

GENERAL NOTES:

- A. BUILDING FINISH FLOOR EQUALS 11'-0", REFER TO CIVIL.  
B. PROVIDE EXPANSION JOINT IN CONCRETE SIDEWALK AT 20' O.C. & CONTROL JOINT AT 5' O.C. SEE DETAIL 8&9/A002.

KEYED NOTES:

- [1] EXISTING CONCRETE SIDEWALK.  
[2] EXISTING ASPHALT PAVING.  
[3] EXISTING CURB CUT AND CURBING TO REMAIN.  
[4] EXISTING FIRE HYDRANT.  
[5] NEW 20' HIGH POLE LIGHTING. SEE DETAIL 5/A002.  
[6] EXISTING PARKING SPACES.  
[7] EXISTING 10' PUBLIC UTILITY EASEMENT.  
[8] EXISTING 25' PUBLIC UTILITY EASEMENT.  
[9] NEW 6" CONCRETE CURB AT PERIMETER OF PARKING SEE 11/A002 & 12/A002.  
[10] NEW CONCRETE SIDEWALK. SEE 8/A002, 9/A002 & 12/A002.  
[11] NEW LANDSCAPING.  
[12] NEW HANDICAP RAMP. SEE 7/A002.  
[13] NEW CMU DUMPSTER ENCLOSURE. SEE 16/A002.  
[14] NEW HANDICAP PAVEMENT SIGN. SEE 3/A002.  
[15] NEW HANDICAP PAVEMENT STRIPING. SEE 2/A002.  
[16] NEW ASPHALT PAVING. ASPHALT TO BE 3" THICK ASPHALTIC CONCRETE PAVEMENT, CLASS B PER C.O.A. STANDARD SPECIFICATIONS SECTION 116 OVER 6" BASECOURSE CLASS I OR CLASS II PER C.O.A. STANDARD SPECIFICATIONS SECTION 302 MIN 95% COMPACTION PER ASTM C-1557 OVER 12" ENGINEERED FILL, COMPACTED TO A MINIMUM OF 95% ASTM D-1557.  
[17] NEW BIKE RACK. SEE 4/A002.  
[18] NEW CONCRETE CURB & PLANTER.  
[19] NEW CONCRETE TRANSFORMER PAD.  
[20] NEW MOTORCYCLE PARKING.  
[21] EXISTING BILLBOARD SIGN.  
[22] NEW ASPHALT ACCESS DRIVE.  
[23] ADJACENT EMPTY LOT.  
[24] EXISTING RETENTION POND.  
[25] HANDICAP PARKING SIGN, SEE 6/A002. SPACE CLOSEST TO ENTRY TO BE DESIGNATED VAN SPACE.  
[26] 4" X 2" CONCRETE BENCH WITH BACK.  
[27] 4'-0" RADIUS.  
[28] CONCRETE MASONRY RETAINING WALL; SEE 13/A002.  
[29] GALVANIZED STEEL CHECKERPLATE OVER SIDEWALK CULVERT; SEE 14/A002.  
[30] NEW FIRE HYDRANT.  
[31] FACE OF CURB TO ALIGN WITH CURB FOR ACCESS DRIVE.  
[32] NEW ASPHALT DRAINAGE SWALE; SEE CIVIL.  
[33] CONNECTION TO FUTURE ACCESS DRIVE TO PROPERTY TO THE EAST.  
[34] PARKING PENINSULA TO BE STRIPED, IN FUTURE NOT IN CONTRACT.  
[35] CONCRETE PARKING BUMPER.  
[36] TEMPORARY ASPHALT CURB @ FUTURE DRIVE.  
[37] CONCRETE SPLASH BLOCK.

ZONING NOTES:

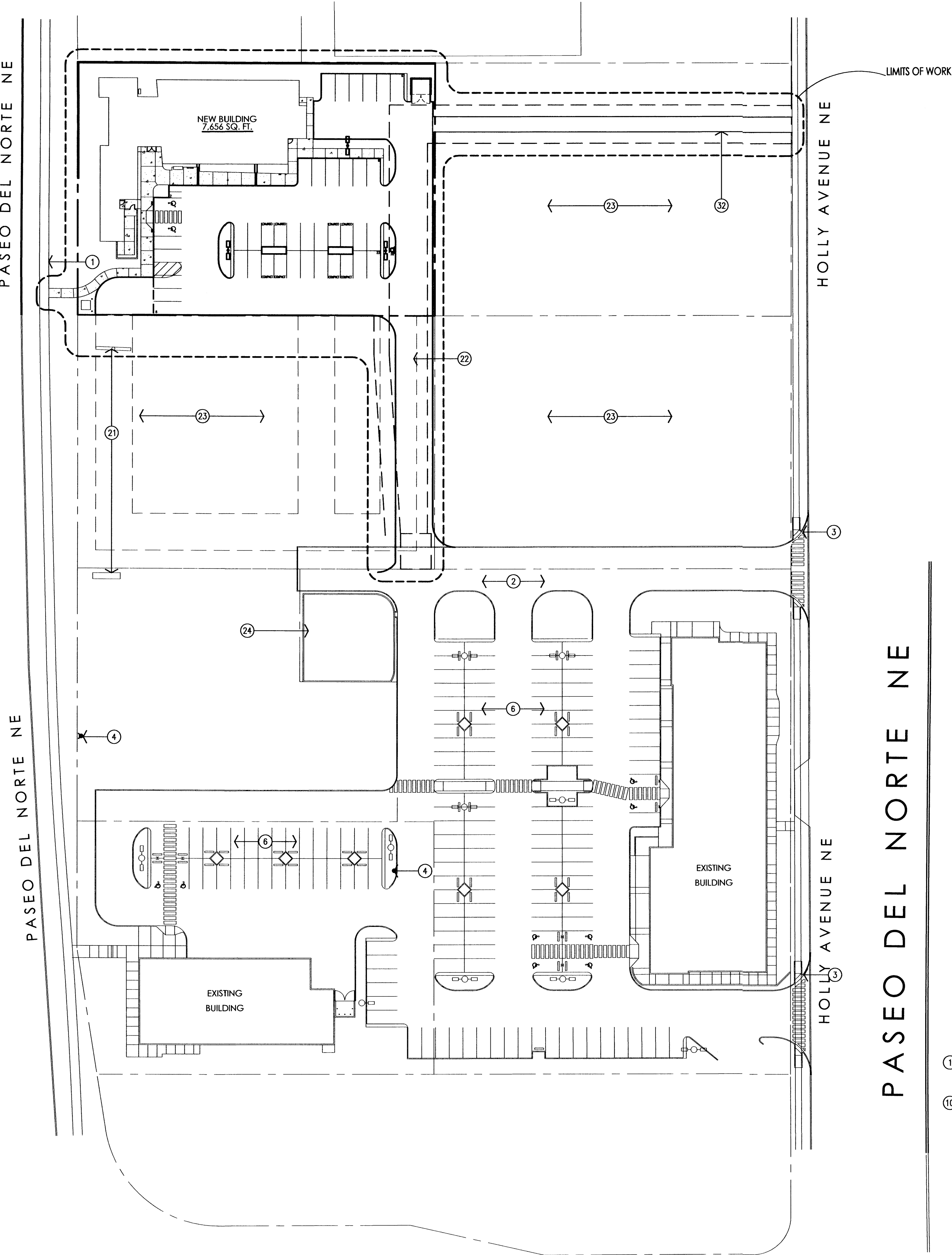
ZONING CLASSIFICATION: M-1 & SU-2  
ALLOWABLE USE: MEDICAL OFFICE (CLINIC) SEE ZONING C-3 AND C-2  
ALLOWABLE HEIGHT: 36'-0" (25' PROPOSED)

SETBACKS	REQUIRED	PROVIDED
FRONT YARD	10'-0"	13'-9"
CORNER YARD	5'-0"	N/A
SIDE YARD	0'-0"	10'-4"
REAR YARD	0'-0"	2'-7" TO TRASH ENCL.
PARKING	REQUIRED	PROVIDED
PARKING REQ'D	30 SPACES	42 SPACES
MOTORCYCLE REQ'D	2 (NOTE B)	2 SPACES
ADA REQ'D	2 (NOTE C)	2 SPACES

NOTE A: 6 DOCTORS X 5 SPACES = 30 SPACES REQ'D  
NOTE B: 26-50 SPACES = 2 MOTORCYCLE REQ'D  
NOTE C: 26-35 SPACES = 3 ADA SPACES REQ'D

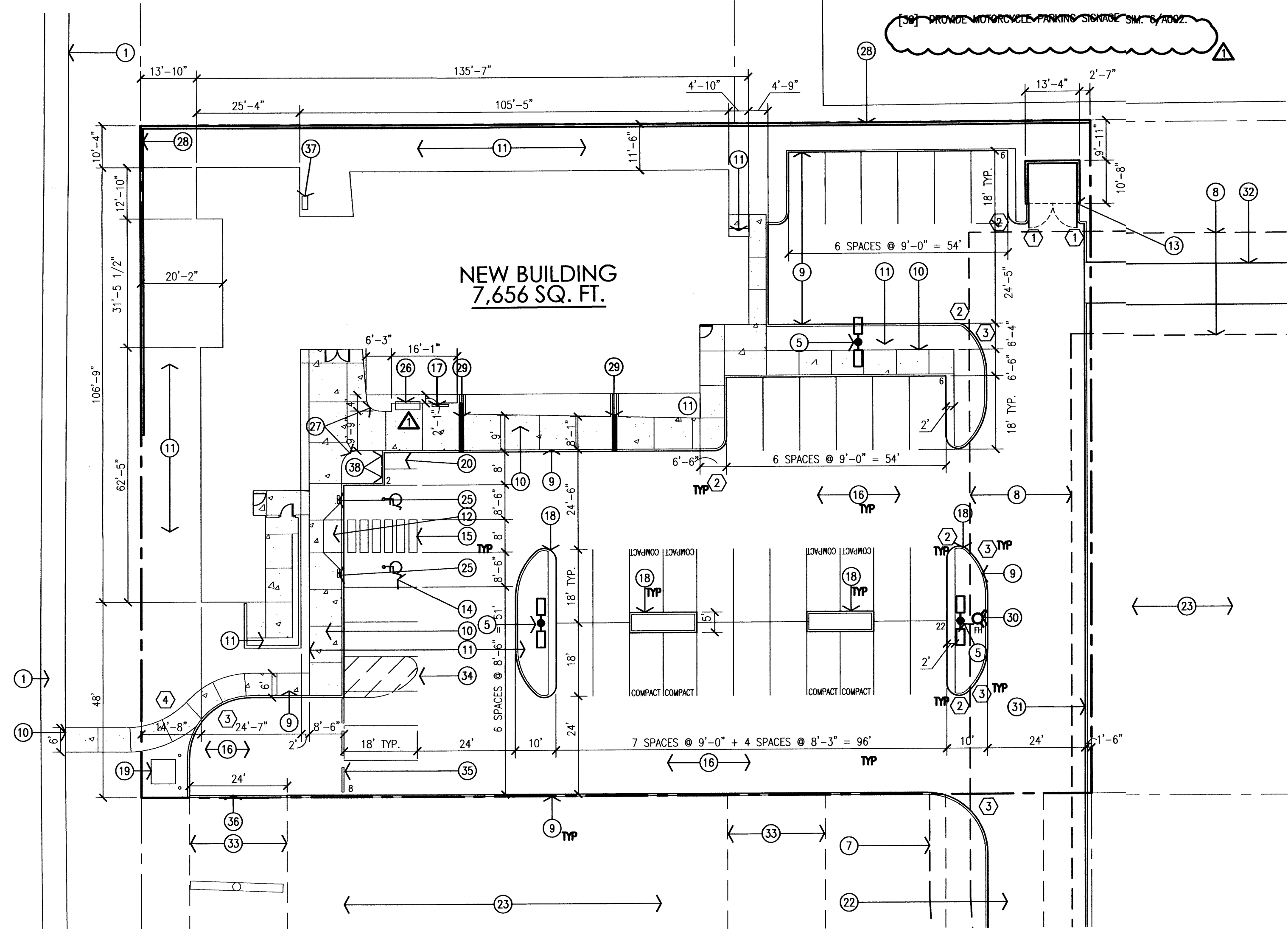
RADIUS INFORMATION:

- [1] = 2'-0"  
[2] = 3'-0"  
[3] = 15'-0"  
[4] = 21'-0"



PASEO DEL NORTE NE

HOLLY AVENUE NE



2 Enlarged Site Plan  
Scale: 1" = 20'



job number 10-20  
drawn by mmm/zsm  
project manager Michele Mullen, AIA  
date 02/17/2010

project title  
After Hours Pediatrics - BUILDING PERMIT  
5904 Holly Avenue NE, 87113  
Albuquerque, New Mexico

sheet title  
Overall & Enlarged Site Plans

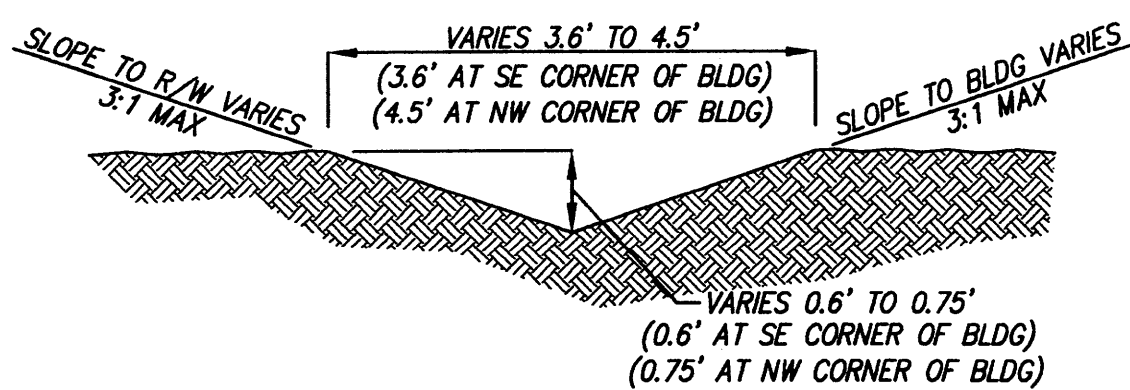
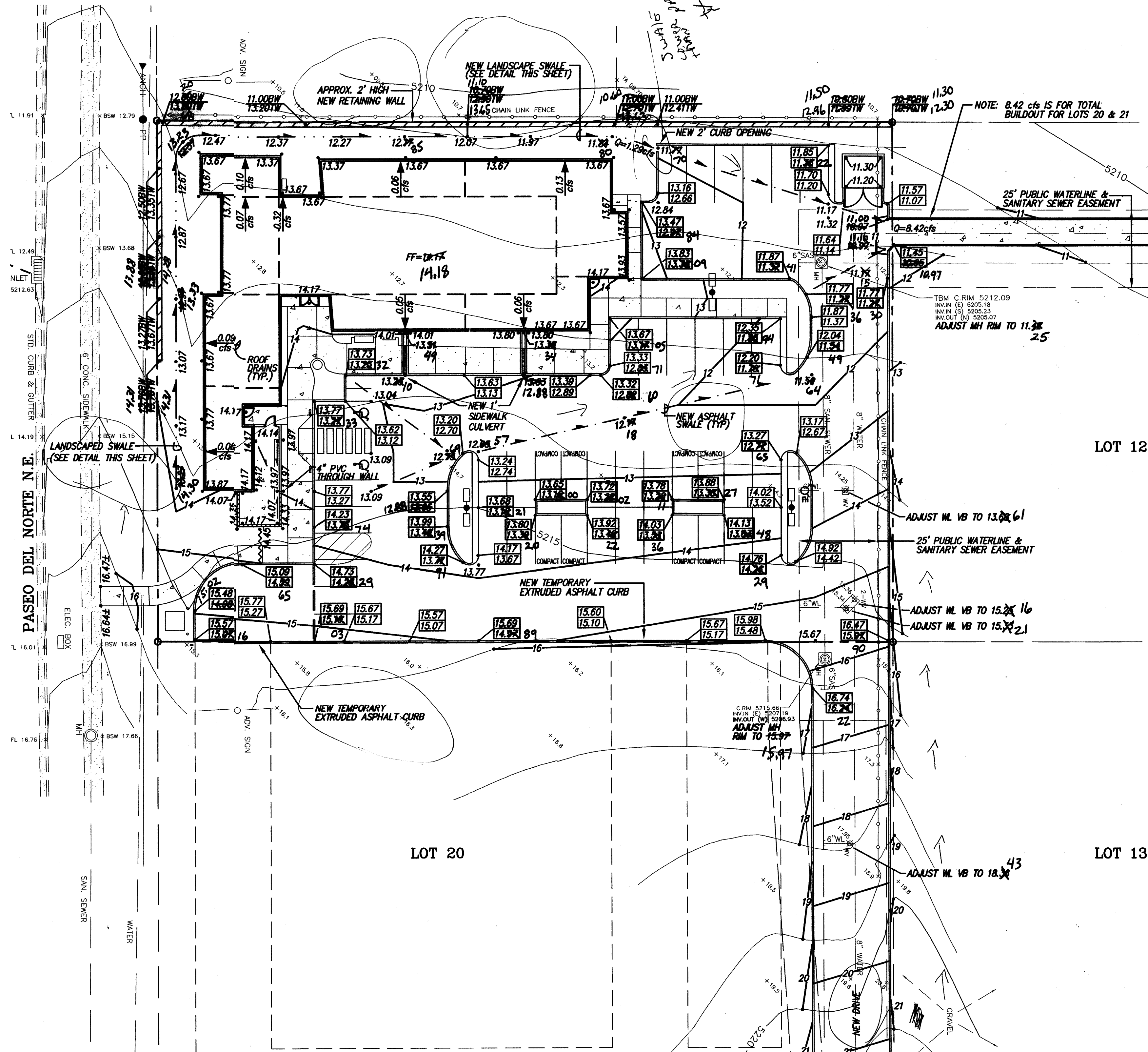
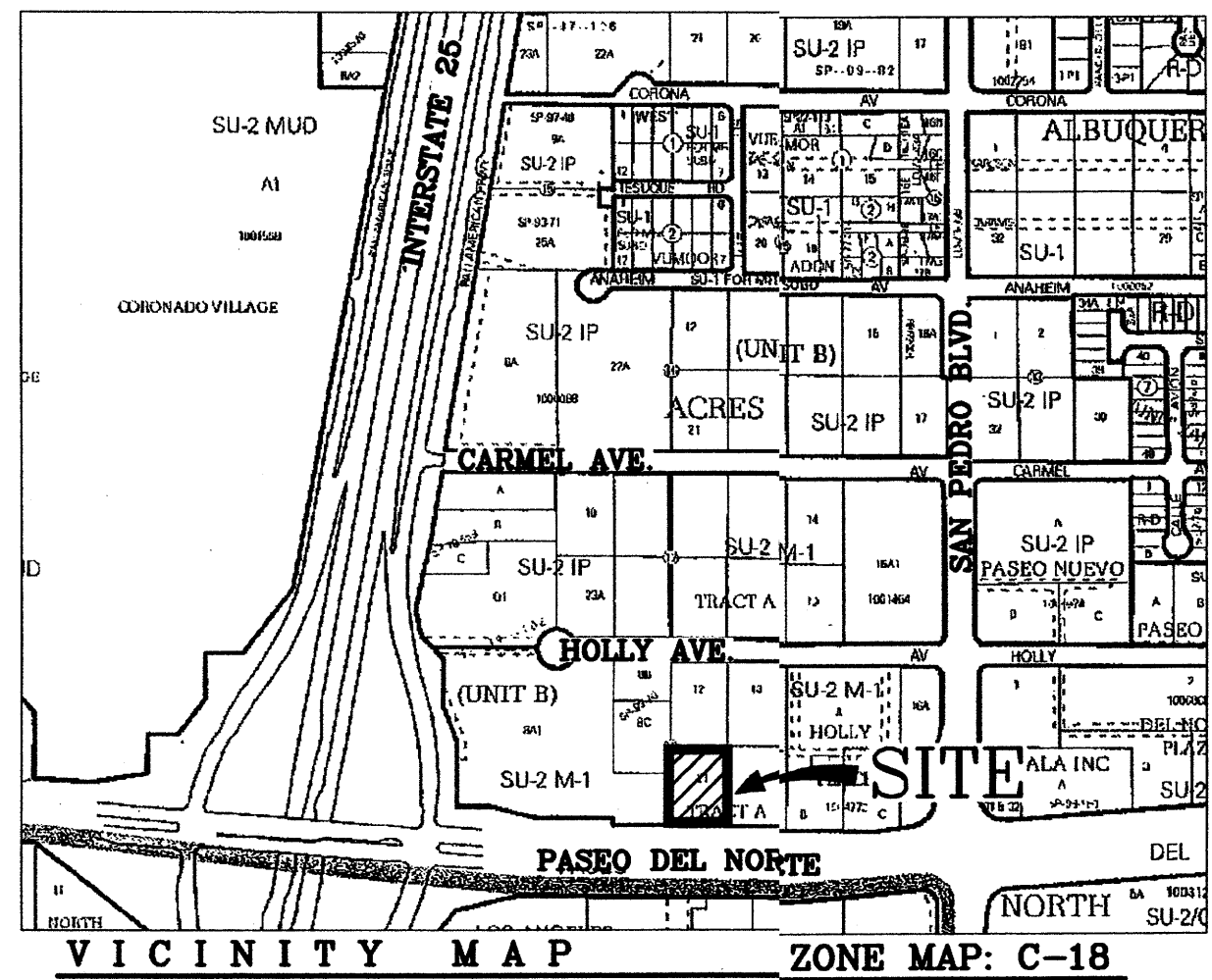
sheet  
A001

Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144[p]  
505 268 4244 [f]

revision  
by  
date  
rev  
11/10/10  
MSM  
BUILDING PERMIT COMMENTS

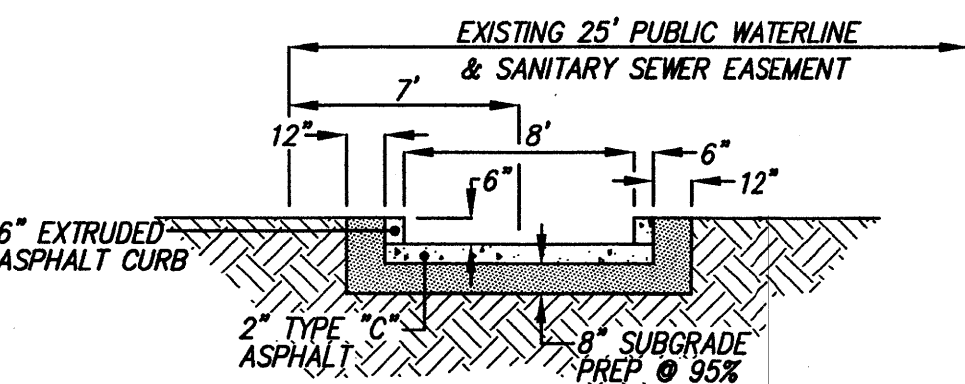


FILED: 05/24/2010 10:33 AM - PASEO DEL NORTE GRADING & DRAINAGE PLAN (C-18) 8:25:2010 2:18:48 PM. C:\\_Paseo\miller.dwg



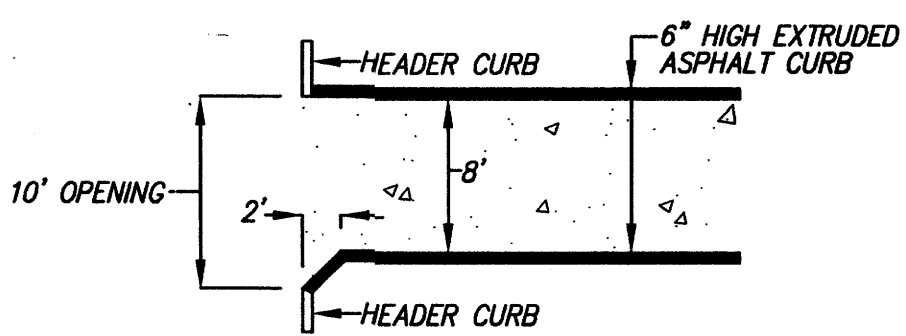
LANDSCAPE SWALE DETAIL

NTS



TEMPORARY ASPHALT CHANNEL DETAIL

NTS



TEMPORARY ASPHALT CHANNEL ENTRANCE DETAIL

NTS

### NOTES

1. SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD ZONE.
2. THIS PROJECT IS ALLOWED (FREE DISCHARGE PER THE HOLLY PLACE COMMERCIAL PHASE II PROJECT (C18/D77).
3. THERE IS A DRAINAGE AGREEMENT THAT ESTABLISHES A RECIPROCAL DRAINAGE EASEMENT OVER LAND AND ACROSS THE COMMON AREA OF EACH PARCEL FOR THE BENEFIT OF EACH OTHER PARCEL, FOR THE PURPOSES OF DRAINAGE OF STORM & SURFACE WATER. A COPY OF THIS AGREEMENT IS IN THE DRAINAGE REPORT FOR THE PROJECT.

### LEGAL DESCRIPTION

Lot numbered Twenty-one (21) in Block numbered Eighteen (18) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936.

### ACS BENCHMARK

Basis of elevations: ACS BM "9.C19", 3-1/4" Alum. disk, set on top of pipe 0.05' above ground at Southwest corner of Wilshire Ave. and San Pedro Drive, NE ELEV. 5232.470 (NAVD 88)

### STANDARD GRADING NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WEETING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

### DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

### LEGEND

	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. TRANSFORMER
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY PEDESTAL
	EXIST. WALL
	EXIST. BACK OF CURB ELEVATION
	EXIST. FLOW LINE ELEVATION
	EXIST. EDGE OF PAVEMENT ELEVATION
	EXIST. TOP OF ASPHALT CURB ELEVATION
	EXIST. GROUND SPOT ELEVATION
	EXIST. CURB & GUTTER
	NEW BUILDINGS
	NEW SPOT ELEVATION
	NEW PROPERTY LINE
	NEW ASPHALT SWALE
	NEW LANDSCAPE SWALE
	NEW CONTOUR
	NEW TOP OF CURB ELEVATION
	NEW FLOWLINE ELEVATION
	NEW HEADER CURB
	NEW RETAINING WALL
	NEW TOP OF WALL
	NEW BOTTOM OF WALL AT GRADE
	NEW EXTRUDED ASPHALT CURB
	NEW HIGH POINT

### DRAINAGE CERTIFICATION

I, Gregory J. Krenik, NMPE 11928, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-25-10. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Russ P. Hugo, NMFS 9750, OF THE FIRM SURV TEK, Inc. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7-18-11, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THE RECORD INFORMATION IN THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF THE RECORD INFORMATION BEFORE USING IT FOR ANY OTHER PURPOSE.

GREGORY J. KRENICK, NMPE 11928  
DATE: 7-20-11  
SCALE: 1" = 20'

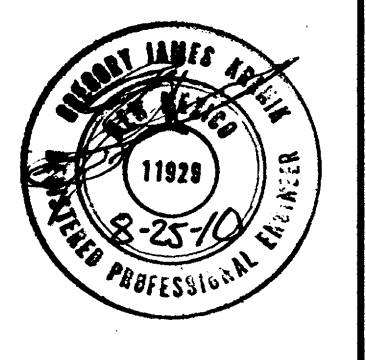
MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539

project title  
After Hours Pediatrics  
Paseo Del Norte & 125 - Lot 21, Block 18, Unit B  
Albuquerque, New Mexico

sheet title  
GRADING & DRAINAGE PLAN ASBULTS

sheet  
C-100

job number  
10-20  
drawn by  
msm/cam  
project manager  
Michele Mullen, AIA  
date  
08/20/2010



924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144[p]  
505 268 4244 [f]

Mullen Heller  
Architecture P.C.

revision  
by  
date  
rev



SITE DEVELOPMENT DATA:  
LEGAL DESCRIPTION: LOT 21, BLOCK 18, TRACT A, UNIT B  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
BUILDING ADDRESS: NOT ASSIGNED

LAND AREA: .8843 ACRES (38,521 SQ. FT.)  
CURRENT ZONING: SU-2/ M-1  
ZONE ATLAS PAGE: B-18-Z  
BUILDING AREAS: PROPOSED NEW MEDICAL OFFICE CLINIC = 7,656 SF  
PARKING CALCULATIONS: PROPOSED CLINIC 5 PARKING SPACES PER DOCTOR 6 DOCTORS X 5 SPACES = 30 SPACES  
MOTORCYCLE SPACES 25-50 SPACES = 2 SPACES  
TOTAL SPACES PROVIDED = 42 SPACES

ALLOWABLE HEIGHT: 36'-0"  
SETBACKS  
FRONT YARD 5'-0" 10'-0" 13'-9"  
CORNER YARD 5'-0" N/A  
SIDEYARD 0'-0" 10'-0"  
REAR YARD 0'-0" 2'-7" TO TRASH ENCL.  
RADIUS INFORMATION:  
① = 2'-0"  
② = 3'-0"  
③ = 15'-0"  
④ = 15'-0"

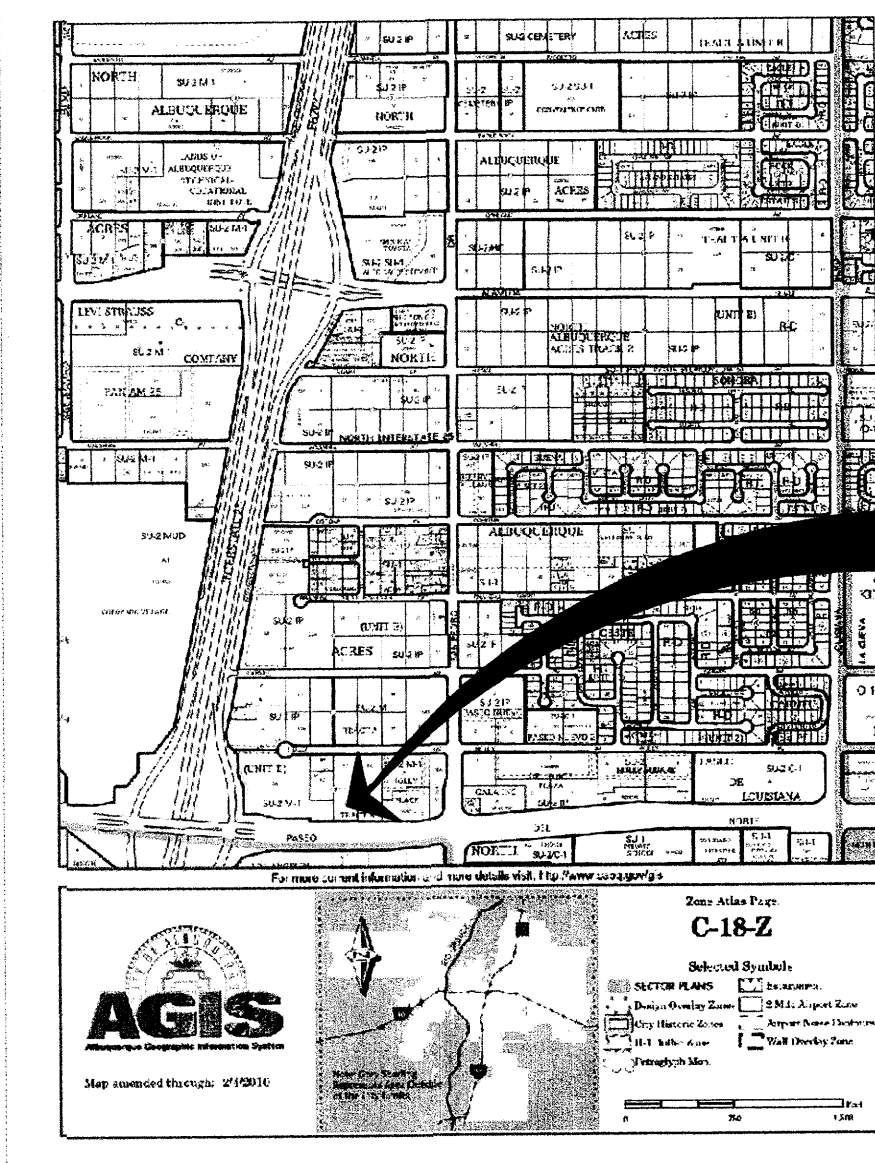
GENERAL NOTES:

- A. BUILDING FINISH FLOOR EQUALS 11'-0", REFER TO CIVIL.  
B. PROVIDE EXPANSION JOINT IN CONCRETE SIDEWALK AT 20' O.C. & CONTROL JOINT AT 5' O.C.  
C. BUILDING TO BE TYPE IIB CONSTRUCTION

KEYED NOTES:

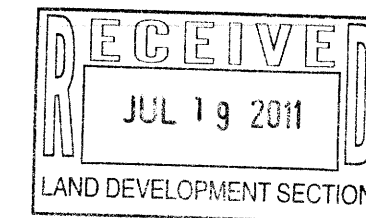
- [1] EXISTING CONCRETE SIDEWALK.  
[2] EXISTING ASPHALT PAVING.  
[3] EXISTING CURB CUT AND CURBING TO REMAIN.  
[4] EXISTING FIRE HYDRANT.  
[5] NEW 20' HIGH POLE LIGHTING. SEE SHEET 6 OF 6.  
[6] EXISTING PARKING SPACES.  
[7] EXISTING 10' PUBLIC UTILITY EASEMENT.  
[8] EXISTING 25' PUBLIC UTILITY EASEMENT.  
[9] NEW 6" CONCRETE CURB AT PERIMETER OF PARKING.  
[10] NEW CONCRETE SIDEWALK.  
[11] NEW LANDSCAPING.  
[12] NEW HANDICAP RAMP.  
[13] NEW CMU DUMPSTER ENCLOSURE. SEE SHEET 6 OF 6.  
[14] NEW HANDICAP PAVEMENT SIGN.  
[15] NEW HANDICAP PAVEMENT STRIPING.  
[16] NEW ASPHALT PAVING.  
[17] NEW BIKE RACK. SEE SHEET 6 OF 6.  
[18] NEW CONCRETE CURB & PLANTER.  
[19] NEW CONCRETE TRANSFORMER PAD.  
[20] NEW MOTORCYCLE PARKING.  
[21] EXISTING MONUMENT SIGN.  
[22] NEW ASPHALT ACCESS DRIVE.  
[23] ADJACENT EMPTY LOT.  
[24] EXISTING RETENTION POND.  
[25] HANDICAP PARKING SIGN.  
[26] 6' LONG CONCRETE BENCH WITH BACK.  
[27] 5'-0" DIAMETER TO 1'-6" HIGH CONCRETE PLATFORM FOR OWNER PROVIDED SCULPTURE.  
[28] CONCRETE RETAINING WALL; HEIGHT VARIES (4'-0" MAX). SEE SHEET 6 OF 6.  
[29] GALVANIZED STEEL CHECKERPLATE SIDEWALK CULVERT.  
[30] NEW FIRE HYDRANT.  
[31] CALIBERS GUN CLUB.  
[32] PATIO ENCLOSURE; SEE ELEVATIONS.  
[33] BOUNDARY OF PROPERTY.  
[34] ACCESS DRIVE TO ADJACENT LOT FOR FUTURE USE WHEN LOT DEVELOPED.  
[35] 6' WIDE SCORED CONCRETE SIDEWALK

VICINITY MAP:



The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure health and safety of the public. Recommendation made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones) shall be consulted prior to development of the site.

Albuquerque Environmental Health Department



PROJECT NUMBER: 1008401 APPLICATION NUMBER:  
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE DEVELOPMENT REVIEW BOARD (DRB) DATED:  
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION 08/17/10  
Date  
08/11/10  
Date  
8-11-10  
Date  
8/11/10  
Date  
8/12/10  
Date  
8-11-10  
Date  
8-20-10  
Date  
DRB CHAIRPERSON, PLANNING DEPARTMENT

PASEO DEL NORTE NE

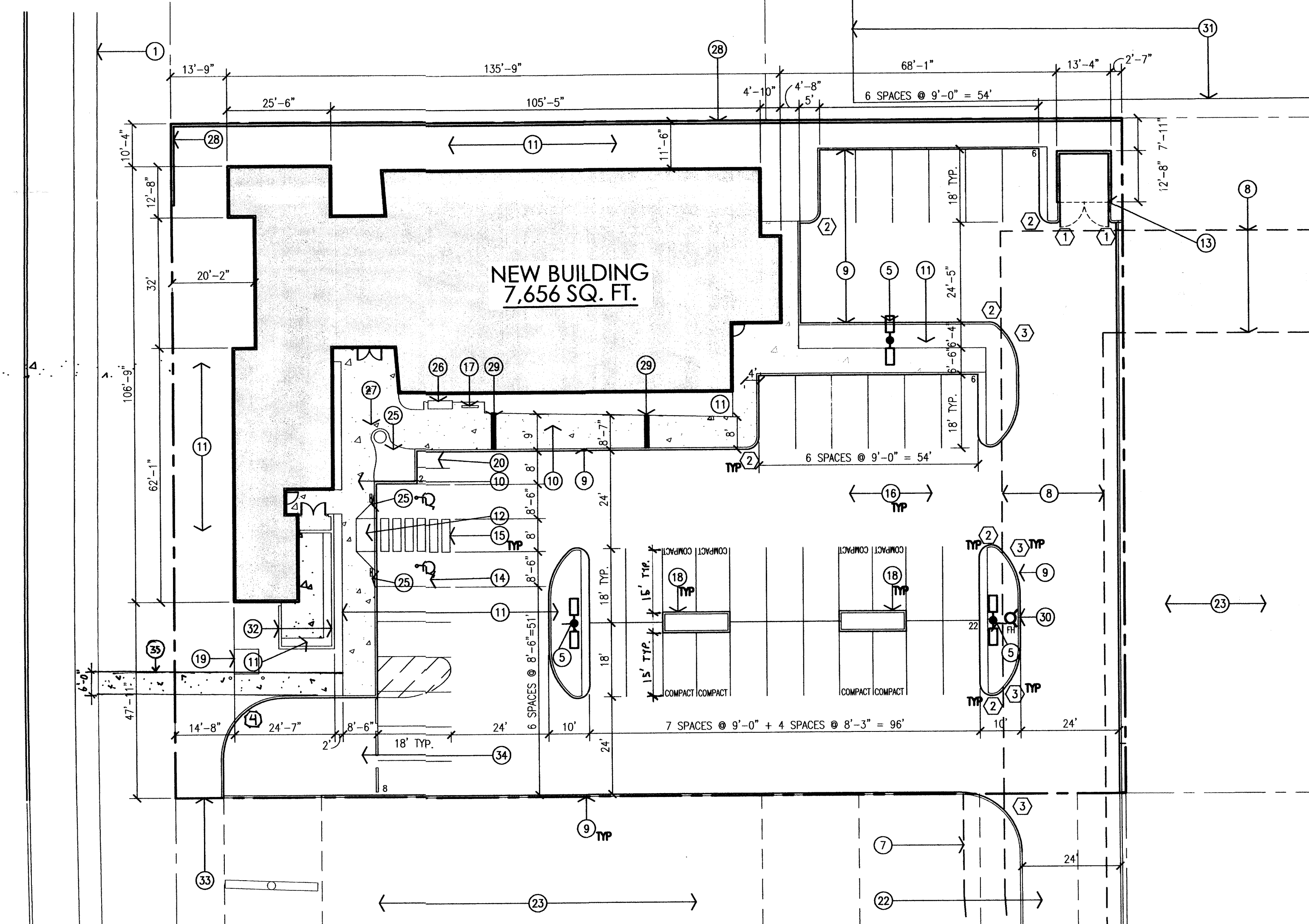
PASEO DEL NORTE NE

HOLLY AVENUE NE

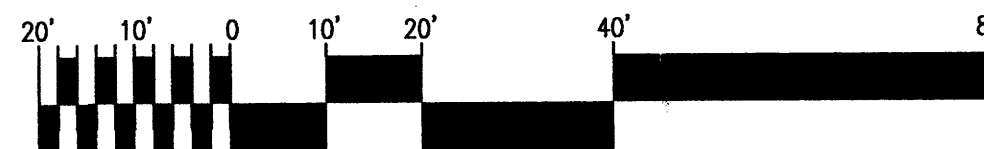
HOLLY AVENUE NE

1 Area Site Plan  
Scale: 1" = 40'

PASEO DEL NORTE NE



2 Enlarged Site Plan  
Scale: 1" = 20'



revision

by

date

rev

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

date

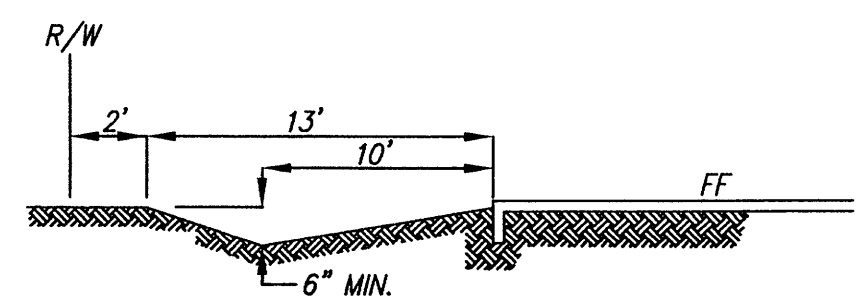
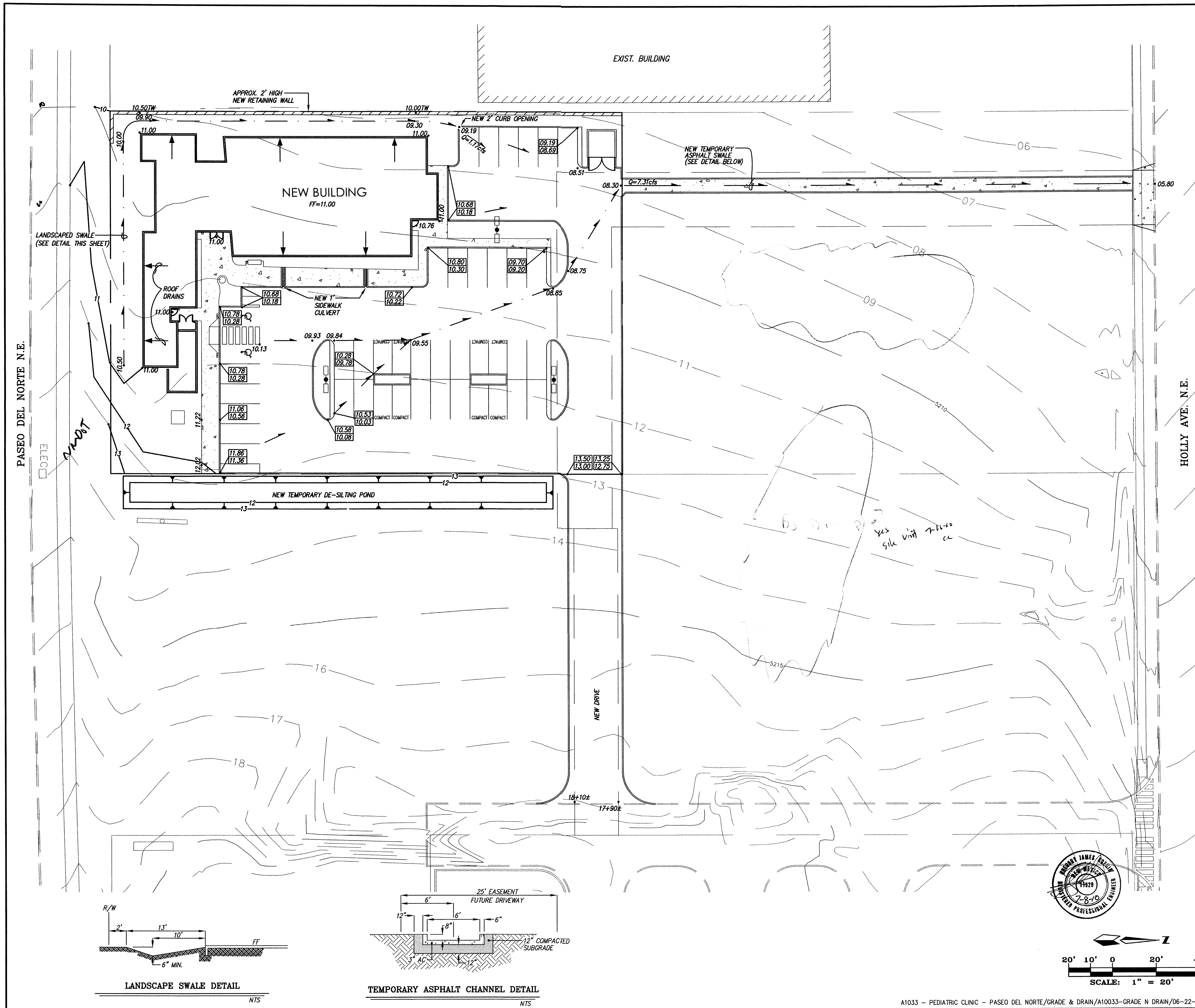
project title  
After Hours Pediatrics  
XXXX Paseo Del Norte  
Albuquerque, New Mexico

sheet title  
Overall & Enlarged Site Plans

sheet

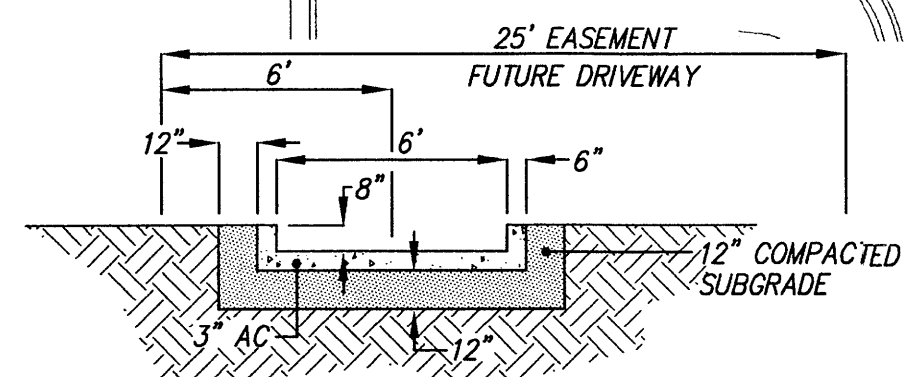


F:\A10033\A10033 - Pediatric Clinic - Paseo del Norte\GRADE & DRAIN\A10033-GRADE N DRAIN.dwg, 7/8/2010 1:58:54 PM, Oca, Robert, Paper, pc3, CHRIS



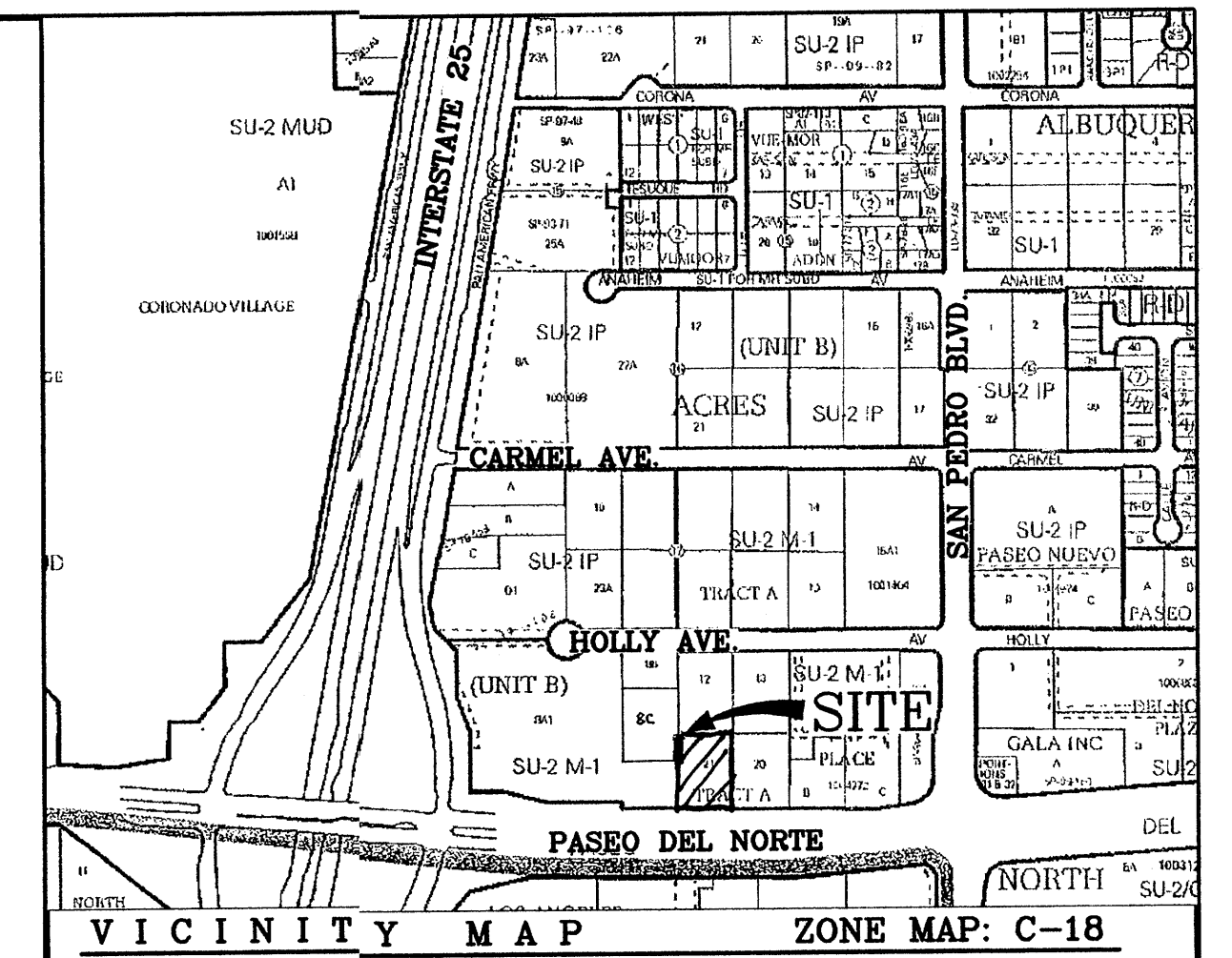
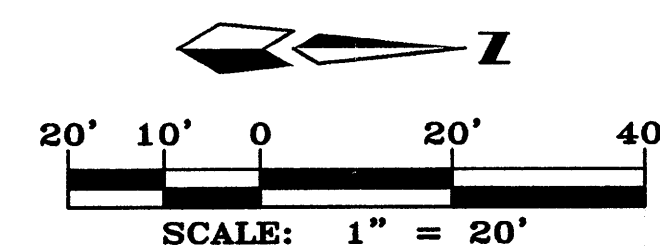
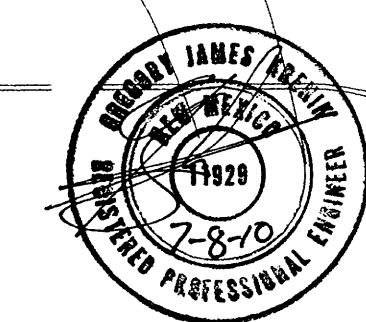
LANDSCAPE SWALE DETAIL

NTS



TEMPORARY ASPHALT CHANNEL DETAIL

NTS



#### NOTES

1. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
2. THIS PROJECT IS ALLOWED FREE DISCHARGE PER THE HOLLY PLACE COMMERCIAL PHASE II PROJECT (C18/D77)
3. OFF-SITE FLOWS FROM THE PAD SITE TO THE EAST WILL BE DE-SILTED IN TEMPORARY POND AS SHOWN.

#### LEGEND

	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. TRANSFORMER
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY PEDESTAL
	EXIST. WALL
	EXIST. BACK OF CURB ELEVATION
	EXIST. FLOW LINE ELEVATION
	EXIST. EDGE OF PAVEMENT ELEVATION
	EXIST. TOP OF ASPHALT CURB ELEVATION
	EXIST. GROUND SPOT ELEVATION
	EXIST. CURB & GUTTER
	EXIST. BUILDINGS
	NEW BUILDINGS
	NEW SPOT ELEVATION
	NEW PROPERTY LINE
	NEW FLOW
	NEW CONTOUR
	NEW TOP OF CURB
	NEW FLOWLINE ELEVATION
	NEW CURB & GUTTER
	NEW RETAINING WALL

#### PEDIATRIC CLINIC - PASEO DEL NORTE CONCEPTUAL GRADING & DRAINAGE PLAN

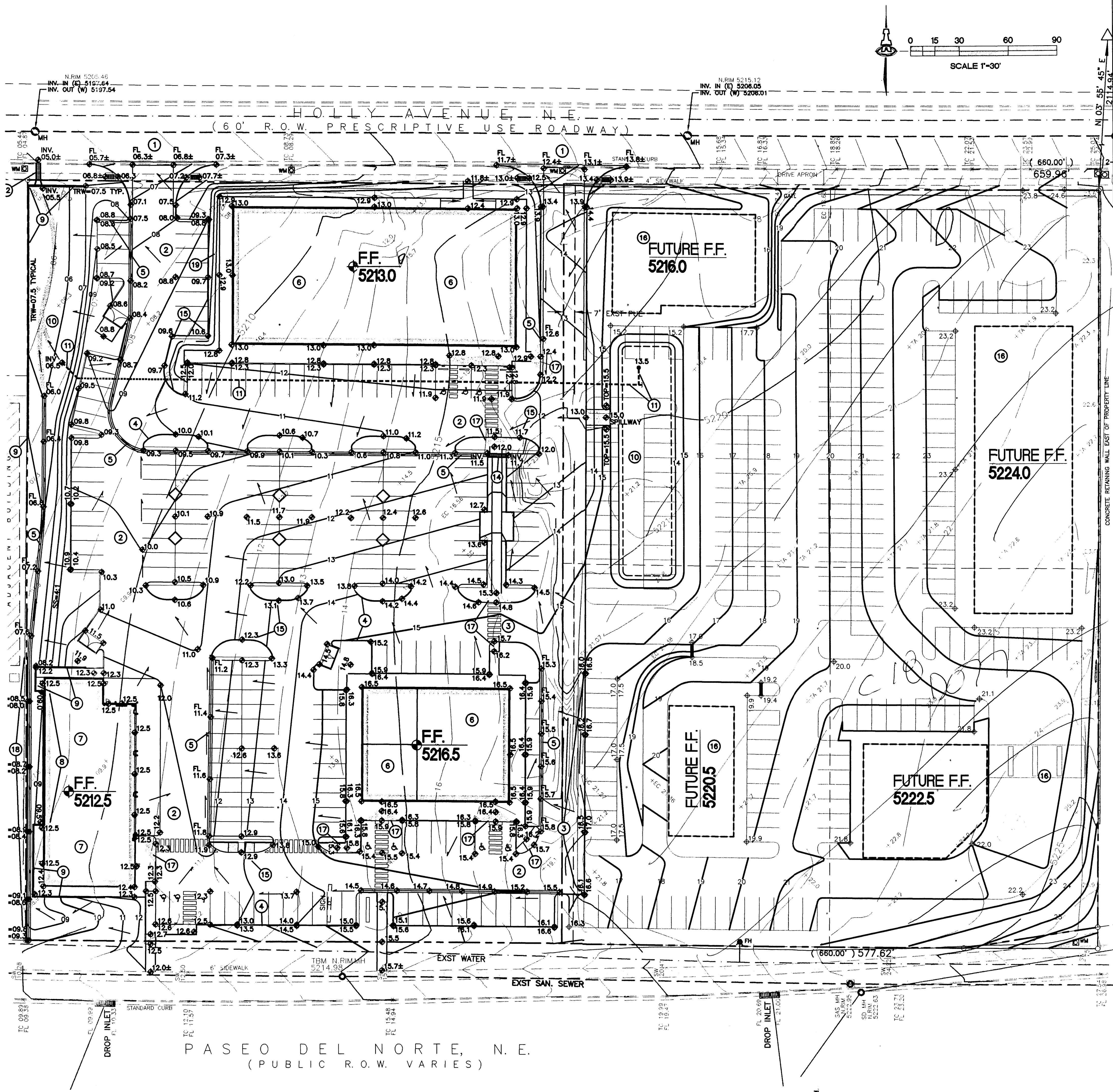
**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: ACH	Checked: DMG	Sheet: C-1
Scale: 1" = 20'	Date: 07-07-10	Job: A01033	

A1033 - PEDIATRIC CLINIC - PASEO DEL NORTE/GRADE & DRAIN/A10033-GRADE N DRAIN/06-22-10/ACH



M:\ACTIVE\LD\1435\dwg\1435GRD.dwg, GRD, 6/26/2006 4:02:57 PM



### SITE INFORMATION

LEGAL: LOTS 12, 13, 20 AND 21 OF BLOCK 18, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

AREA: 3.53 ACRES

SURVEYOR: THOMAS D. JOHNSTON - NMPS#14269

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOOD ZONE 'X', DESIGNATED AS AREAS OUTSIDE THE 500 YEAR FLOODZONE.

### GENERAL NOTES

- COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.

### NOTES FROM SURVEY

- BOUNDARY DIMENSIONS ARE BETWEEN RECOVERED CORNERS AND CORRESPOND TO THOSE ON A PREVIOUS SURVEY BY WAYJOHN SURVEYING, INC. BEARINGS HAVE BEEN ROTATED TO NEW MEXICO STATE PLANE GRID, CENTRAL ZONE.
- BASIS OF ELEVATIONS: ACS BM "14-C18", 1-3/4" ALUM. DISK, SET ON TOP OF CONCRETE DROP INLET, APPROX. 1150' WEST OF CENTERLINE OF SAN PEDRO DRIVE. ELEV. 5207.00 (NGVD 29).
- TBM: N. MANHOLE RIM, LOCATED IN CONC. SIDEWALK, S. OF SOUTH PROPERTY LINE ELEV. 5214.98.
- LOCATIONS OF SANITARY SEWERS AND WATERLINES ARE FROM VISUAL NOTES SUPPLEMENTED BY ON-LINE GRAPHICS PROVIDED BY CITY GIS SITE.

### S.O.19 PERMIT REQUIRED

#### NOTICE TO CONTRACTORS

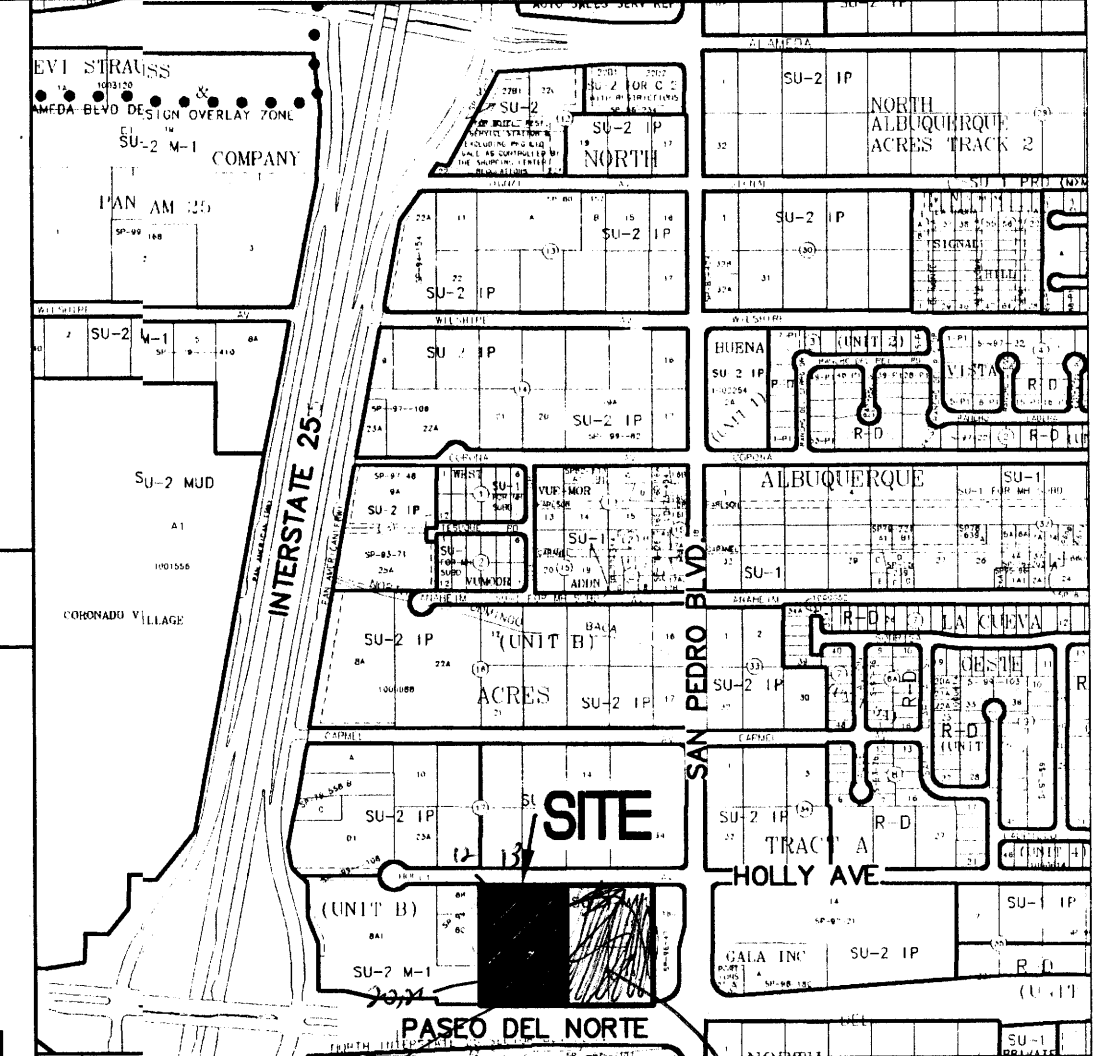
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

### LEGEND

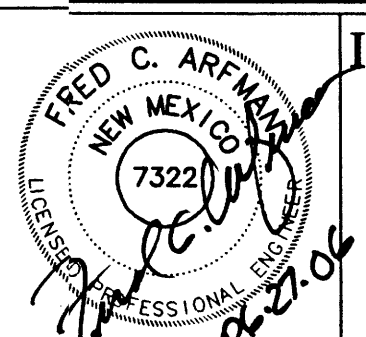
- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- SURFACE FLOW DIRECTION
- ENTRY / EXIT LOCATION
- FL FLOW LINE
- FF FINISHED FLOOR
- TRW TOP OF RETAINING WALL

### COA ZONE ATLAS MAP #C-18



### KEYED NOTES

- CONSTRUCT SITE ENTRANCE WITH ASSOCIATED CONCRETE VALLEY GUTTER AND ACCESS RAMPS PER C.O.A. STD. DWG. 2426. SEE ARCHITECTURAL FOR ADD'L INFO. PROVIDE SMOOTH TRANSITION FROM 8" STANDARD CURB AND GUTTER AT STREET TO 6" MEDIAN CURB AND GUTTER ON-SITE.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PARKING LAYOUT, DIMENSIONS, AND STRIPING.
- PAVING HIGH POINT.
- CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER AT ELEVATIONS SHOWN FOR ALL ON-SITE CURB LOCATIONS. SEE C-2 FOR DTL.
- CONSTRUCT 2" WIDE CONCRETE VALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN (0.0050' / MIN. SLOPE) TO DIRECT SURFACE FLOW. SEE C-2 FOR DTL.
- ROOF DISCHARGE - THIS BUILDING TO BE RELEASED TO INTERIOR PAVED AREAS. SEE ARCHITECTURAL PLANS.
- ROOF DISCHARGE - THIS BUILDING TO BE RELEASED TO WEST TO PASS TO PONDING AREA. SEE ARCHITECTURAL PLANS.
- CONSTRUCT BUILDING RETAINING / EXTENDED STEINWALLS AS REQUIRED TO ACHIEVE GRADE DIFFERENCES. DESIGN BY OTHERS.
- CONSTRUCT SITE RETAINING WALLS TO ACHIEVE GRADE DIFFERENCES. DESIGN BY OTHERS. TOP OF WALL ELEVATION TO BE 4" ABOVE HIGH SIDE GRADE UNLESS NOTED.
- CONSTRUCT DETENTION POND TO DIMENSIONS / ELEVATIONS SHOWN. SEE SEPARATE CALCULATIONS AND DETAILS.
- PROPOSED EAST POND INLET AND STORM DRAIN. SEE SHEET C-2.
- DETENTION POND DISCHARGE STRUCTURE TO HOLLY AVE. SEE DETAIL SHEET C-2.
- PROVIDE 1" WIDE OPENING IN CURB AT FLOWLINE ELEVATIONS SHOWN TO PASS DISCHARGE.
- INSTALL 12" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 TO PASS FLOW THROUGH ISLAND AS SHOWN.
- SPOTS SHOWN WITHIN PAVED AREAS REFERENCE TO TOP OF ADJACENT ELEVATIONS. ADD 0.5" TYPICAL FOR TOP OF ADJACENT CURB OR CONCRETE WALK.
- ROUGH GRADE EAST PROPERTY AS PART OF WEST PROPERTY DEVELOPMENT.
- CONSTRUCT HANDICAP RAMPS PER ADA STANDARDS. SEE ARCHITECTURAL FOR SPECIFIC RAMP LOCATIONS AND DETAILS. TYPICAL.
- CONSTRUCT 2" WIDE CONCRETE CHANNEL WITH 6" HIGH CONCRETE CURB ALONG WEST PROPERTY LINE TO DIRECT RUNOFF NORTH TO PROPOSED DETENTION POND.
- INSTALL ROCK ARMORING OR PERMANENT EROSION CONTROL FABRIC FOR ALL SLOPES > 3:1.



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87106  
Ph: 505-268-8828 Fax: 505-268-2632  
1435GRD.DWG.BJB 06.26.06

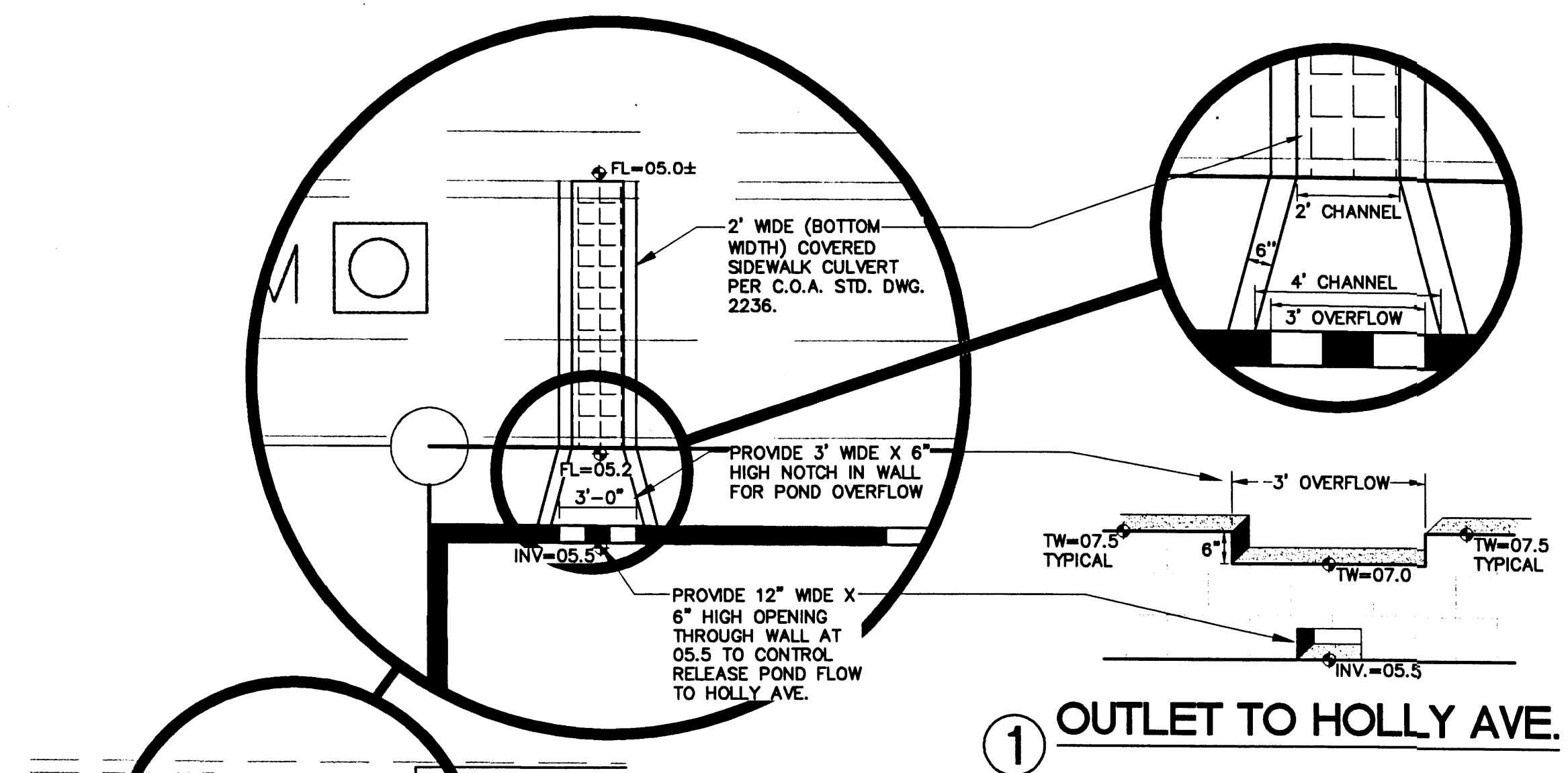
**PASEO PLACE COMMERCIAL**  
Paseo Place, LLC

**GRADING AND DRAINAGE PLAN**

Date: 06.26.06	No. / Revision: 1	Date: 06.26.06	Job No: 1435
Drawn By: BJB			
Ckd By: FCA			

**C-1**  
OF  
HYDROLOGY SECTION

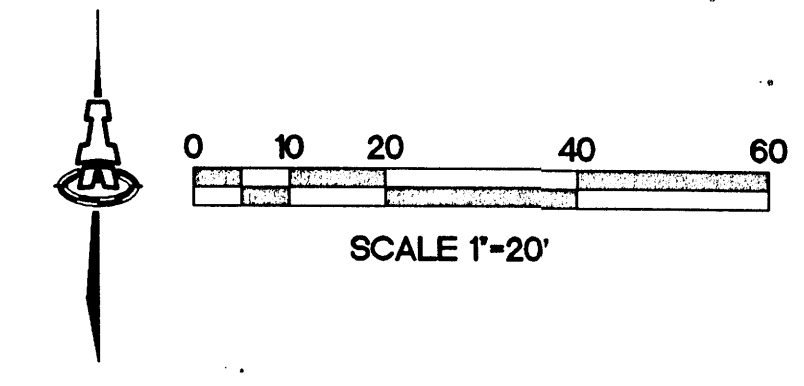




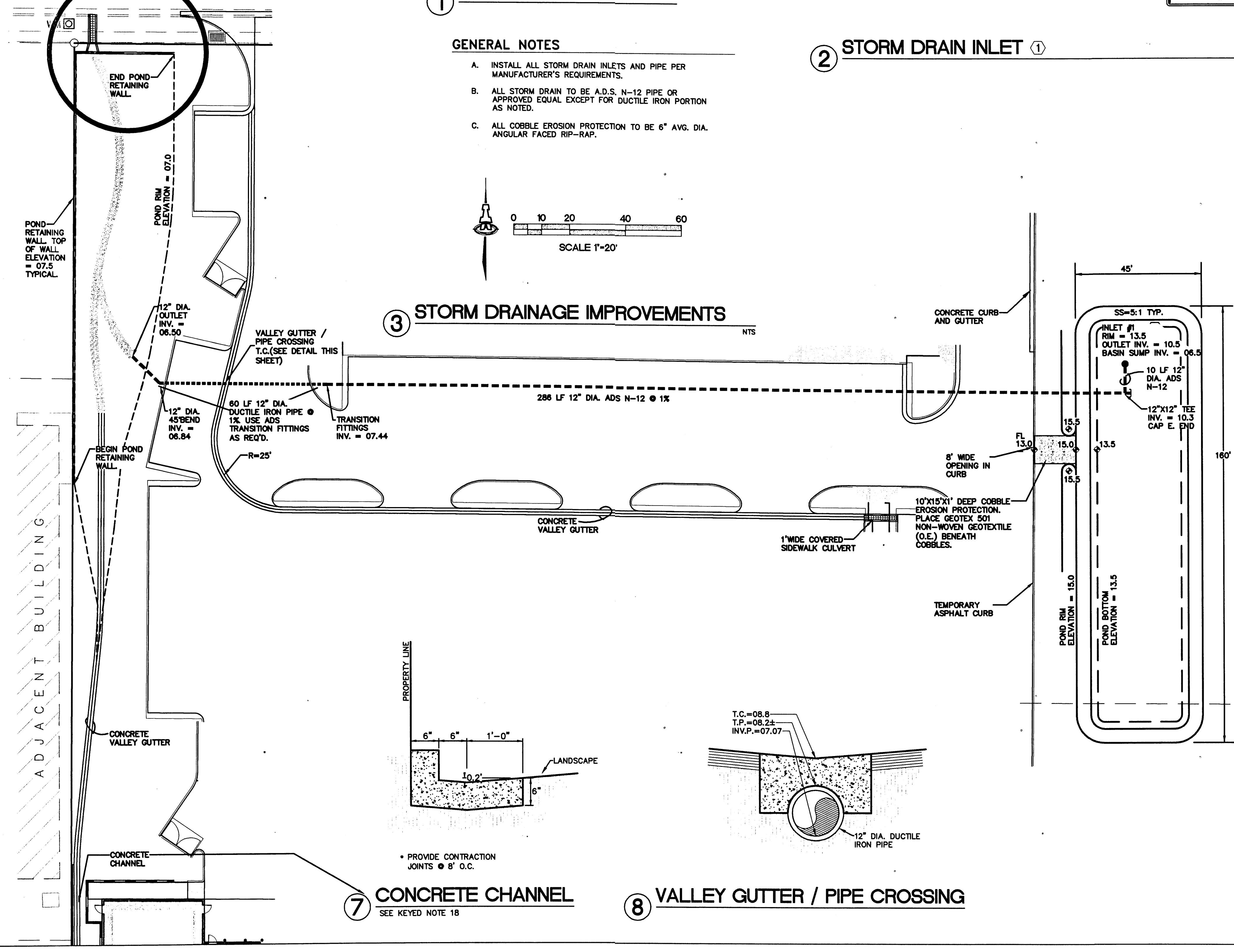
① OUTLET TO HOLLY AVE.

GENERAL NOTES

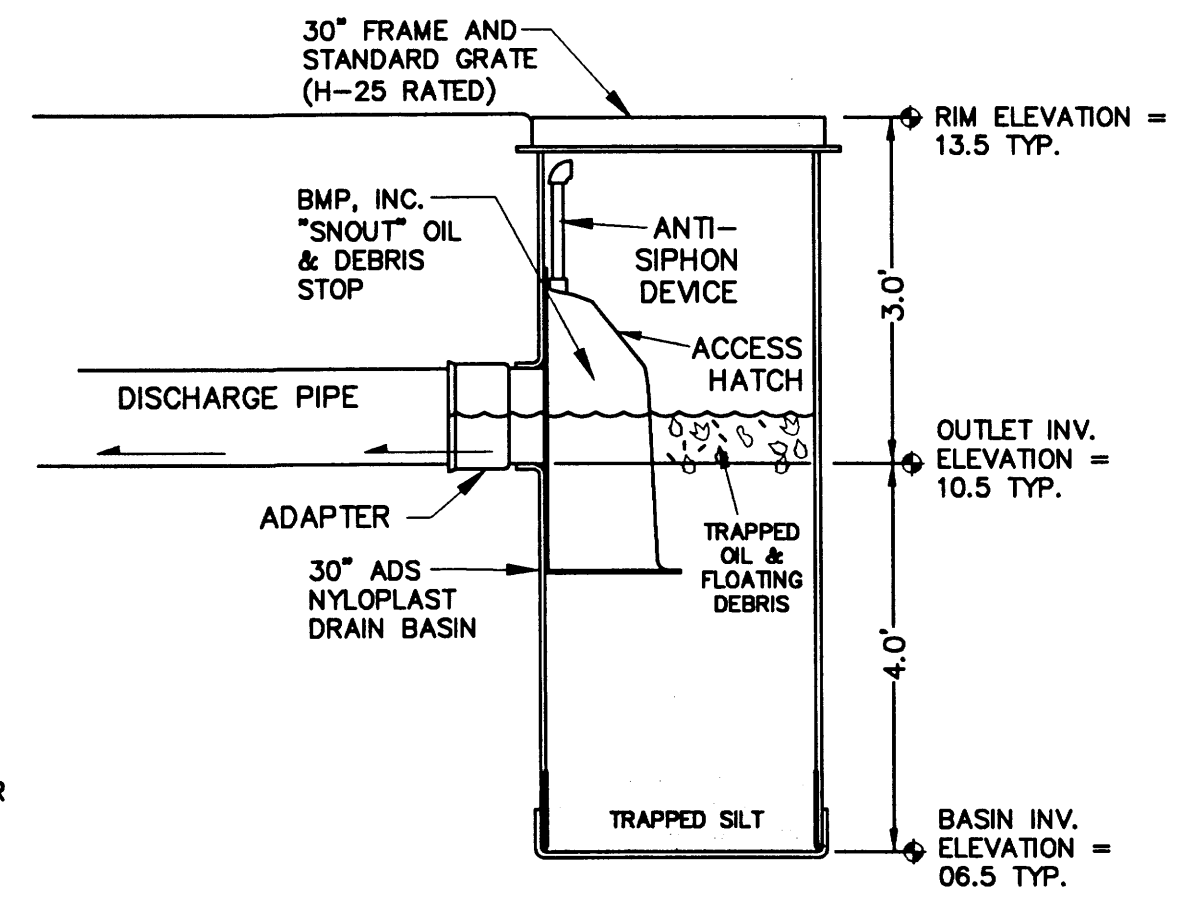
- INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S REQUIREMENTS.
- ALL STORM DRAIN TO BE A.D.S. N-12 PIPE OR APPROVED EQUAL EXCEPT FOR DUCTILE IRON PORTION AS NOTED.
- ALL COBBLE EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED RIP-RAP.



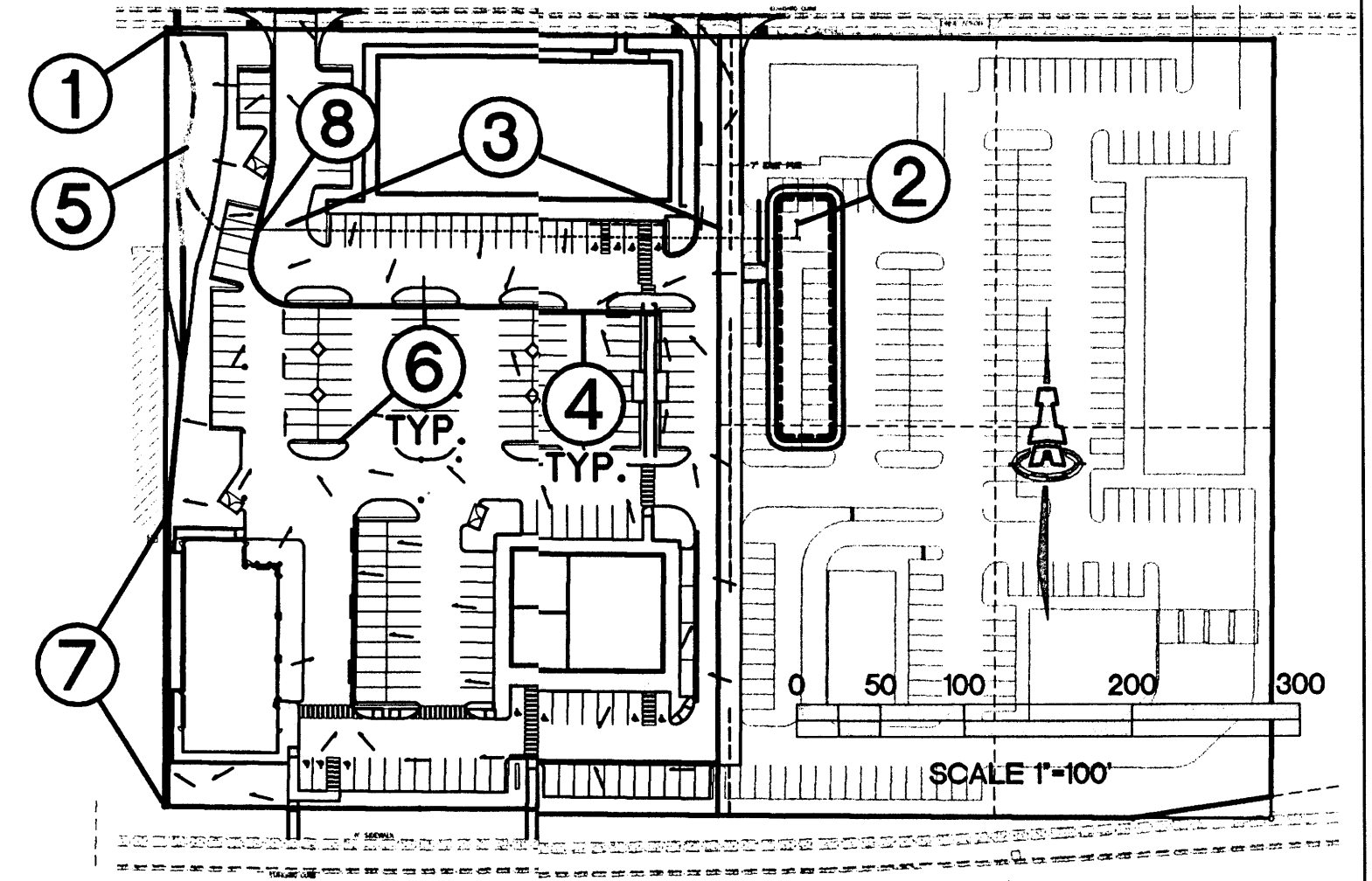
③ STORM DRAINAGE IMPROVEMENTS



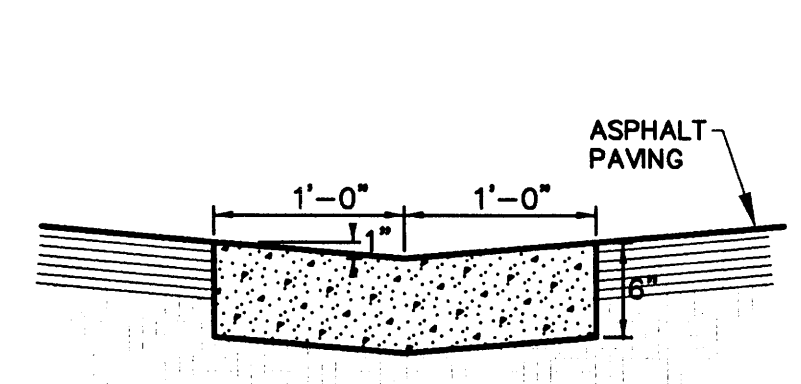
- NOTES:
- 30" ADS NYLOPLAST BASIN (ADS: 1-800-821-6710) WITH BMP, INC. "SNOUT" OIL AND DEBRIS HOOD (800 504-8008).
  - HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT.
  - THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH STAINLESS STEEL SCREWS, STAINLESS RUBBER BACKED WASHERS, AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER.
  - INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT.



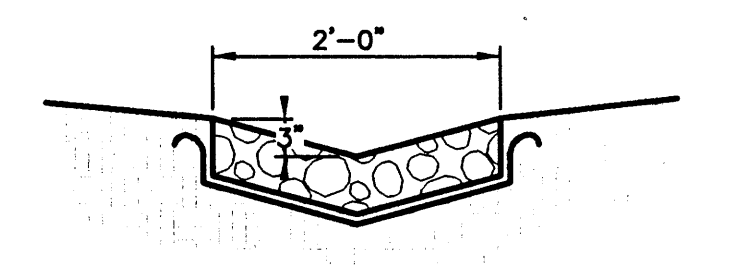
② STORM DRAIN INLET



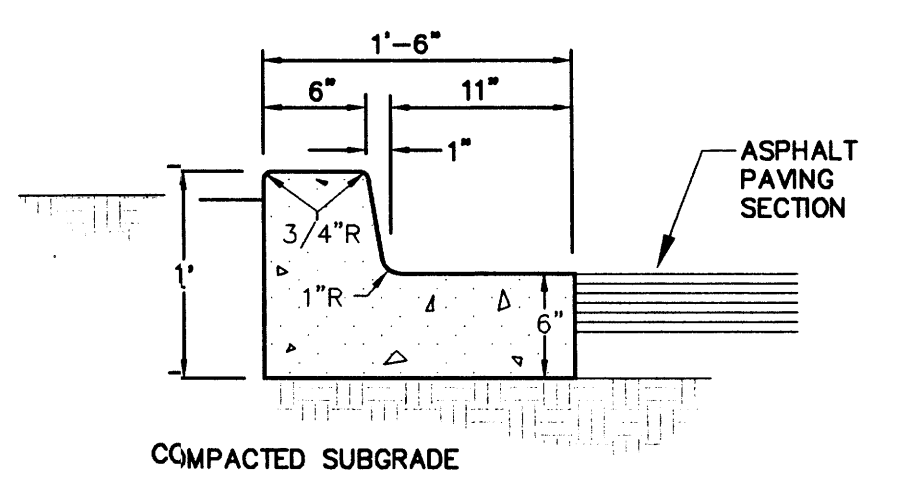
DETAIL KEY



④ CONCRETE VALLEY GUTTER



⑤ COBBLE LINED SWALE



⑥ MEDIAN CURB AND GUTTER

⑦ CONCRETE CHANNEL  
SEE KEYED NOTE 18

⑧ VALLEY GUTTER / PIPE CROSSING

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1435GRD.DWG.BJ 06.26.06

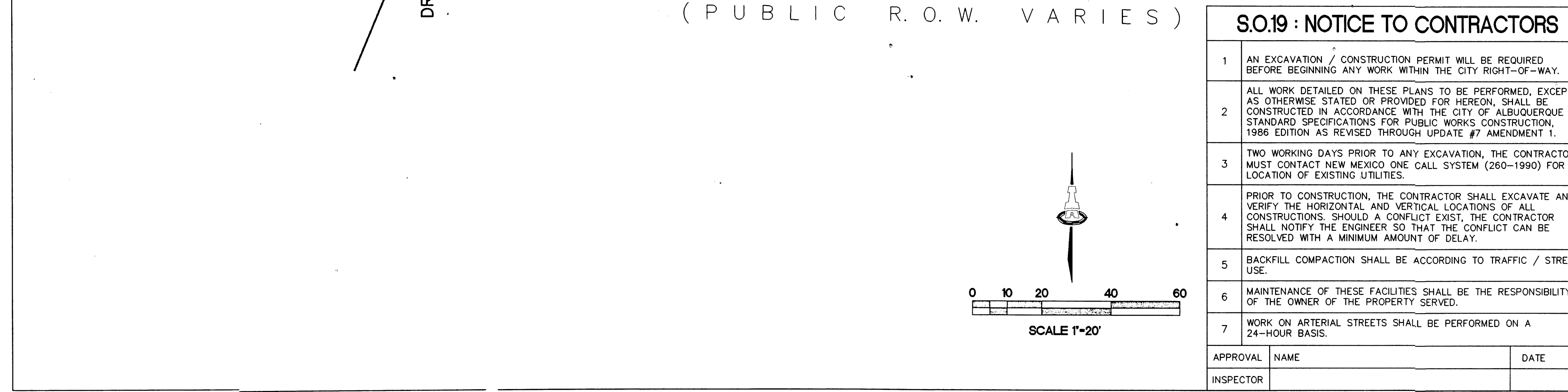
**PASEO PLACE COMMERCIAL**  
Argus Dev. Co.

**GRADING AND DRAINAGE DETAILS**

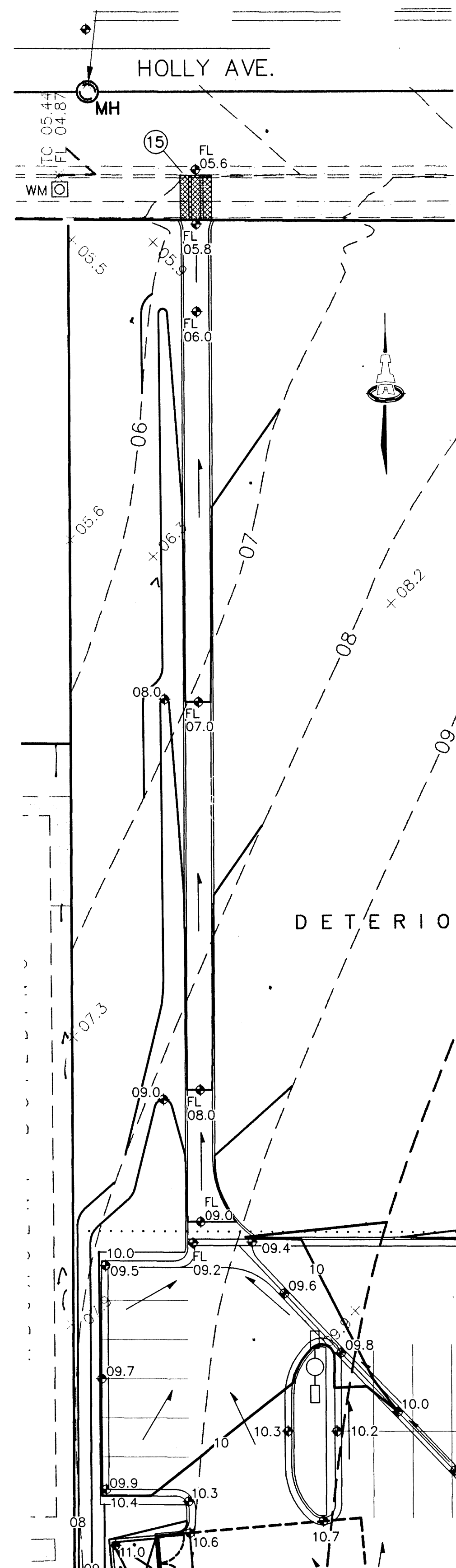
Date:	No.	Revision:	Date:	Job No.
06.26.06				1435
Drawn By:				C-2
BJB				
Ckd By:				SH. OF
FCA				

HYDROLOGY SECTION

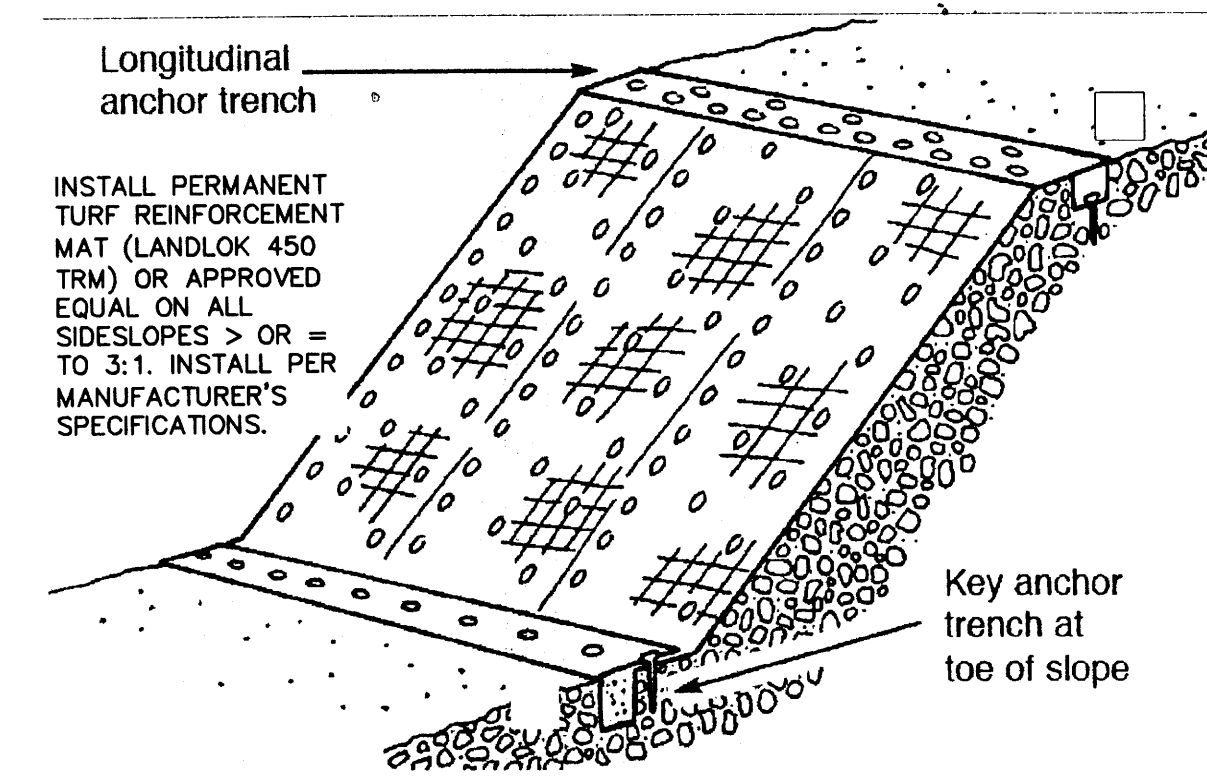






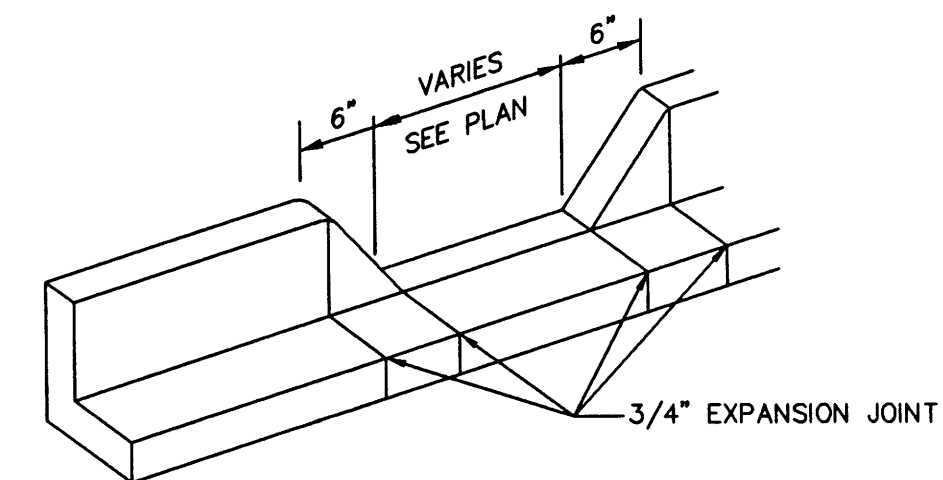


D2 ASPHALT CHANNEL - CONTINUED



A3 PERMANENT EROSION CONTROL

N.T.S.

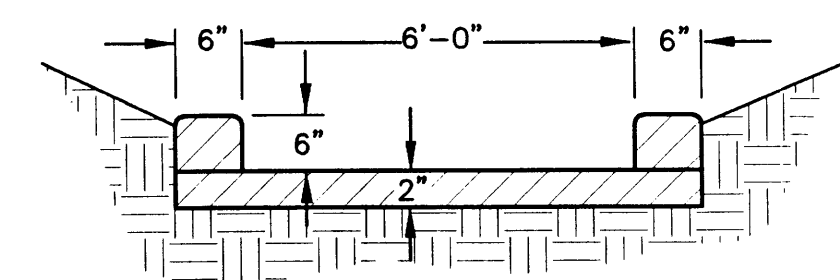


GENERAL NOTES

1. EDGES SHOULD BE REMOVED WITH 3/8\"/>

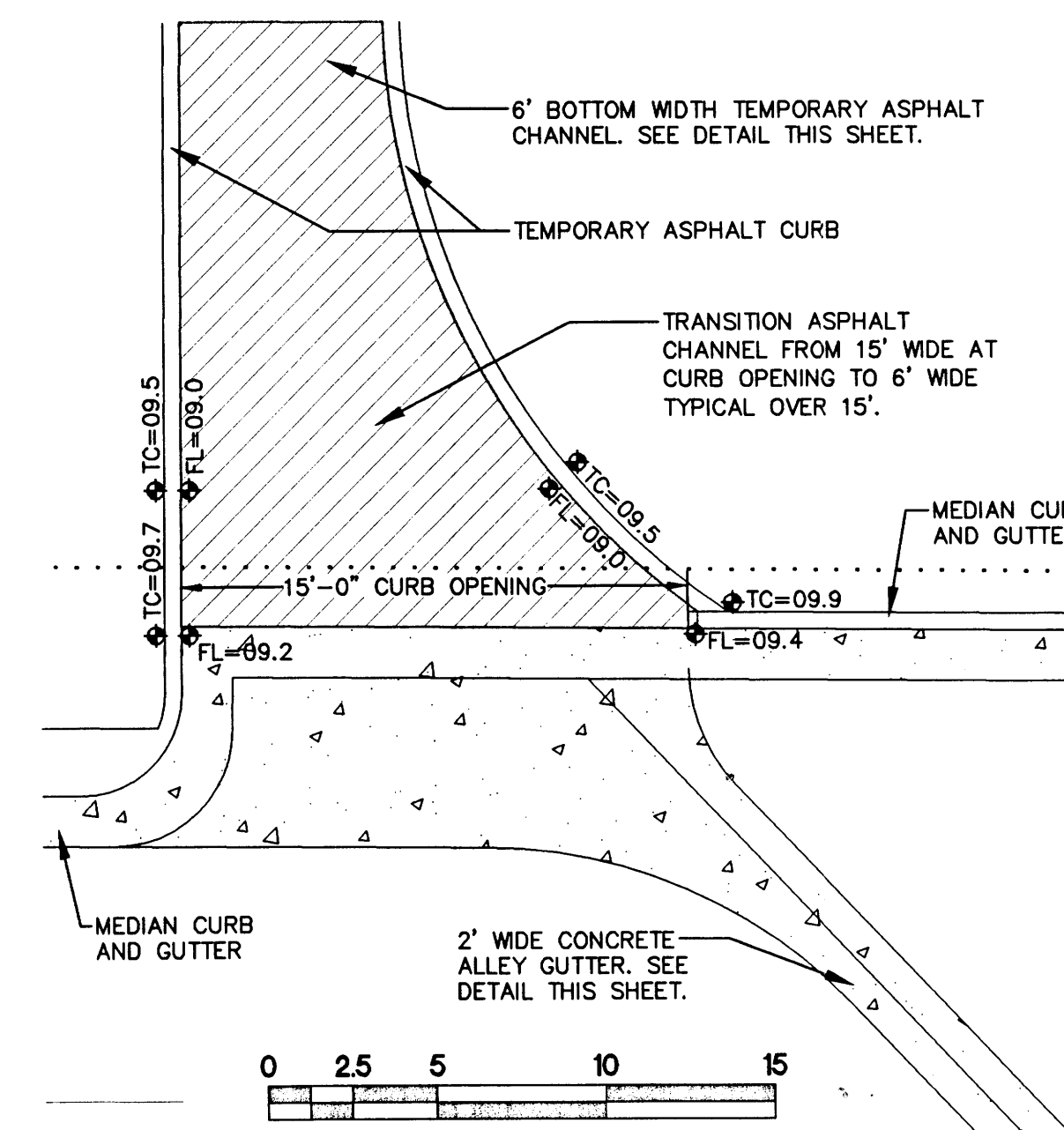
B3 CURB OPENING

N.T.S.

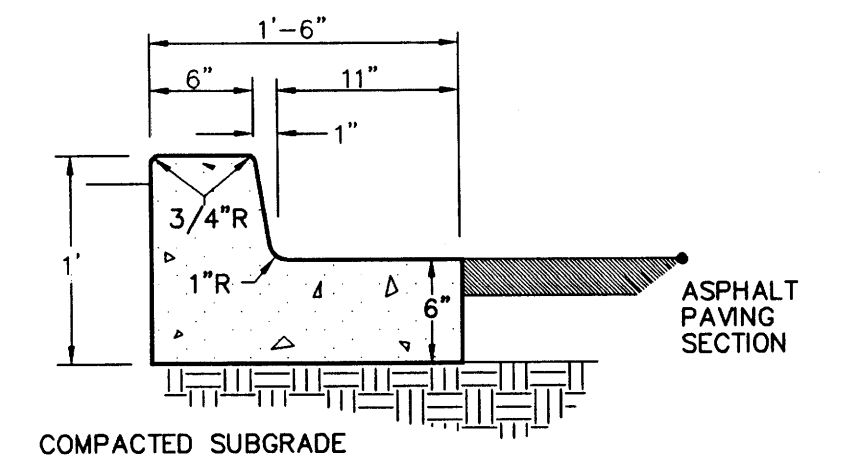
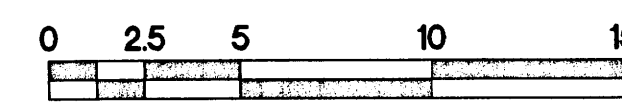


C3 TEMPORARY ASPHALT CHANNEL

N.T.S.



D3 ALLEY GUTTER TO RUNDOWN TRANSITION

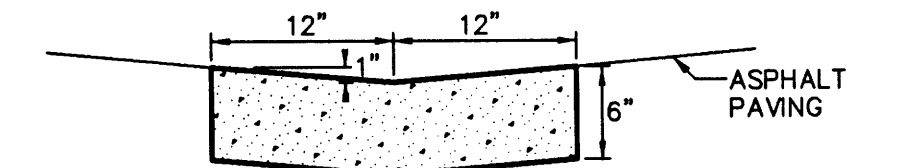


GENERAL NOTES

1. PROVIDE CONST. CONTROL JOINTS @ 6\"/>
2. EDGES SHOULD BE REMOVED WITH 3/8\"/>
3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

A4 MEDIAN CURB AND GUTTER

N.T.S.

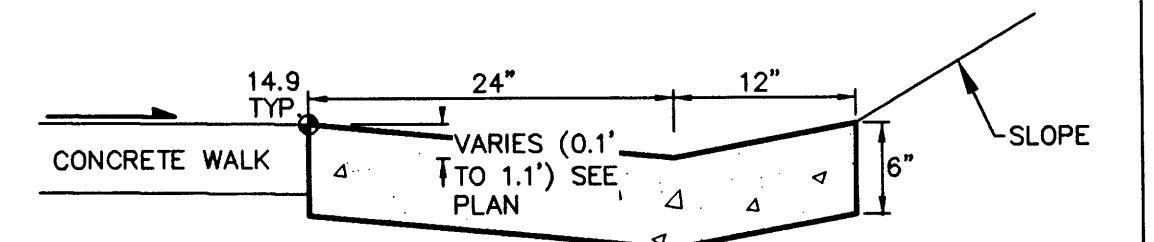


GENERAL NOTES

1. PROVIDE CONST CONTROL JOINTS @ 7\"/>
2. EDGES SHOULD BE REMOVED WITH 3/8\"/>

B4 CONCRETE ALLEY GUTTER

N.T.S.

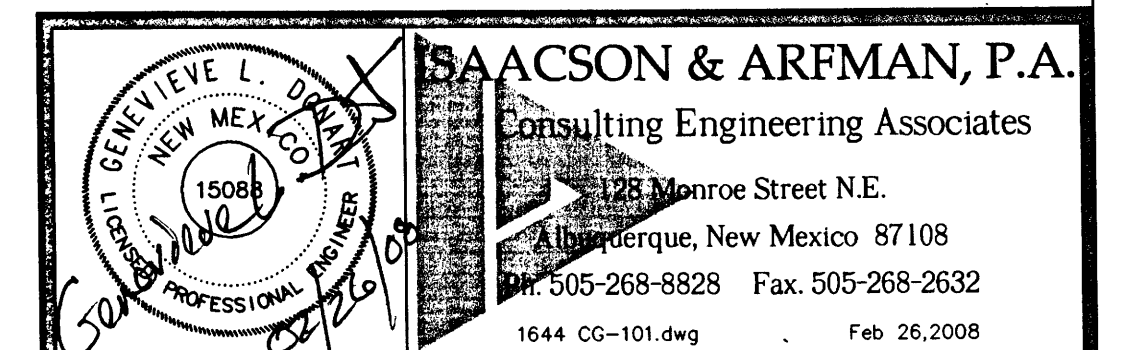


GENERAL NOTES

1. PROVIDE CONST CONTROL JOINTS @ 7\"/>
2. EDGES SHOULD BE REMOVED WITH 3/8\"/>

C4 MODIFIED ALLEY GUTTER

N.T.S.



This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

PASEO PLACE  
LOTS 20 AND 21  
ARGUS DEVELOPMENT

GRADING AND DRAINAGE DETAILS

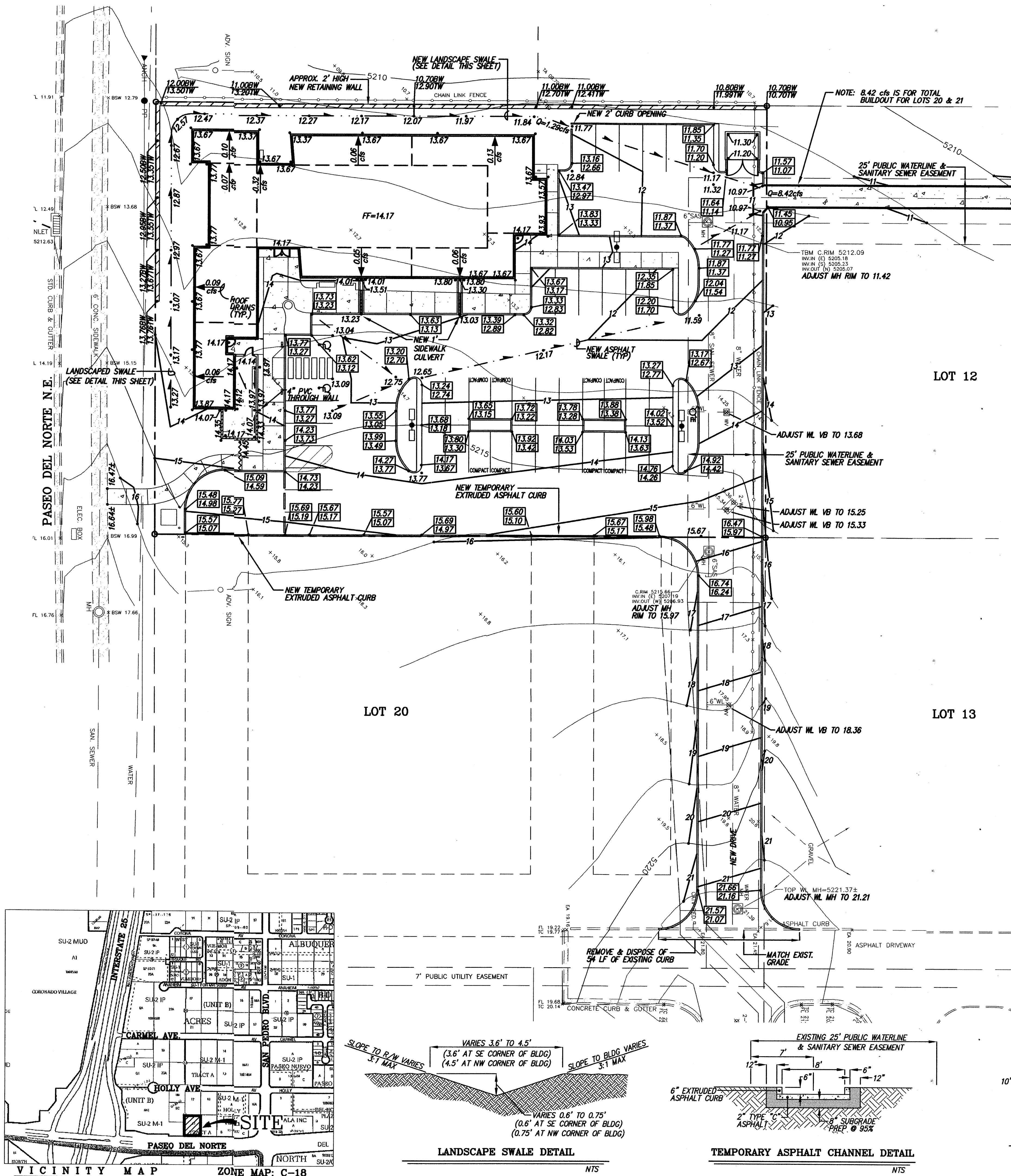
Date:	No.	Revision:	Date:	Job No.
FEB 2008				1616
Drawn By:				
BJB				
Chk By:				
GLD				

RECEIVED  
FEB 23 2008

HYDROLOGY  
SECTION



FILE: C:\GSA\10033 - Pediatric Clinic - Paseo del Norte\GRADE & DRAINAGE\1003-GRADE & DRAINAGE.dwg, 8/25/2010 2:18:48 PM, Doc: Road2.mxd, pcd, CHRIS



#### NOTES

1. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
2. THIS PROJECT IS ALLOWED FREE DISCHARGE PER THE HOLLY PLACE COMMERCIAL PHASE II PROJECT (C18/D77).
3. THERE IS A DRAINAGE AGREEMENT THAT ESTABLISHES A RECIPROCAL DRAINAGE EASEMENT OVER, UPON, UNDER AND ACROSS THE COMMON AREA OF EACH PARCEL FOR THE BENEFIT OF EACH OTHER PARCEL, FOR THE PURPOSES OF DRAINAGE OF STORM & SURFACE WATER. A COPY OF THIS AGREEMENT IS IN THE DRAINAGE REPORT FOR THE PROJECT.

#### LEGAL DESCRIPTION

Lot numbered Twenty-one (21) in Block numbered Eighteen (18) of TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936.

#### ACS BENCHMARK

Basis of elevations: ACS BM "9\_G19", 3-1/4" Alum. disk, set on top of pipe 0.05' above ground at Southwest corner of Wilshire Ave. and San Pedro Drive, NE ELEV. 5232.470 (NAVD 88)

#### STANDARD GRADING NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

#### DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### LEGEND

	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. TRANSFORMER
	EXIST. LIGHT POLE
	EXIST. GAS METER
	EXIST. FIRE HYDRANT
	EXIST. OVERHEAD UTILITY LINES
	EXIST. STORM DRAIN INLET
	EXIST. SEWER MANHOLE
	EXIST. STORM DRAIN MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY PEDESTAL
	EXIST. WALL
	EXIST. BACK OF CURB ELEVATION
	EXIST. FLOW LINE ELEVATION
	EXIST. EDGE OF PAVEMENT ELEVATION
	EXIST. TOP OF ASPHALT CURB ELEVATION
	EXIST. GROUND SPOT ELEVATION
	EXIST. CURB & GUTTER
	NEW BUILDINGS
	NEW SPOT ELEVATION
	NEW PROPERTY LINE
	NEW ASPHALT SWALE
	NEW LANDSCAPE SWALE
	NEW CONTOUR
	NEW TOP OF CURB ELEVATION
	NEW FLOWLINE ELEVATION
	NEW HEADER CURB
	NEW RETAINING WALL
	NEW TOP OF WALL
	NEW BOTTOM OF WALL AT GRADE
	NEW EXTRUDED ASPHALT CURB
	NEW HIGH POINT

MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539



20' 10' 0 20' 40'  
SCALE: 1" = 20'

project title  
After Hours Pediatrics  
Paseo Del Norte & 125 - Lot 21, Block 18, Unit B  
Albuquerque, New Mexico

sheet title  
GRADING & DRAINAGE PLAN

sheet  
C-100

revision  
by  
date  
rev



Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]



job number  
10-20  
drawn by  
msm/sam  
project manager  
Michelle Mullen, AIA  
date  
06/20/10