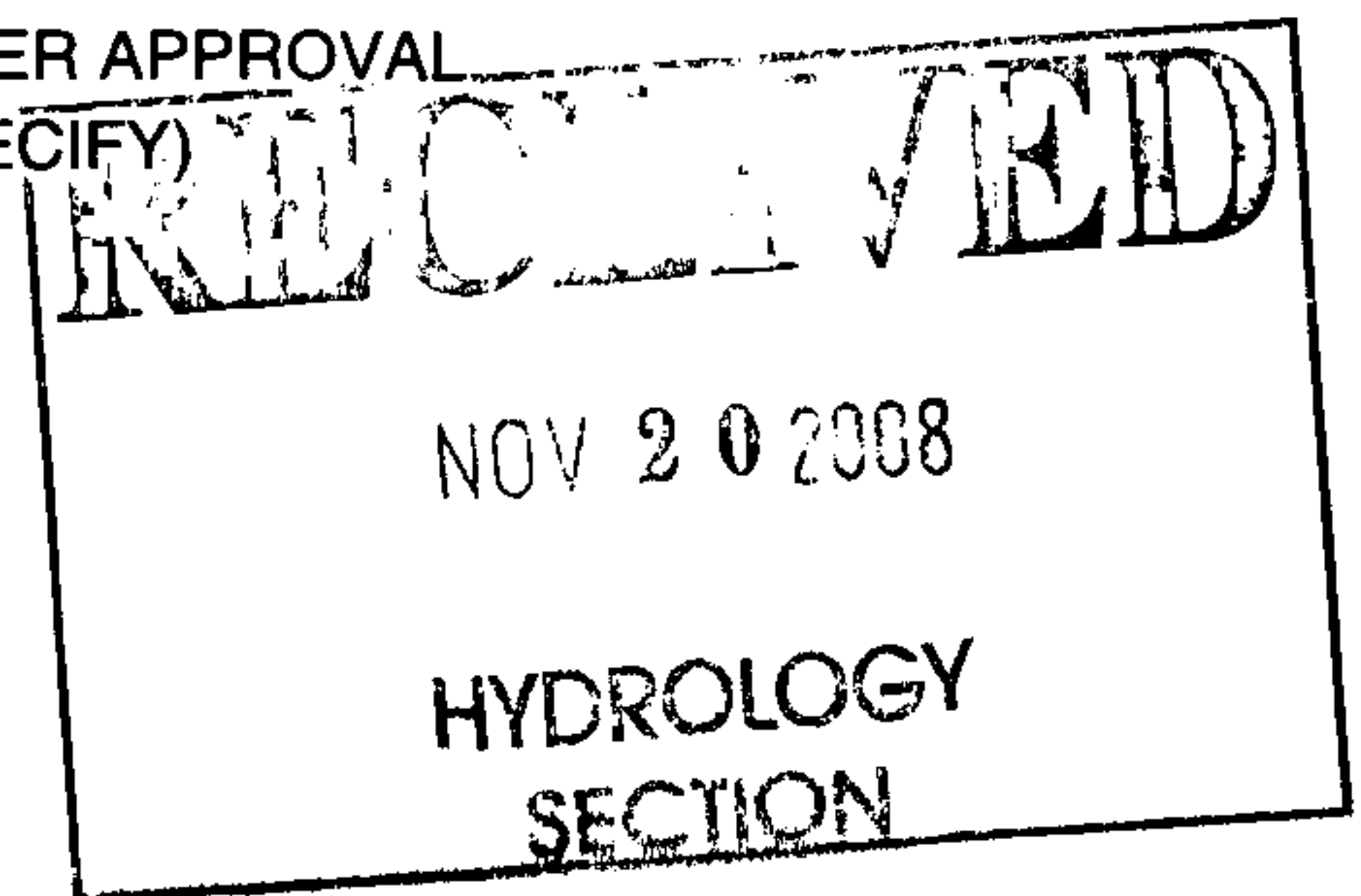
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER: _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 11/20/2008 BY: Jonathan D. Niski, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.