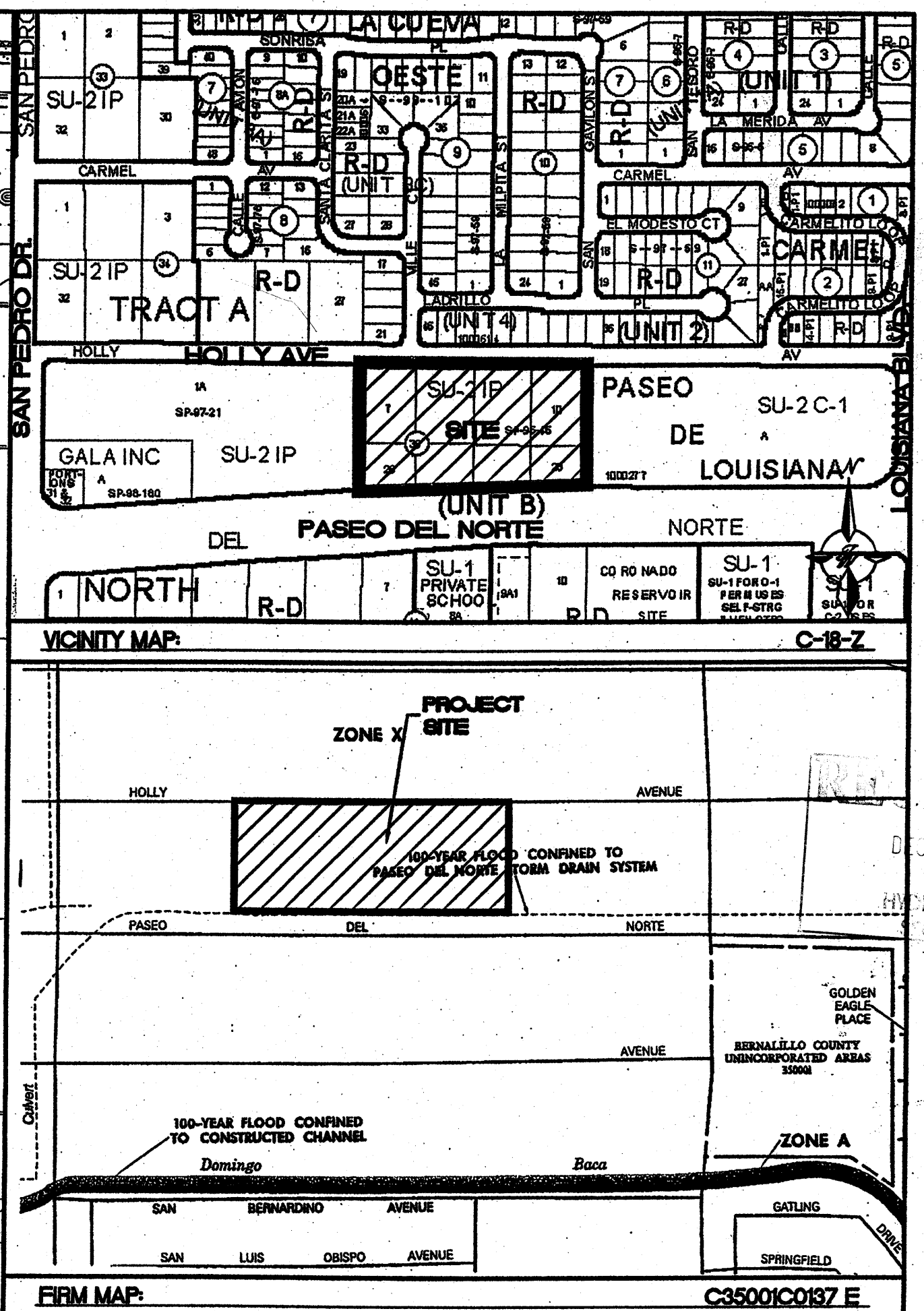
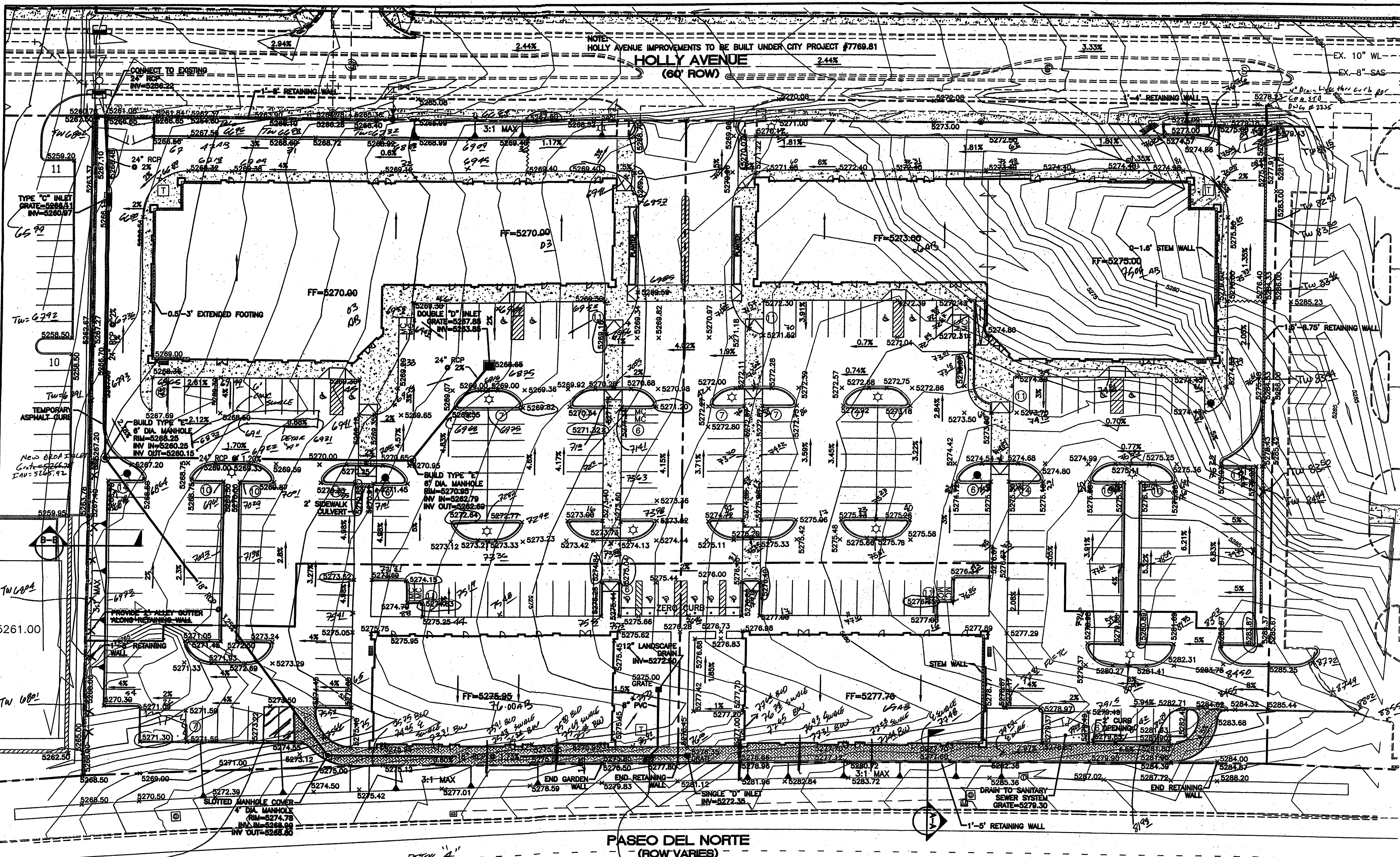


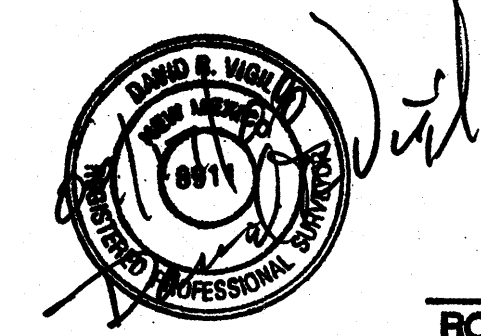
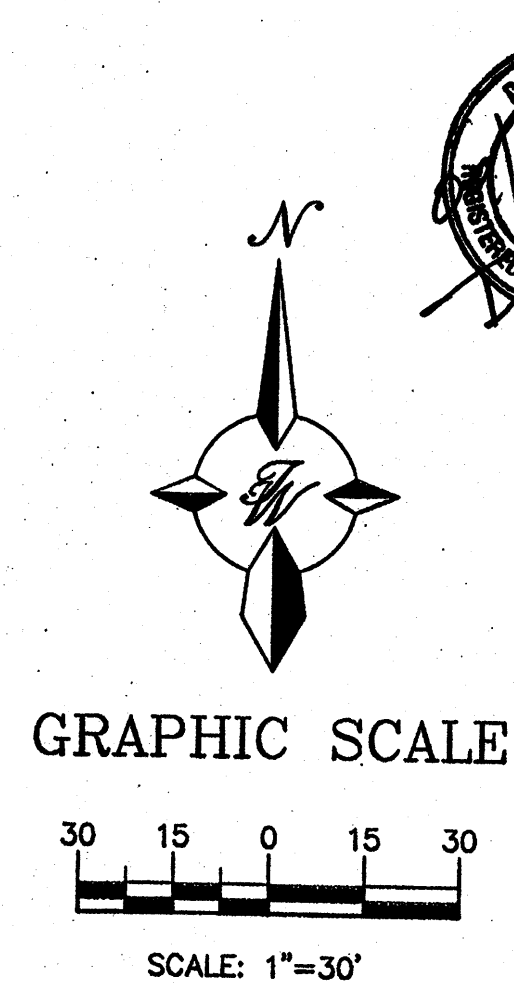


- LEGEND**
- ===== EXISTING CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED SCREEN WALL
  - PROPOSED RETAINING WALL
  - EXISTING SIDEWALK
  - PROPOSED SIDEWALK
  - EXISTING CONTOUR
  - EXISTING INDEX CONTOUR
  - x 5048.25 EXISTING SPOT ELEVATION
  - x 5048.25 PROPOSED SPOT ELEVATION
  - FLOW ARROW
  - WATER BLOCK

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

| APPROVAL  | NAME | DATE |
|-----------|------|------|
| INSPECTOR |      |      |



ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

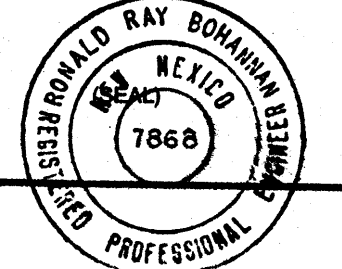
|                                                         |                                                                                                |                      |
|---------------------------------------------------------|------------------------------------------------------------------------------------------------|----------------------|
| ENGINEER'S SEAL<br><br>RONALD R. BOHANNAN<br>P.E. #7668 | <b>HOLLY PLAZA</b>                                                                             | DRAWN BY<br>DY       |
|                                                         | <b>GRADING AND DRAINAGE PLAN</b>                                                               | DATE<br>12/06/07     |
|                                                         | <b>TIERRA WEST, LLC</b><br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505)858-3100 | 2561-GRB             |
|                                                         |                                                                                                | SHEET #<br><b>C2</b> |
|                                                         |                                                                                                | JOB #<br>25061       |

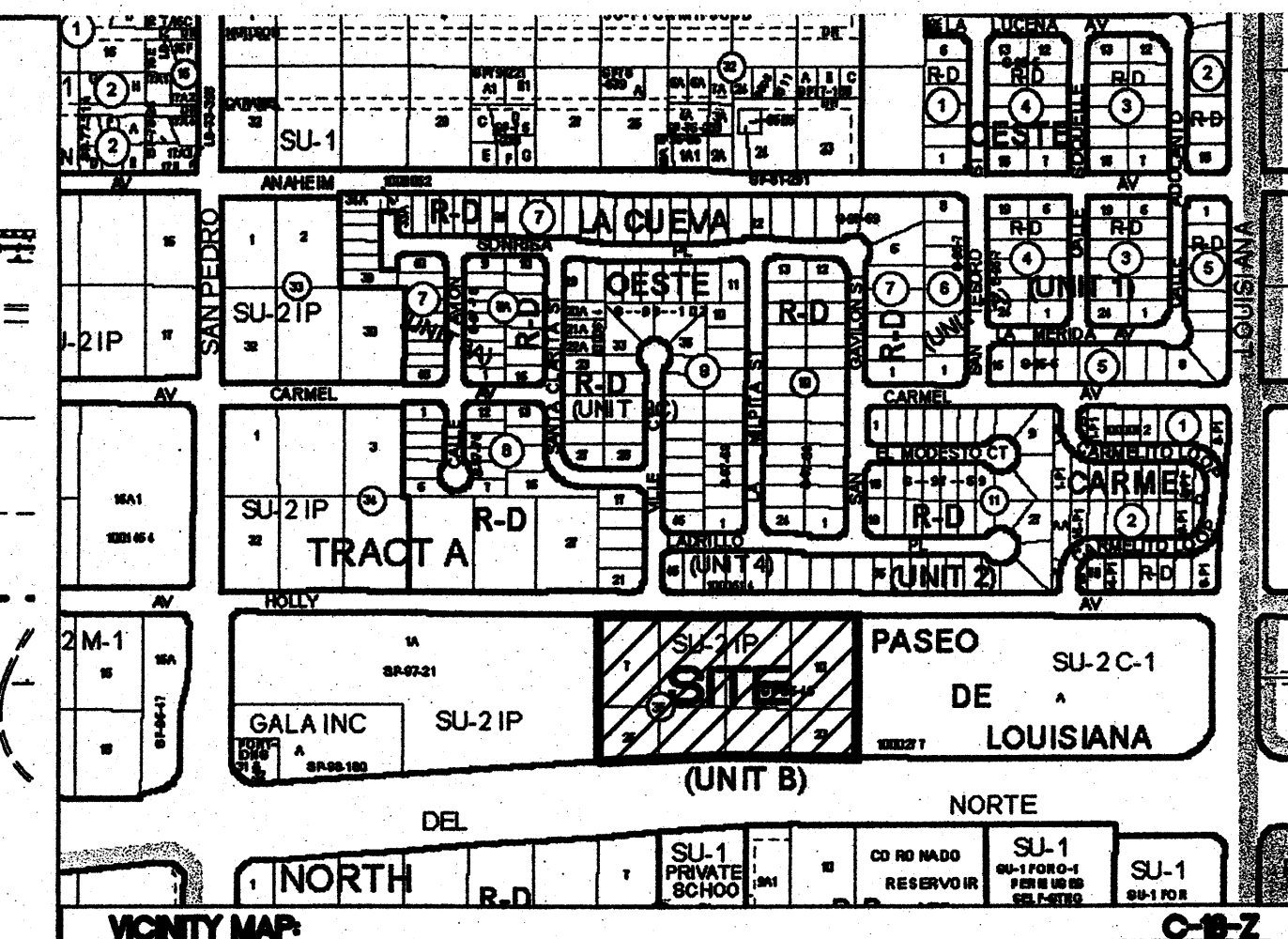
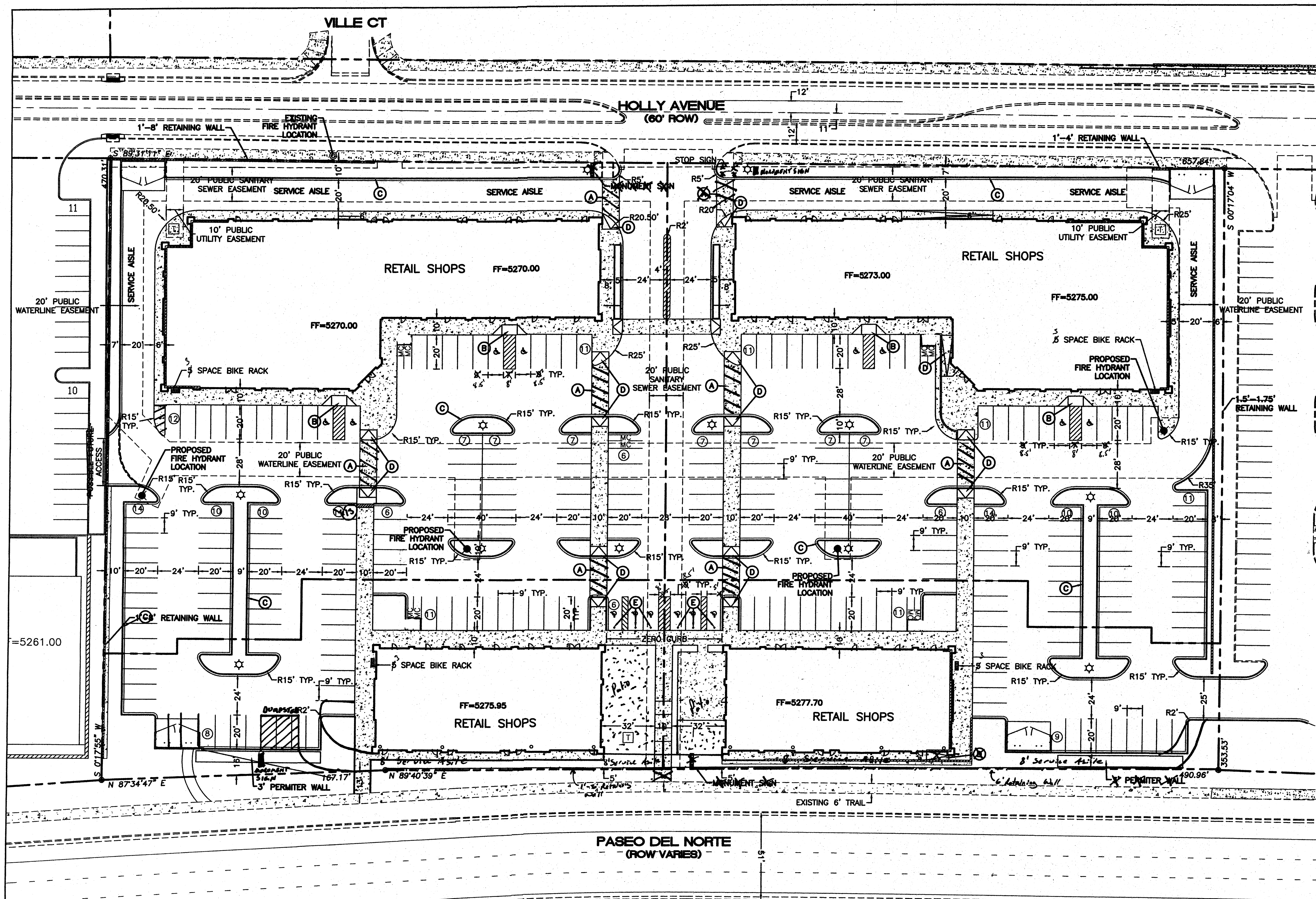
**SECTION A-A**  
SCALE: 1"=10'  
DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR  
I, RONALD R. BOHANNAN, NMPE 7668, OF THE FIRM TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01-02-2008. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIERRA WEST, LLC, MNPS 8911, OF THE FIRM TIERRA WEST, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/06/07, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

**SECTION B-B**  
SCALE: 1"=10'  
DRAINAGE CERTIFICATION  
I, RONALD R. BOHANNAN, NMPE 7668, OF THE FIRM TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01-02-2008. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIERRA WEST, LLC, MNPS 8911, OF THE FIRM TIERRA WEST, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/06/07, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNAN, NMPE # 7668  
DATE 12/06/07





# **GENERAL NOTES**

1. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WILL REQUIRE AN APPLICATION TO DRB TO AMEND THE PLAN.
3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
6. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
7. THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.
8. DELIVERY TRUCKS SHALL NOT IDLE LONGER THEN 5 MINUTES WHILE ON SITE.
9. No Drive Thrus are allowed with this development.

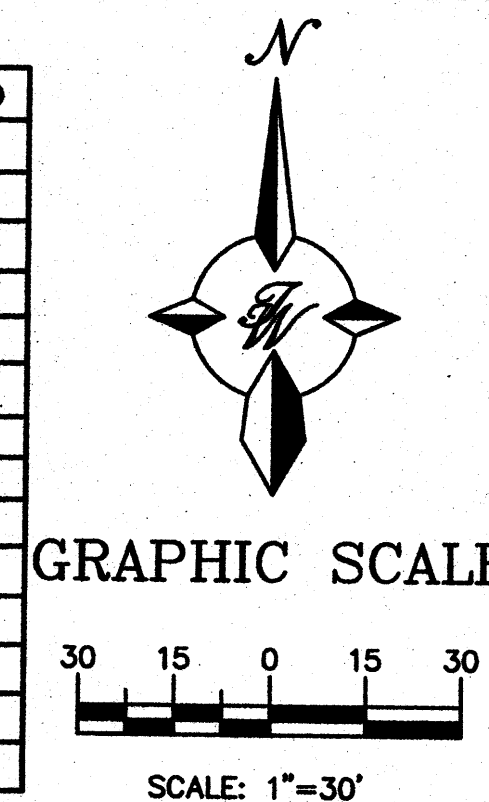
## **KEYED NOTE**

- (A) 10' PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
- (B) HC RAMP PER C.O.A. STD DWG #2441
- (C) 6" STANDARD CURB & GUTTER
- (D) UNI-DIRECTIONAL HC RAMP PER C.O.A. STD DWG #2441
- (E) BOLLARD

## **OTHER NOTES**

- (1) SEE SHEET C-9 FOR DETAILS

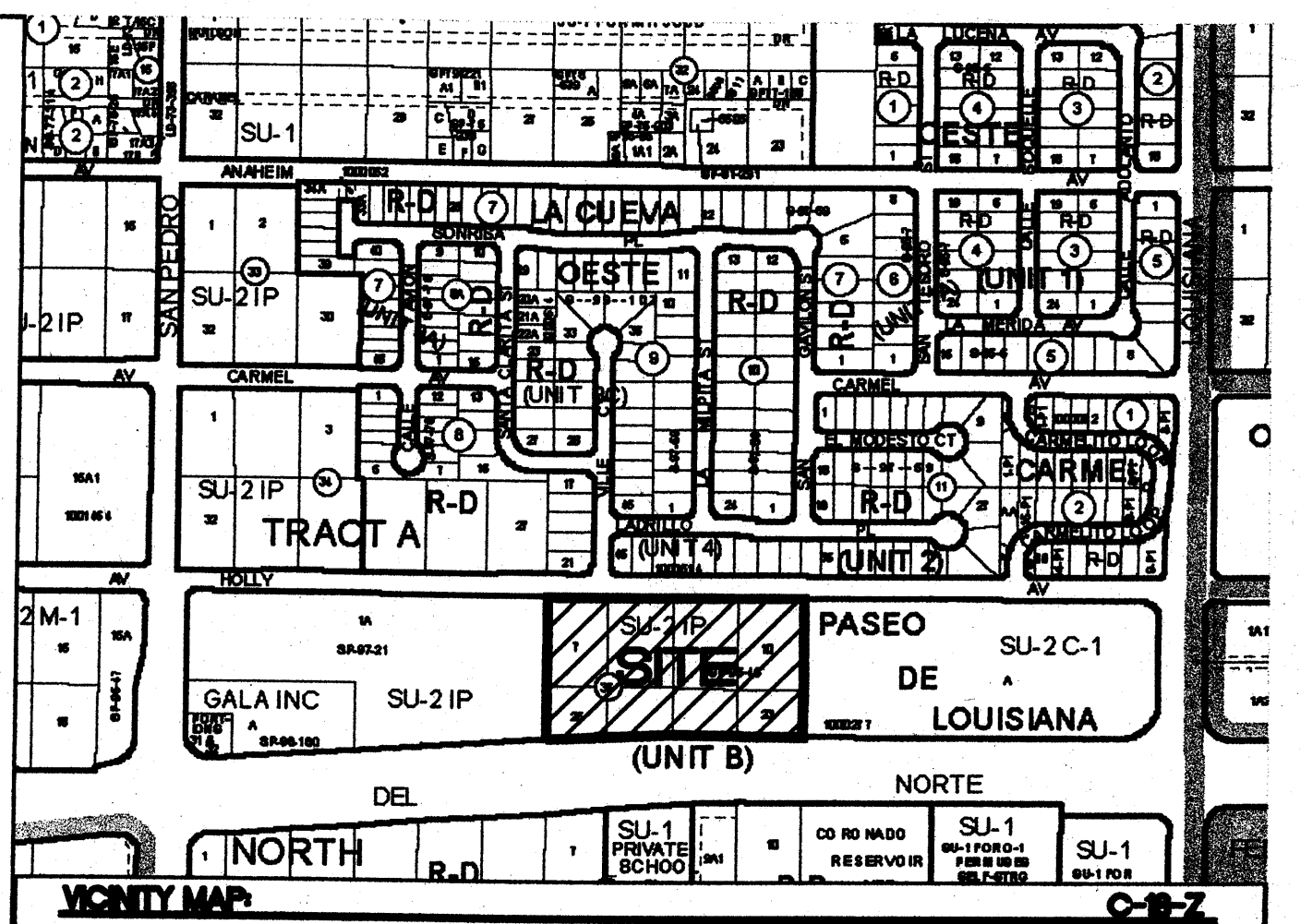
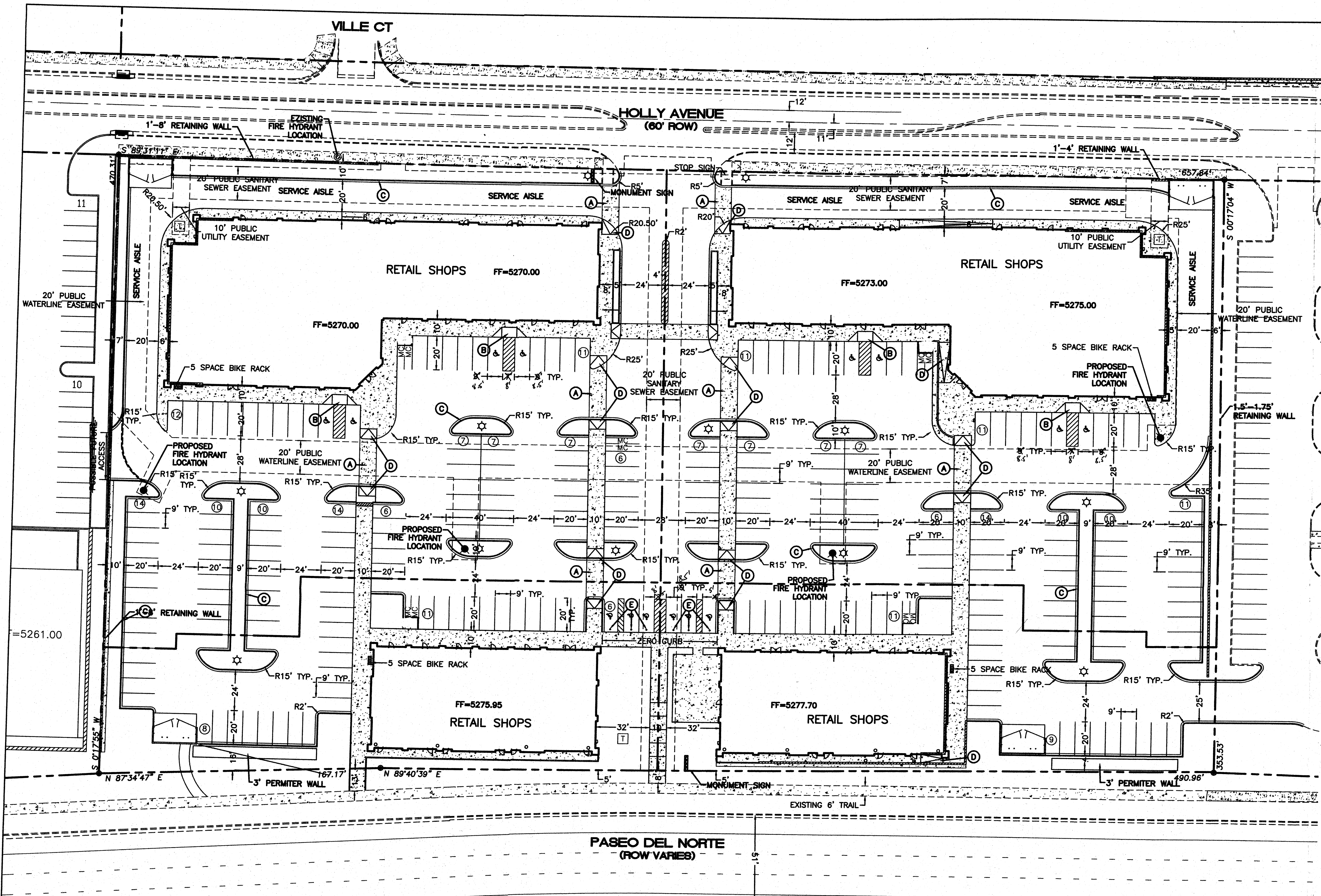
| SITE DATA TABLE              | LOT A     | LOT B     | LOT C    | LOT D    |
|------------------------------|-----------|-----------|----------|----------|
| TOTAL ACREAGE:               | 1.974 AC. | 1.916 AC. | .765 AC. | .761 AC. |
| EXISTING ZONING:             | SU2-IP    | SU2-IP    | SU2-IP   | SU2-IP   |
| PROPOSED ZONING:             | SU2-IP    | SU2-IP    | SU2-IP   | SU2-IP   |
| BUILDING SIZE:               | 19,280 SF | 19,280 SF | 7,876 SF | 7,876 SF |
| PROPOSED USE:                | RETAIL    | RETAIL    | RETAIL   | RETAIL   |
| MOTORCYCLE PARKING REQUIRED: | 3         | 3         | 2        | 2        |
| MOTORCYCLE PARKING PROVIDED: | 4         | 2         | 2        | 2        |
| TOTAL PARKING REQUIRED:      | 90        | 90        | 38       | 38       |
| TOTAL PARKING PROVIDED:      | 92        | 88        | 40       | 40       |
| HC REQUIRED:                 | 4         | 4         | 3        | 3        |
| HC PROVIDED:                 | 4         | 4         | 3        | 3        |
| BIKE SPACES REQUIRED:        | 5         | 5         | 2        | 2        |
| BIKE SPACES PROVIDED:        | 5         | 5         | 2        | 2        |
| BUILDING HEIGHT:             | 27.5'     | 27.5'     | 27.5'    | 27.5'    |



|                                                                       |                                                                                               |                                                                                                   |
|-----------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| <b>ENGINEER'S SEAL</b><br><br><b>RONALD R. BOHANNON</b><br>P.E. #7868 | <b>HOLLY PLAZA</b><br><br><b>SITE PLAN FOR BUILDING PERMIT</b>                                | DRAWN BY<br>LPS<br><br>DATE<br>04/30/07<br><br>2561-SPB<br><br>SHEET #<br>1<br><br>JOB #<br>25061 |
|                                                                       | <b>TERRA WEST, LLC</b><br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505)858-3100 |                                                                                                   |

NOV 20 2008

HYDROLOGY SECTION



LEGAL DESCRIPTION  
LOT 10-A, BLOCK 35, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES

- LEGEND**
- PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - PROPOSED SIDEWALK
  - CENTERLINE
  - RIGHT-OF-WAY
  - LANE
  - STRIPING
  - LIGHT POLE
  - PROPOSED BUILDING
  - PROPOSED PERIMETER WALL
  - PROPOSED RETAINING WALL
  - EXISTING CURB & GUTTER
  - EXISTING SIDEWALK
  - EXISTING STRIPING
  - PROPOSED CROSSWALK
  - PROPOSED 5 SPACE BIKERACK
  - PROPOSED FIRE HYDRANT

**PROJECT NUMBER:** 1004246  
**APPLICATION NUMBER:** 07DRB-00144

Is an Infrastructure List required? ☒ Yes ☐ No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

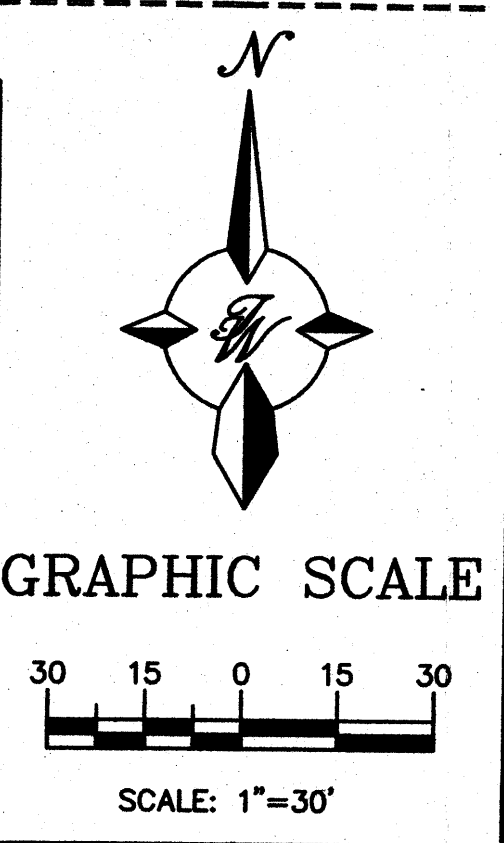
|                                               |         |
|-----------------------------------------------|---------|
| Traffic Engineering, Transportation Division  | 5-2-07  |
| Date                                          |         |
| Water Utility Development                     | 5-2-07  |
| Date                                          |         |
| Parks & Recreation Department                 | 5-2-07  |
| Date                                          |         |
| City Engineer                                 | 8/17/07 |
| Date                                          |         |
| Environmental Health Department (conditional) |         |
| Date                                          |         |
| Michael Hutton                                | 8/9/07  |
| Date                                          |         |
| DRB Chairperson, Planning Department          | 8/17/07 |
| Date                                          |         |

\* Environmental Health, if necessary

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| MOTORCYCLE PARKING PROVIDED: | 4         | 2         | 2        | 2        |
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| HC PROVIDED:                 | 4         | 4         | 3        | 3        |
| BIKE SPACES REQUIRED:        | 5         | 5         | 2        | 2        |
| BIKE SPACES PROVIDED:        | 5         | 5         | 5        | 5        |
| BUILDING HEIGHT:             | 27.5'     | 27.5'     | 27.5'    | 27.5'    |



|  |                                                                                                |                  |
|--|------------------------------------------------------------------------------------------------|------------------|
|  | <b>HOLLY PLAZA</b>                                                                             | DRAWN BY<br>LPS  |
|  | <b>SITE PLAN FOR BUILDING PERMIT</b>                                                           | DATE<br>04/30/07 |
|  | <b>TIERRA WEST, LLC</b><br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505)858-3100 | 2561-SPB         |
|  |                                                                                                | SHEET #<br>021   |
|  |                                                                                                | JOB #<br>25061   |