

SAVANO POINT
SUBDIVISION

LOTS 13 - 20, BLOCK 29

UNIT B, NAA

CONCEPTUAL GRADING AND DRAINAGE

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 8.2 ACRES LOCATED ON THE SOUTH SIDE OF ALAMEDA BOULEVARD NE AND WEST OF LOUISIANA BOULEVARD NE AS SEEN ON THE ATTACHED VICINITY MAP. THE SITE IS CURRENTLY UNDEVELOPED BUT SEVERAL OF THE INDIVIDUAL ACRES WERE PREVIOUSLY USED FOR SINGLE FAMILY RESIDENCES.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0137 F, DATED NOVEMBER 19, 2003 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 10-DAY DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS SINCE RETENTION PONDING IS PROPOSED. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR AND 10-DAY PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

THIS SITE CURRENTLY SLOPES FROM EAST TO WEST AT AN AVERAGE SLOPE OF 3.3% AS IS STANDARD IN THE NORTH ALBUQUERQUE ACRES AREA. SINCE SEVERAL OF THE ACRES HAVE PREVIOUSLY BEEN RESIDENTIAL SITE, THERE IS VERY LITTLE NATURAL VEGETATION. AS SUCH, THE EXISTING LAND TREATMENT HAS BEEN CONSIDERED TYPE C SOIL FOR THE HYDROLOGIC ANALYSES. CURRENT RUNOFF PATTERNS ARE SHEET FLOW FROM EAST TO WEST. THERE ARE ONLY MINOR FINGERLET CHANNELS.

DEVELOPED CONDITION

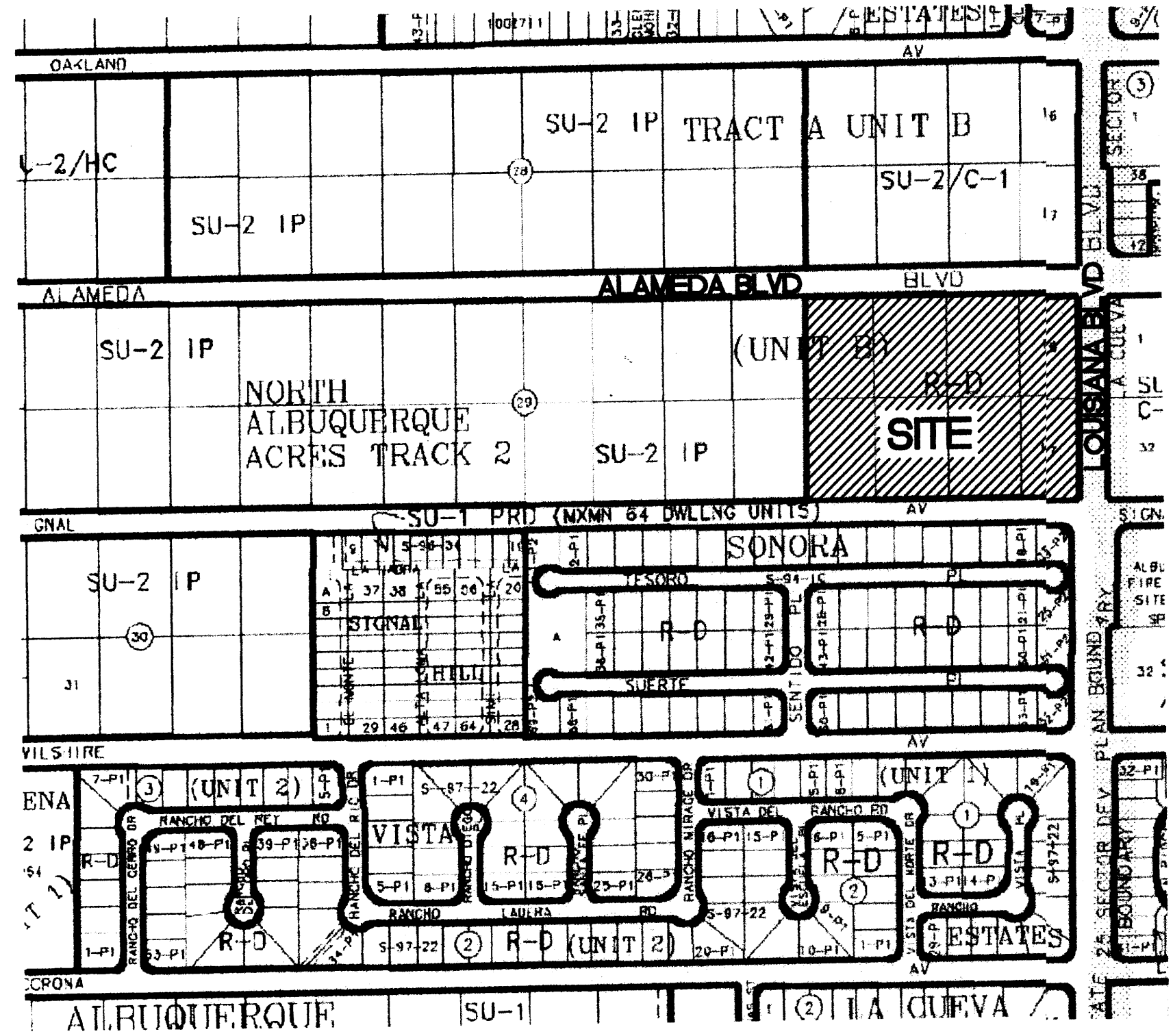
THIS SITE WILL BE DEVELOPED WITH A LOOP STREET (SEVANO CIRCLE) IN THE SUBDIVISION WITH ONLY A SINGLE VEHICLE ACCESS POINT TO THE SOUTH SIDE TO SIGNAL AVE. RUNOFF IS ROUTED THROUGH THE INTERIOR STREET NETWORK TOWARD THE NORTHEAST CORNER OF THE SITE WHERE IT WILL BE INTERCEPTED BY 3 DOUBLE GRATE TYPE 'C' INLETS UTILIZED IN A SUMP CONDITION. THE NORTH END OF THE STUB STREET HAS BEEN GRADED SUCH THAT IF THE INLETS BLOCK, THE RUNOFF CAN OVERTOP THE NORTH CURB AND FLOW INTO ALAMEDA BEFORE IT COULD REACH AN ELEVATION THAT WOULD JEOPARDIZE THE ADJACENT RESIDENCES. THE PROPOSED 30" RCP LATERAL FROM THE INLETS WILL CONNECT TO A PROPOSED 30-INCH MASTER DRAINAGE PLAN STORM DRAIN IN ALAMEDA THAT WILL BE CONSTRUCTED FROM LOUISIANA BOULEVARD TO THE WEST EDGE OF LOT 11 WHERE THE TEMPORARY RETENTION POND IS PROPOSED. THIS STORM DRAIN WILL BE EXTENDED WEST IN ALAMEDA IN THE FUTURE. AS AN INTERIM CONDITION, A TEMPORARY STORM DRAIN WILL CONNECT FROM THE STORM DRAIN IN ALAMEDA TO A TEMPORARY RETENTION POND LOCATED ON LOT 11 WEST OF THE SOUTHWEST CORNER OF THE PROPOSED DEVELOPMENT. THIS STORM DRAIN AND RETENTION POND WILL BE REMOVED IN THE FUTURE WHEN THE ALAMEDA STORM DRAIN IS EXTENDED WEST TO CONNECT IN SAN PEDRO. THE RETENTION POND HAS BEEN SIZED TO CONTAIN THE 100-YEAR, 10-DAY STORM EVENT.

100-YEAR HYDROLOGIC CALCULATIONS

TABLE 1

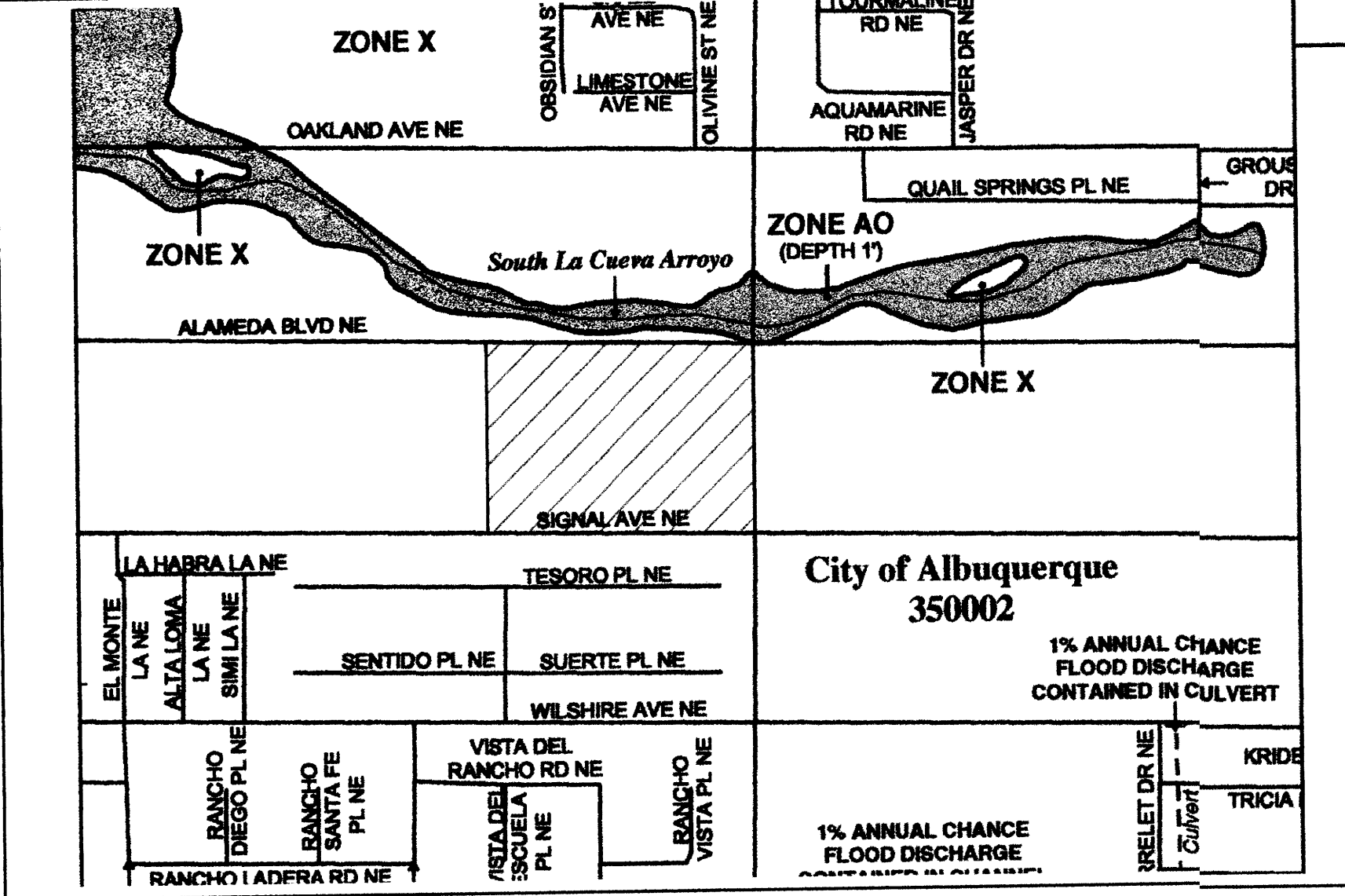
100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED		V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)	E (in)	F (%)					
EXISTING SITE DISCHARGE												
BASIN A	6.1579	100.00	0.00	100.00	0.00	1.95	1.00	43.589	1.00	43,589	32.76	
BASIN B	1.6734	100.00	0.00	100.00	0.00	1.95	0.27	11,845	0.27	11,845	8.90	
PROPOSED CONDITIONS												
BASIN A	6.1579	0.00	23.40	23.40	53.20	1.77	0.91	39,625	1.31	57,106	25.16	
BASIN B	1.6734	0.00	0.00	100.00	0.00	1.29	0.18	7,836	0.18	7,836	5.77	
EXCESS PRECIP.		0.66	0.92	1.29	2.36	E _i (in)						
PEAK DISCHARGE		1.87	2.6	3.45	5.02	Q _h (cfs)						
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)								ZONE =		3		
V _{6-hr} (acre-ft) = (WEIGHTED E)(AREA)/12								P _{6-hr} (in.) =		2.60		
V _{10day} (acre-ft) = V _{6-hr} + (A _u)(P _{10day} - P _{6-hr})/12								P _{24-hr} (in.) =		3.10		
Q (cfs) = (Q _h)(A _u) + (Q _h)(A _u) + (Q _h)(A _u) + (Q _h)(A _u)								P _{10day} (in.) =		4.90		



VICINITY MAP

C-18-Z



FLOODPLAIN PANEL 137-F

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430-C Midtown Place NE
Albuquerque, New Mexico 87107
(505) 237-8421

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: SAVANO POINT CONCEPTUAL GRADING AND DRAINAGE PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.
LAST DESIGN DATE		DATE	MO./DAY/YR.
PROJECT NO.		MAP NO.	SHEET 1 OF

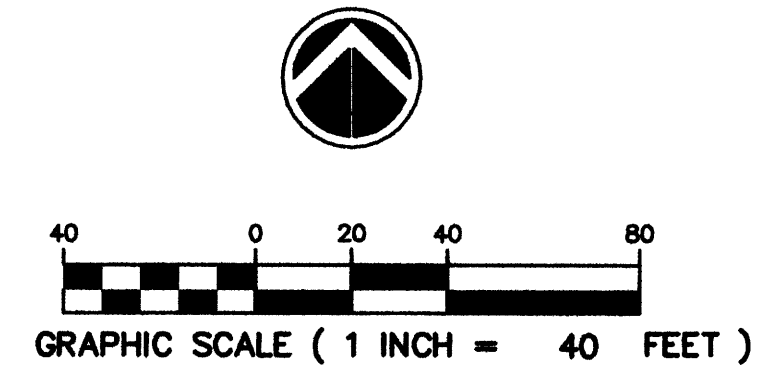
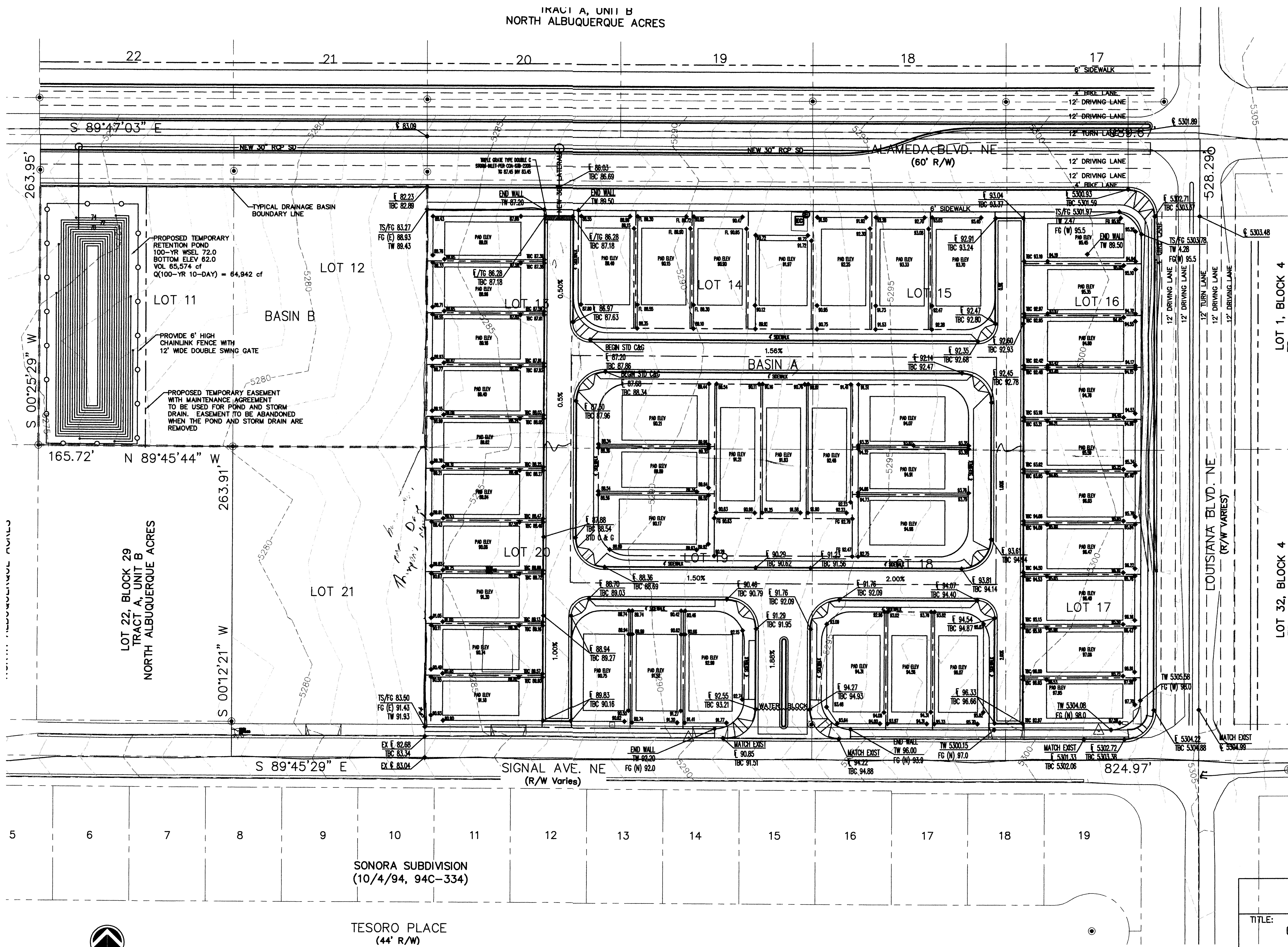
RECEIVED
NOV 2 1 2006
HYDROLOGY SECTION

AS BUILT INFORMATION			
CONTRACTOR	DATE	DATE	DATE
WORK ORDER NO.	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE
MICROFILM INFORMATION			
RECORDED BY	DATE	DATE	DATE
NO.	DATE	DATE	DATE

BENCH MARKS			
CONTRACTOR	DATE	DATE	DATE
WORK ORDER NO.	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE
APPROVED BY	DATE	DATE	DATE
MICROFILM INFORMATION			
RECORDED BY	DATE	DATE	DATE
NO.	DATE	DATE	DATE

SURVEY INFORMATION			
FIELD NOTES	DATE	DATE	DATE
BY	DATE	DATE	DATE
NO.	DATE	DATE	DATE
1	03/02	03/02	03/02
CARTESIAN SURVEYS			
P.O. BOX 44414	DATE	DATE	DATE
RIO RANCHO, NM 87174	DATE	DATE	DATE
PHONE: (505) 896-3050	DATE	DATE	DATE
FAX: (505) 891-0244	DATE	DATE	DATE

ENGINEER'S SEAL			
LAWRENCE D. READ NEW MEXICO 10986 10/15/06			
REMARKS			
REVISIONS			
DESIGN			
DESIGNED BY	DATE	DATE	DATE
DRAWN BY	DATE	DATE	DATE
CHECKED BY	DATE	DATE	DATE



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AS MONUMENT	DATE	FIELD NOTES	NO.		
DATE	DATE	DATE	DATE	BY	1		
DATE	DATE	DATE	DATE	NO.	1	REVISIONS	
DATE	DATE	DATE	DATE	NO.	1		
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DATE	DATE	DATE	DATE	NO.	1		
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DATE	DATE	DATE	DATE	NO.	1		
DATE	DATE	DATE	DATE	NO.	1	BY	
DATE	DATE	DATE	DATE	NO.	1		
DATE	DATE	DATE	DATE	NO.	1	DATE NOVEMBER 2006	
DATE	DATE	DATE	DATE	NO.	1		
DATE	DATE	DATE	DATE	NO.	1	DATE NOVEMBER 2006	
DATE	DATE	DATE	DATE	NO.	1		

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

RECEIVED
NOV 21 2006
HYDROLOGY SECTION

TITLE:
SEVAND COURT
CONCEPTUAL GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN DATE

PROJECT NO.

MO./DAY/YR.

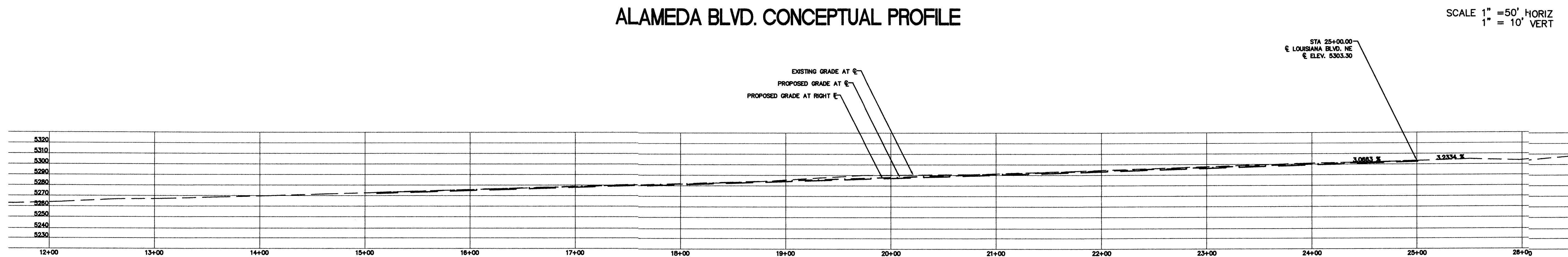
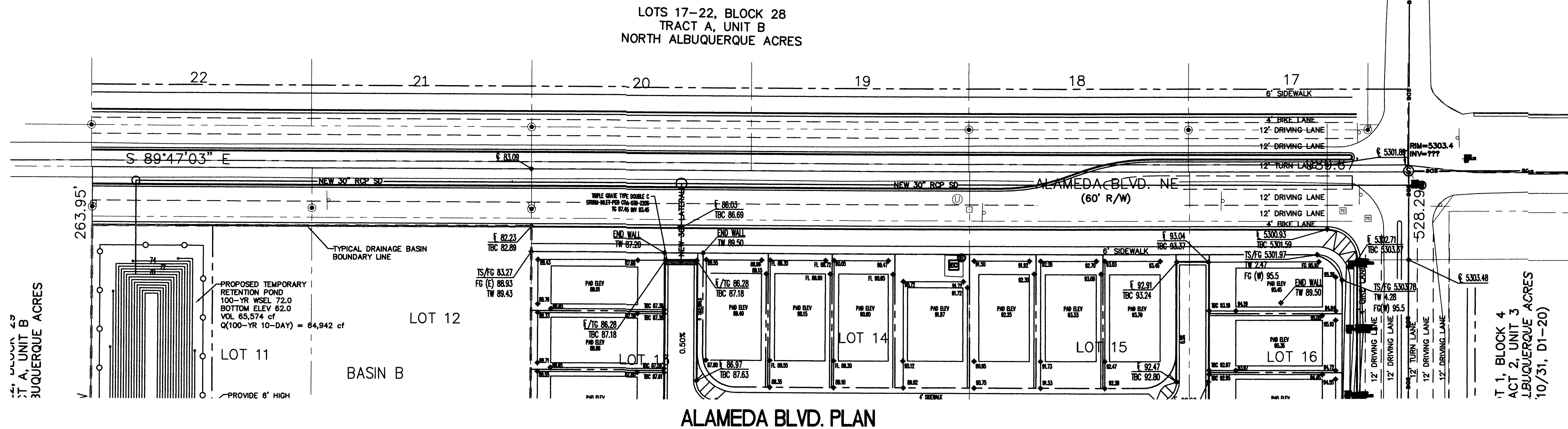
MO./DAY/YR.

MO./DAY/YR.

MAP NO. C-18

SHEET 2 OF 2

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE Suite C
Albuquerque, New Mexico 87107
(505) 237-8421



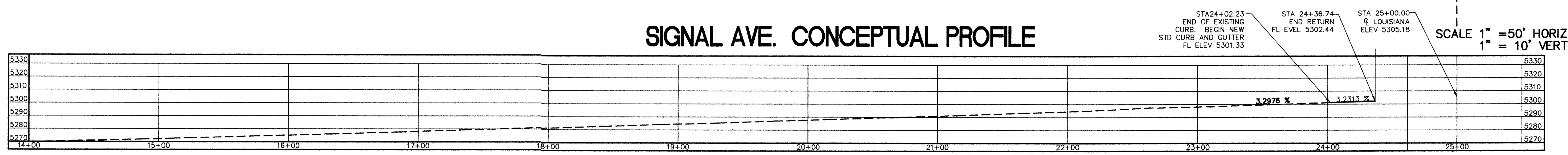
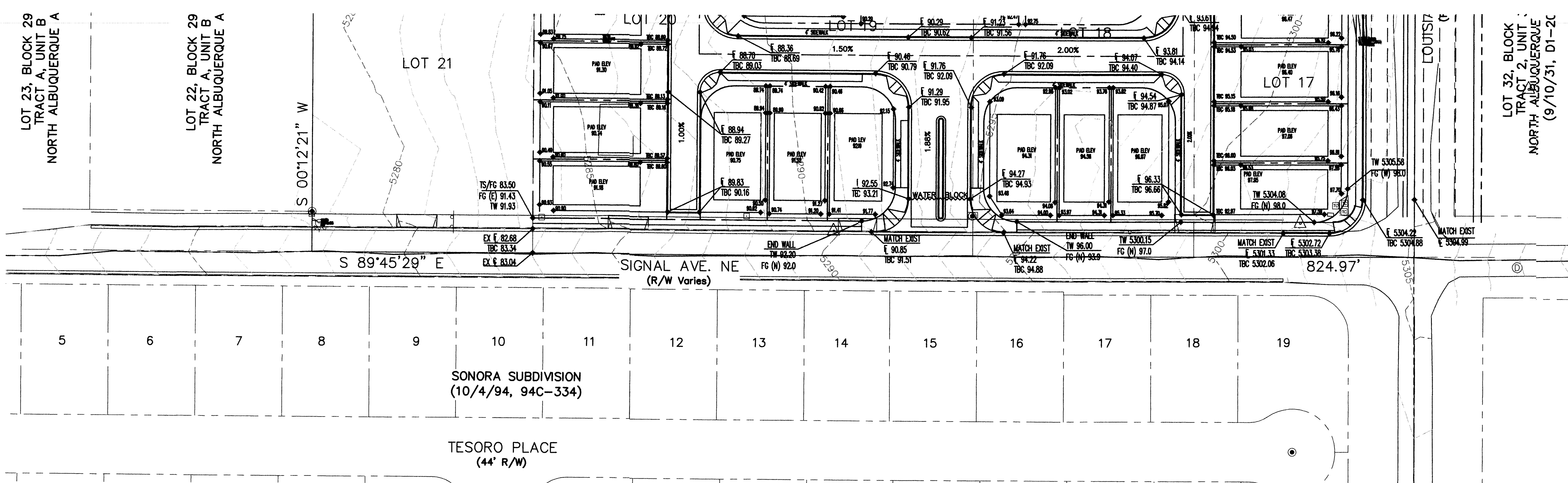
LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE, Suite C
Albuquerque, New Mexico 87107
(505) 237-8421

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP		NOV 21 2006	
TITLE: SEVAND POINT CONCEPTUAL ROADWAY PROFILE			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN DATE	MO./DAY/YR.
PROJECT NO.	MAP NO. C-18	SHEET 3	OF

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	FIELD NOTES	CONTRACTOR	WORK	DATE	DATE
1	WAYOORN SURVEYING 303 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87114 PHONE: (505) 255-2052 FAX: (505) 255-2887	ACS MONUMENT 10-G134 X = 373,478.96 Y = 1,500,045.77 C-G 0.9896132 NEW MEXICO STATE PLANE GRID, CENTRAL ZONE (NAD 1983) ELEVATION 4968.216 (NGVD 29) LOCATED IN THE NORTHEAST QUADRANT OF CANTALARIA AND RIO GRANDE	STANDARD BY ACCEPTANCE BY FIELD REVISION BY CORRECTED BY RECORDED BY	DATE DATE DATE DATE DATE	DATE DATE DATE DATE DATE



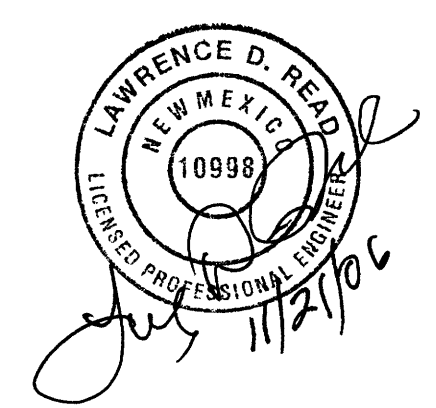
NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	
		DESIGN	
DESIGNED BY	DATE	NOVEMBER 2006	
DRAWN BY	DATE	NOVEMBER 2006	
CHECKED BY	DATE	NOVEMBER 2006	



SIGNAL AVENUE PLAN

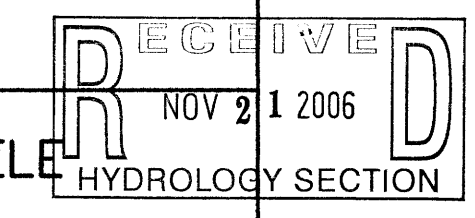
SIGNAL AVE. CONCEPTUAL PROFILE

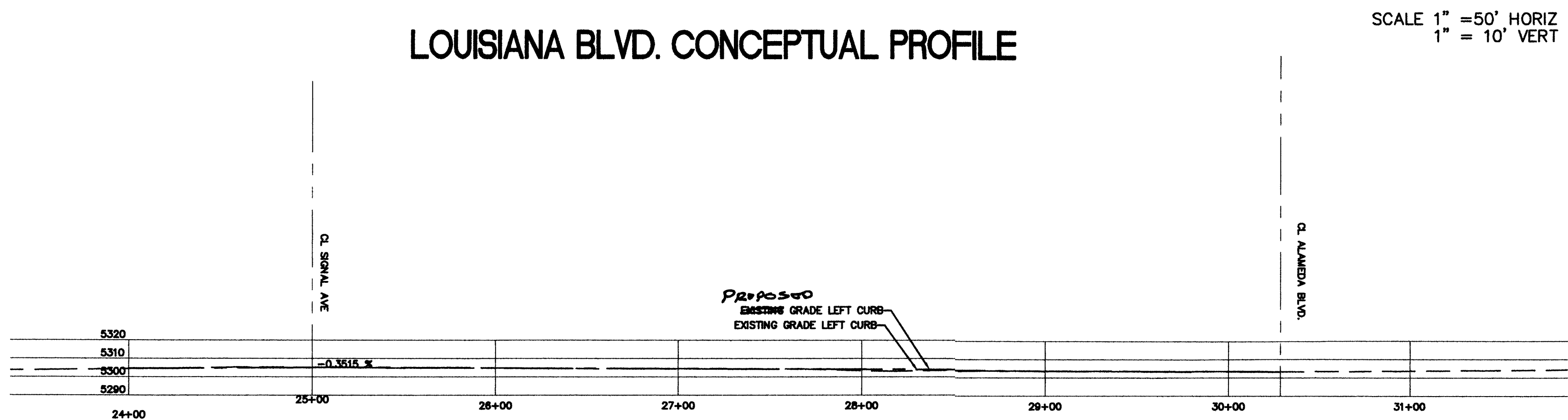
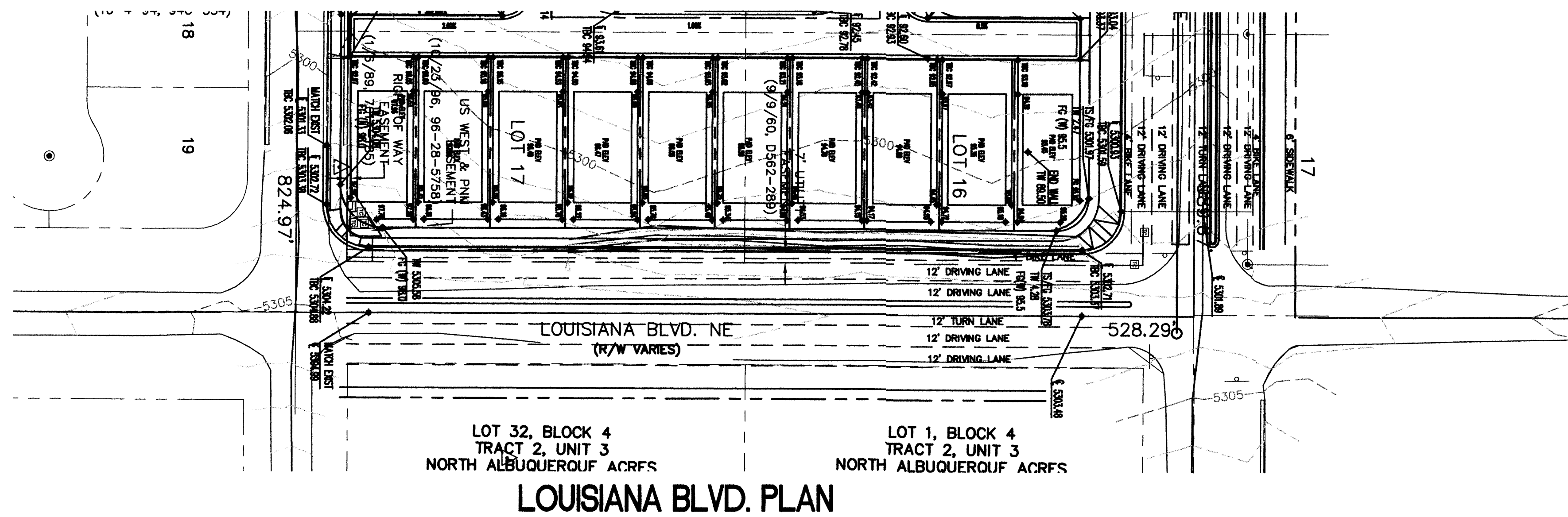
SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	BY	DATE	FIELD NOTES	CONTRACTOR	DATE
1	WAYDOWN SURVEYING	05/02	ACS MONUMENT 10-G13A X = 373,478.96 Y = 1,500,045.77 G-C 0.9989732 NEW MEXICO STATE PLANE GRID, CENTRAL ZONE (NAD 1927) ELEVATION 4988.216 (NGVD 29) LOCATED IN THE NORTHEAST QUADRANT OF CANTALARIA AND RIO GRAND	WORKED BY SUBMITTED BY ACCEPTANCE BY VERIFICATION BY CORRECTED BY	DATE DATE DATE DATE DATE
				MICROFILM INFORMATION	
				RECORDED BY	DATE
				NO.	



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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: SEVANO POINT CONCEPTUAL PLAN AND PROFILE			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.
PROJECT NO.	MAP NO. C-18	SHEET 4	OF





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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: SEVAND POINT CONCEPTUAL PLAN AND PROFILE	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
PROJECT NO.	MAP NO. C-18
SHEET 5 OF	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.		FIELD NOTES		CONTRACTOR		CONTRACTOR	
1		DATE 05/02		C-G' 0.998732, NEW MEXICO STATE PLANE GRID, CENTRAL ZONE		DATE	
BY		WAYJOHN SURVEYING		LOCATED IN THE NORTHEAST QUADRANT OF CANDALARIA AND RIO GRAND		DATE	
REMARKS		ALBUQUERQUE, NM 87114		CORRECTED BY		DATE	
REVISIONS		PHONE: (505) 255-2052		RECORDED BY		DATE	
DESIGN		FAX: (505) 255-2887		NO.		DATE	
DATE		DATE		DATE		DATE	
NOVEMBER 2006		NOVEMBER 2006		NOVEMBER 2006		NOVEMBER 2006	
DRAWN BY LRA		CHECKED BY LRA		NOVEMBER 2006		NOVEMBER 2006	
DESIGNED BY LRA		NOVEMBER 2006		NOVEMBER 2006		NOVEMBER 2006	

SAVANO POINT SUBDIVISION

LOTS 13 - 20, BLOCK 29

UNIT B, NAA

CONCEPTUAL GRADING AND DRAINAGE

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 6.2 ACRES LOCATED ON THE SOUTH SIDE OF ALAMEDA BOULEVARD NE AND WEST OF LOUISIANA BOULEVARD NE AS SEEN ON THE ADJACENT VICINITY MAP. THE SITE IS CURRENTLY UNDEVELOPED BUT SEVERAL OF THE INDIVIDUAL ACRES WERE PREVIOUSLY USED FOR SINGLE FAMILY RESIDENCES.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0137 F, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR 10-DAY DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS SINCE RETENTION PONDING IS PROPOSED. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR AND 10-DAY PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

THIS SITE CURRENTLY SLOPES FROM EAST TO WEST AT AN AVERAGE SLOPE OF 3.3% AS IS STANDARD IN THE NORTH ALBUQUERQUE ACRES AREA. SINCE SEVERAL OF THE ACRES HAVE PREVIOUSLY BEEN RESIDENTIAL SITE, THERE IS VERY LITTLE NATURAL VEGETATION. CURRENT RUNOFF PATTERNS ARE SHEET FLOW FROM EAST TO WEST. THERE ARE ONLY MINOR FINGERLET CHANNELS. THE SITE IS CURRENTLY PROTECTED FROM OFFSITE RUNOFF FROM THE SOUTH BY THE EXISTING CURB ON MODESTO. THE SITE IS IMPACTED BY OFFSITE RUNOFF FROM THE EAST (LOUISIANA ROW) AND THE NORTH (ALAMEDA ROW) AS THE STREETS ARE UNCURRED.

DEVELOPED CONDITION

THIS SITE WILL BE DEVELOPED WITH A LOOP STREET (SEVANO CIRCLE) IN THE SUBDIVISION WITH ONLY A SINGLE VEHICLE ACCESS POINT ON THE SOUTH SIDE TO SIGNAL AVE. DUE TO THE MASTER DRAINAGE PLAN FOR NORTH ALBUQUERQUE ACRES, THE RUNOFF IS DIVIDED AT THE EAST/WEST MIDPOINT WITH BASIN A TO THE SOUTH AND BASIN B TO THE NORTH. RUNOFF IS ROUTED FROM THE LOTS TO THE ADJACENT STREET WHERE IT IS CONVEYED SOUTH TO THE NORTH/SOUTH STREET WHERE IT TURNS TOWARD SIGNAL (BASIN A) OR ALAMEDA (BASIN B). THE DISCHARGE TO BOTH STREETS IS THROUGH 7 - 2' WIDE SIDEWALK CULVERTS AT THE END OF THE STREET. IN ORDER TO ACHIEVE SUFFICIENT HEAD FOR THE CULVERTS TO FUNCTION, THE CURBS WILL TRANSITION TO STANDARD 8" CURB AND GUTTER.

THIS DESIGN MAKES THE ASSUMPTION THAT THE CONSTRUCTION OF ALAMEDA (PAVEMENT AND STORM DRAIN) WILL BE COMPLETED BEFORE OR CONCURRENT WITH THE CONSTRUCTION OF THIS SUBDIVISION. IF THE ALAMEDA CONSTRUCTION IS NOT IMPENDING, WE WILL CONSTRUCT A TEMPORARY CHANNEL TO THE POND WEST OF THE ADJACENT CHURCH. THIS TEMPORARY POND WAS SIZED AND CONSTRUCTED TO CONTAIN ALL RUNOFF FROM THIS SITE (C18/D079). CURB AND GUTTER ALREADY EXISTS ON SIGNAL IN THE STRETCH ADJACENT TO THIS PROJECT. THERE IS A STRETCH TO THE SOUTH THAT IS NOT CURBED SO WE WOULD PROPOSE A TEMPORARY ASPHALT EXTRUDED CURB IN THAT AREA TO KEEP THE RUNOFF FROM THIS SITE CONTAINED UNTIL IT IS INTERCEPTED BY THE EXISTING STORM DRAIN SYSTEM TO THE WEST.

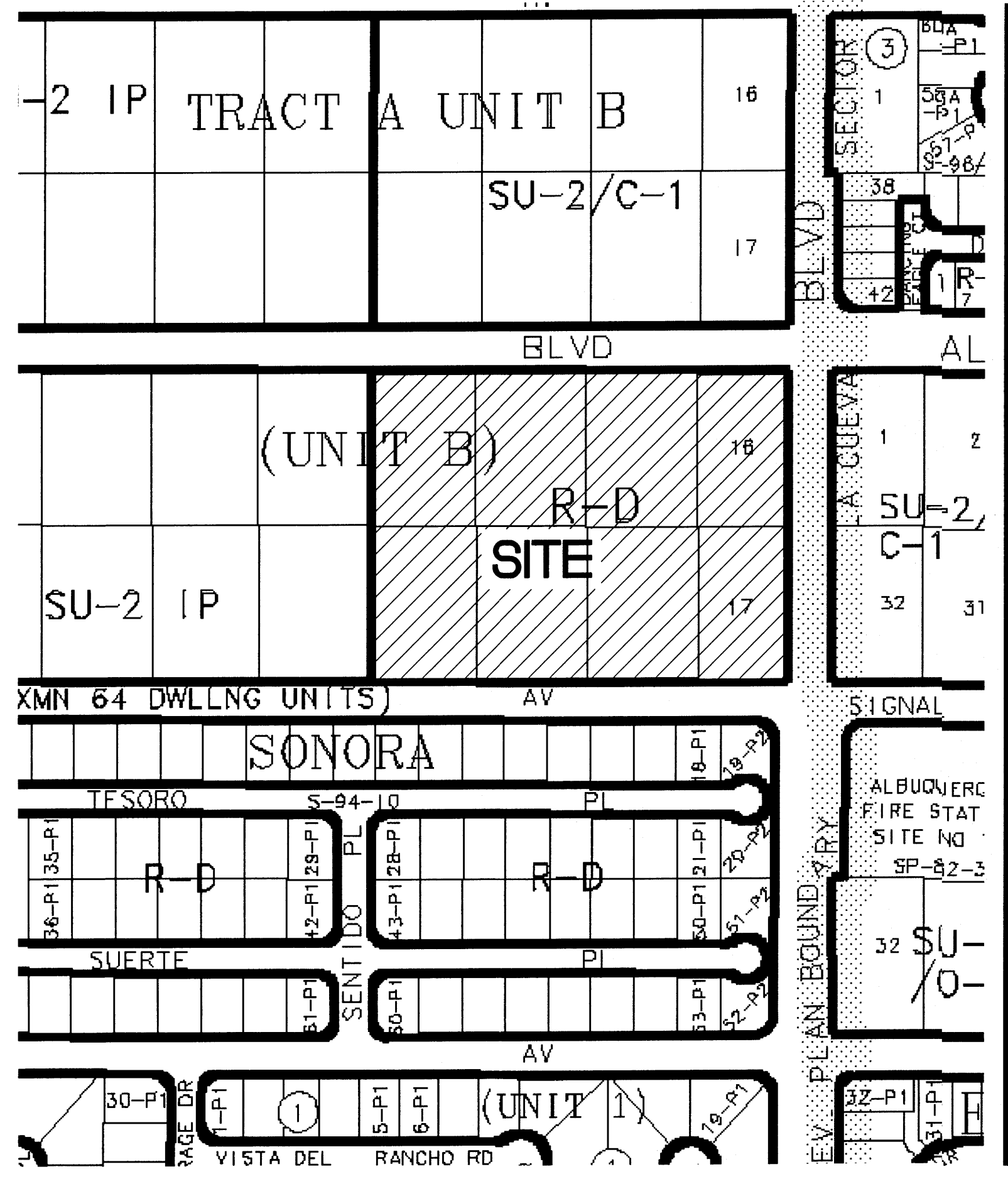
THE MINOR RUNOFF IMPACTING THE SITE ON THE EAST WILL BE RESOLVED WITH THE SIDEWALK/CURB CONSTRUCTION ON LOUISIANA.

100-YEAR HYDROLOGIC CALCULATIONS

TABLE 1

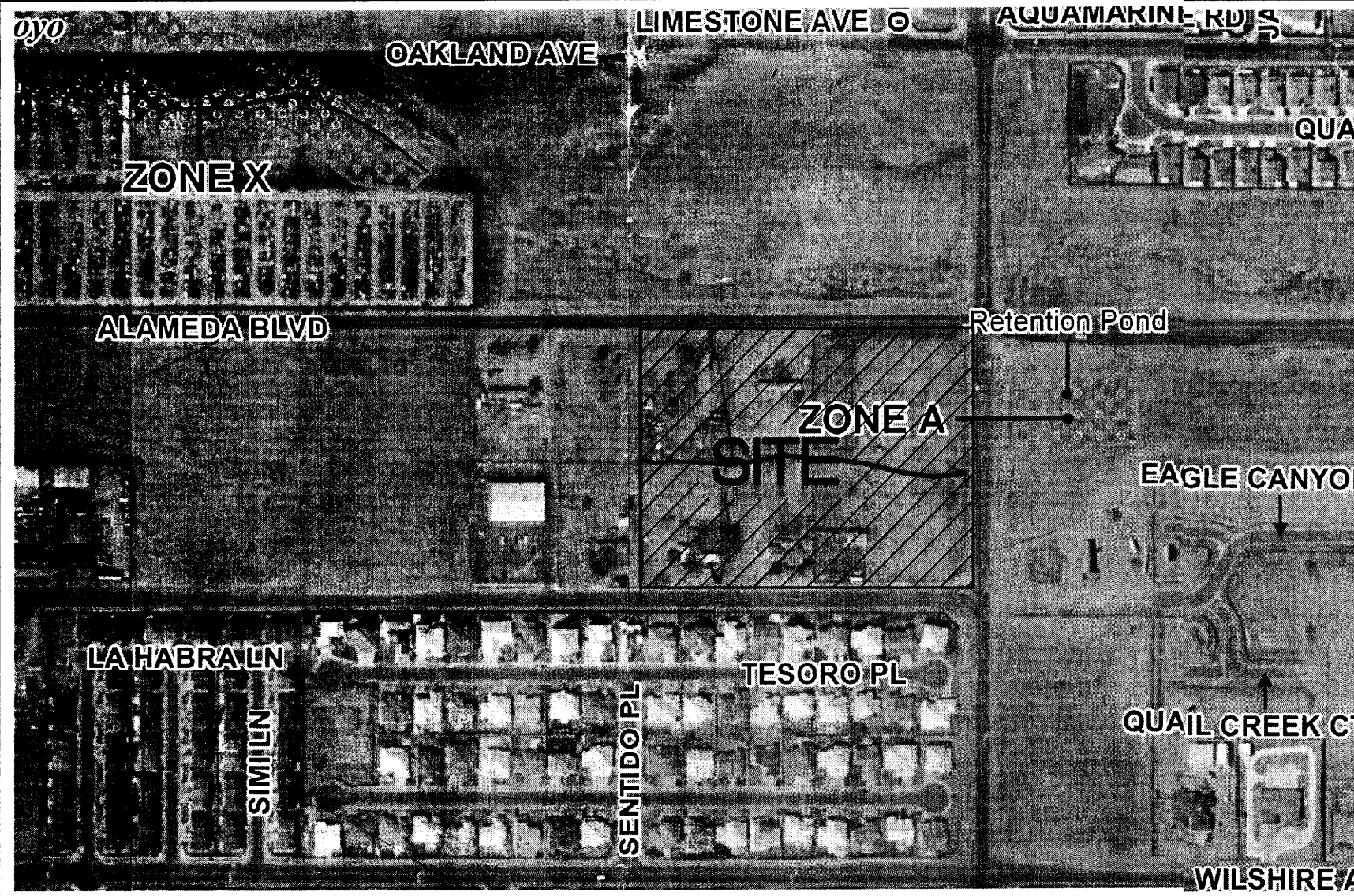
100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED		V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)	E (in)	E (in)					
EXISTING SITE DISCHARGE												
BASIN A	3.0800	100.00	0.00	0.00	0.00	0.66	0.17	7.379	0.17	7.379	5.76	
BASIN B	3.0800	100.00	0.00	0.00	0.00	0.66	0.17	7.379	0.17	7.379	5.76	
PROPOSED CONDITIONS												
BASIN A	3.0800	0.00	19.10	19.10	61.80	1.88	0.48	21.026	0.72	31.183	13.11	
BASIN B	3.0800	0.00	19.50	19.50	60.90	1.87	0.48	20.902	0.71	30.911	13.06	
EXCESS PRECIP. 0.66 0.92 1.29 2.36 E (in)												
PEAK DISCHARGE 1.87 2.6 3.45 5.02 Q _{pk} (cfs)												
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)												
V _{6-hr} (acre-ft) = (WEIGHTED E)(AREA)/12												
V _{10day} (acre-ft) = V _{6-hr} + (A _o)(P _{10day} - P _{6-hr})/12												
Q (cfs) = (Q _{pk})(A _o) + (Q _{pk})(A _o) + (Q _{pk})(A _o) + (Q _{pk})(A _o)												
ZONE = 3												
P _{6-hr} (in.) = 2.60												
P _{24-hr} (in.) = 3.10												
P _{10day} (in.) = 4.90												



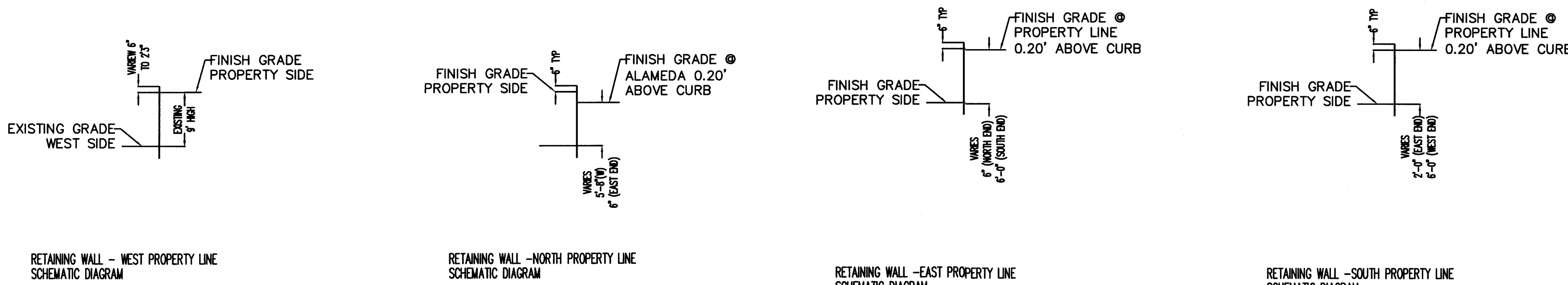
VICINITY MAP

C-18-Z



FLOODPLAIN PANEL 137-F

PERIMETER RETAINING WALLS - SCHEMATIC SECTIONS



SIDEWALK CULVERTS

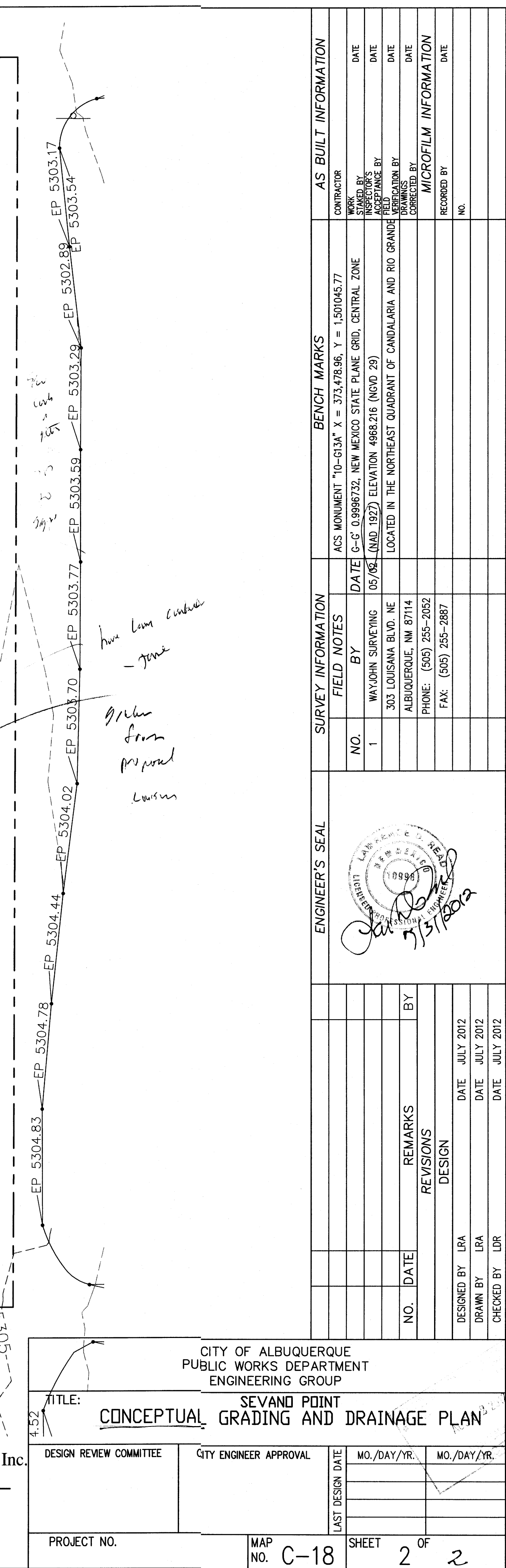
SIDEWALK CULVERT CAPACITY AS A WEIR

$$Q = 3.0P(h)^{1.5}$$
$$P = 2'(\text{BOTTOM}) + 0.66'(\text{SIDE}) + 0.66'(\text{SIDE}) = 3.32'$$
$$h = 0.66'/2 = 0.33' \text{ (AVERAGE)}$$
$$Q = 3.0 \times 3.32 \times (0.33)^{1.5} = 1.89 \text{ cfs}/2'$$
$$\text{AMOUNT NEEDED} = 13.11 \text{ (BASIN B)} / 1.89 \text{ cfs}/2' = 6.9$$

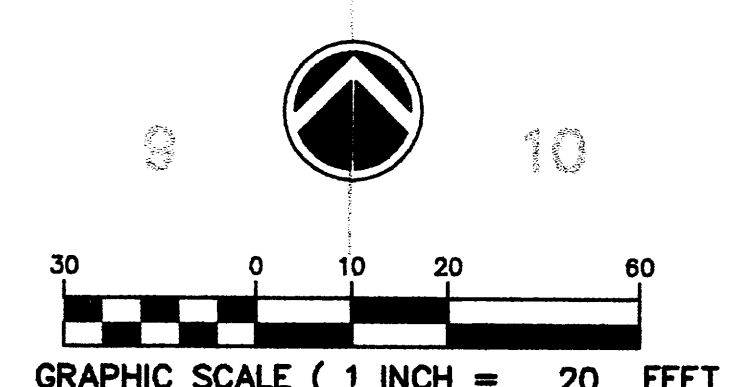
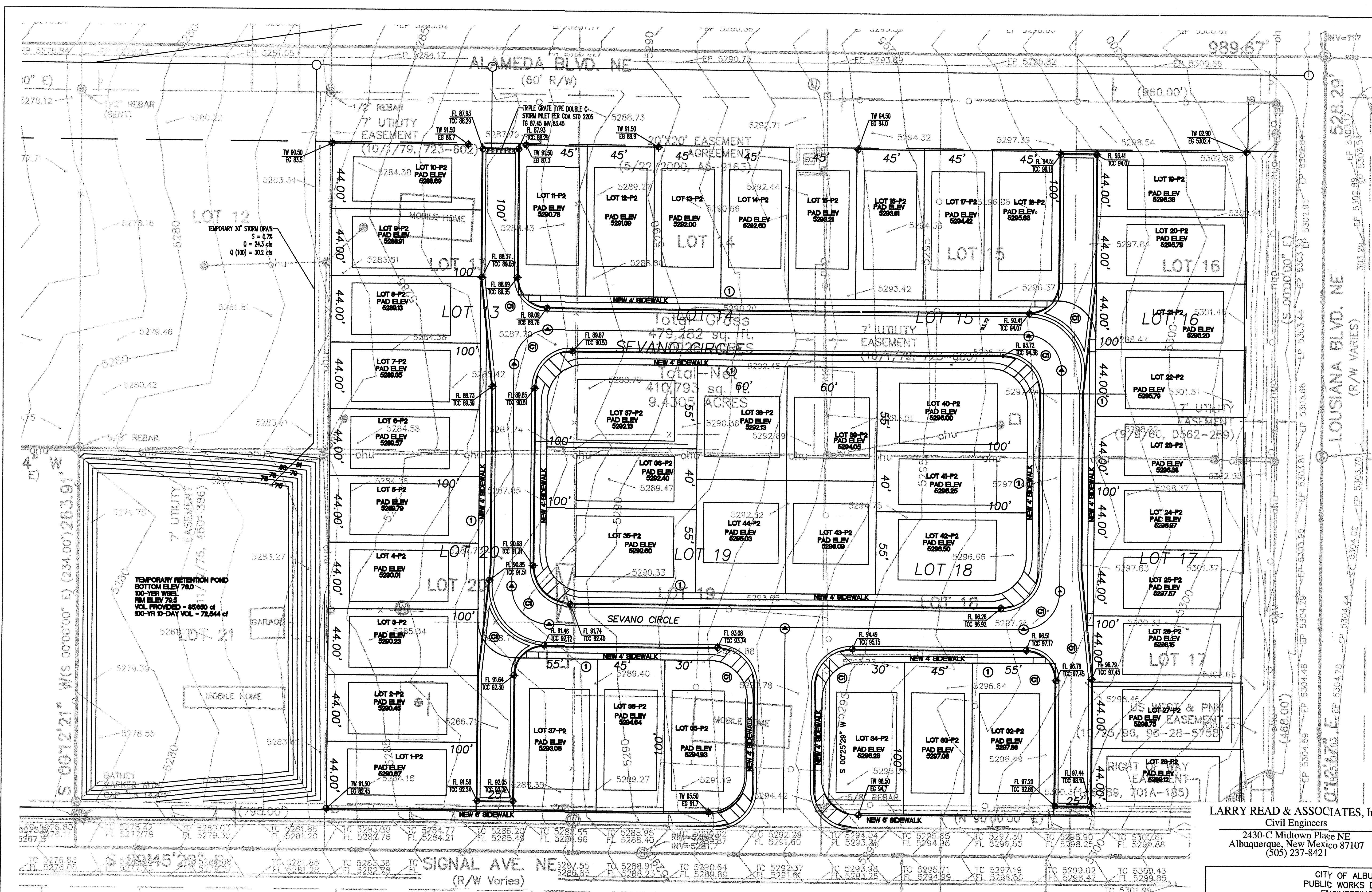
USE 7 - 2' WIDE CULVERTS EACH BASIN

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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: SAVANO POINT CONCEPTUAL GRADING AND DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	QTY ENGINEER APPROVAL
LAST DESIGN DATE	MO./DAY/YR.
PROJECT NO.	MAP NO. C-18
SHEET 1 OF 1	



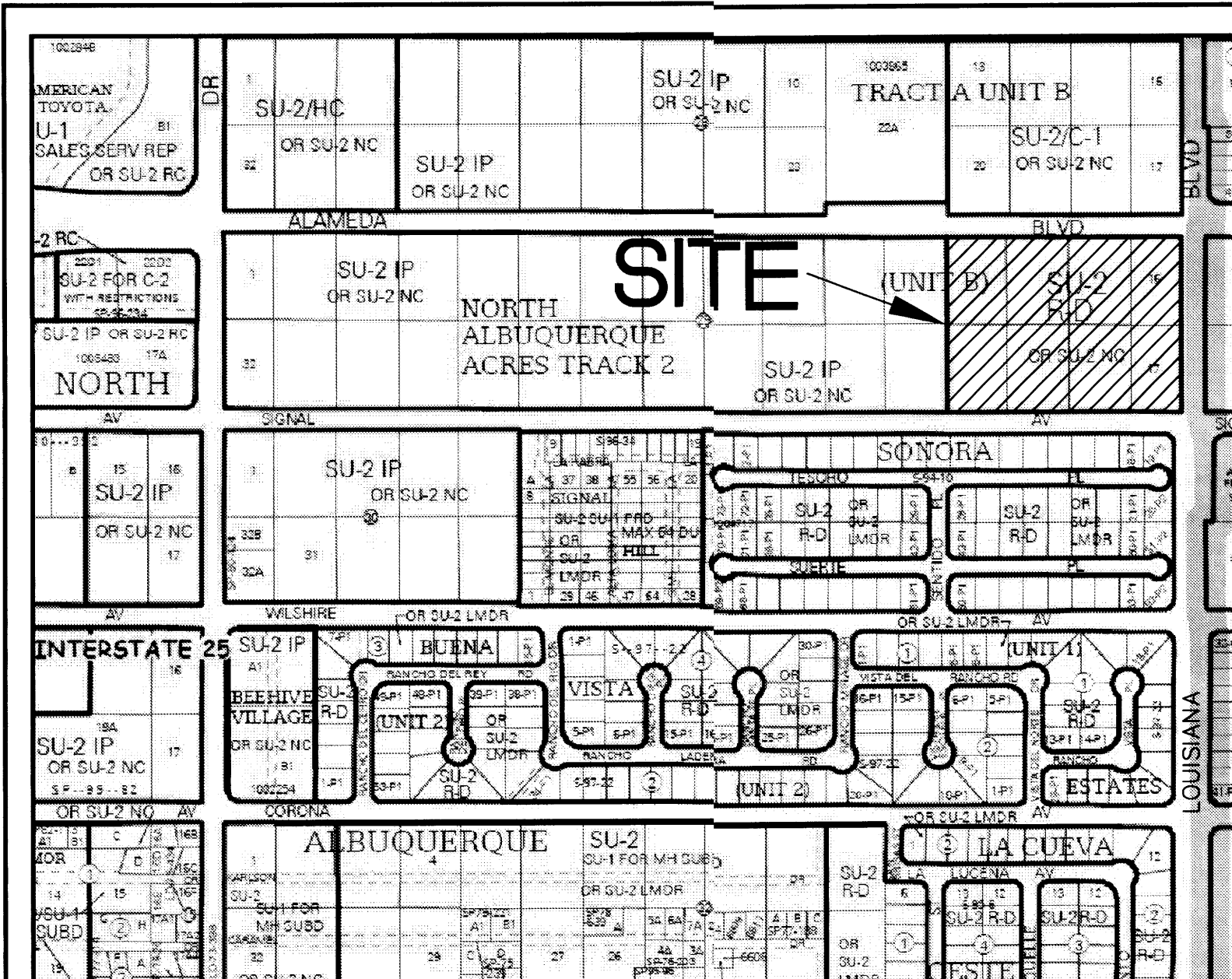
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: CONCEPTUAL		SEVAND POINT GRADING AND DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN DATE	MO./DAY/YR. MO./DAY/YR.
PROJECT NO.	MAP NO. C-18	SHEET 2	OF 2



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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: SAVANO POINT CONCEPTUAL GRADING AND DRAINAGE PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.
PROJECT NO.	MAP NO. C-19	SHEET	2 OF 2

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AS STATION "11-C18" BEING A 1 3/4" ALUMINUM DISK ON TOP OF THE CONCRETE CURB, NW QUADRANT OF BARSTON STREET AND OAKLAND AVENUE, NE ELEVATION = 5480.974 (NGVD 29)	DATE	FIELD NOTES	BY		
DATE	DATE		DATE	NO.	1		
DATE	DATE		DATE	REMARKS	BY	NO.	DATE
DATE	DATE		DATE	DESIGNED BY	DATE	DATE	SEPTEMBER 2006
DATE	DATE		DATE	DRAWN BY	DATE	DATE	SEPTEMBER 2006
DATE	DATE		DATE	CHECKED BY	DATE	DATE	SEPTEMBER 2006



Zone Atlas C-18-Z n.t.s.

Easement Notes

- EXISTING 7' UTILITY EASEMENT (9/9/60, D562-289)
- EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
- EXISTING RIGHT OF WAY EASEMENT (1/6/89, 701A-185)
- EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
- EXISTING 7' UTILITY EASEMENT (10/1/79, 723-603) TO BE VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- EXISTING ROADWAY EASEMENT (04/24/30, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT
- EXISTING CENTURYLINK EASEMENT (01/08/2014, DOC. NO. 2014001747)
- TRACT A - LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

Disclosure Statement

THE PURPOSE OF THIS PLAT IS TO:

- CREATE 41 RESIDENTIAL LOTS AND 1 TRACT.
- DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND SIGNAL AVENUE, N.E.
- GRANT EASEMENTS AS SHOWN HEREON.
- LOT LINES TO BE ELIMINATED SHOWN AS THUS
- VACATE EASEMENTS AS SHOWN HEREON.
- VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

Benchmark

ACS MONUMENT "10_C18" HAVING AN ELEVATION OF 5222.090 (NAVD 88)

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (4/24/36, D-130)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS INDICATED OTHERWISE
▲	SET CENTERLINE MONUMENT
1-P1	LOT NUMBER

Preliminary Plat

Sevano Place Subdivision

Comprised of
Lots 13, 18 through 20 and Remaining
Portions of Lots 14 Thru 17, Block 29, North Albuquerque
Acres, Tract A, Unit B
within
Projected Section 13, Township 11 North, Range 3 East, NMPM
The Elena Gallegos Grant
City of Albuquerque, Bernalillo County, New Mexico
March 2014

Legal

A CERTAIN PARCEL OF LAND, BEING COMPRISED OF LOTS 13, 18 THRU 20 AND REMAINING PORTIONS OF LOTS 14 THROUGH 17, BLOCK 29, OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, SITUATE WITHIN SECTION 13, T11N, R3E, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931 IN BOOK D, PAGE 130, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 00°12'28" E, A DISTANCE OF 49.97 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 1/2" REBAR;

THENCE, S 89°47'03" E, A DISTANCE OF 165.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'28" W, A DISTANCE OF 32.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 89°47'03" E, A DISTANCE OF 419.92 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 39.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00, A DELTA OF 89°59'20", AND A CHORD BEARING OF S 44°47'23" E, A DISTANCE OF 35.35 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'17" W, A DISTANCE OF 381.28 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 47.14 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 90°02'14", AND A CHORD BEARING OF S 45°13'24" W, A DISTANCE OF 42.44 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°14'31" W, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

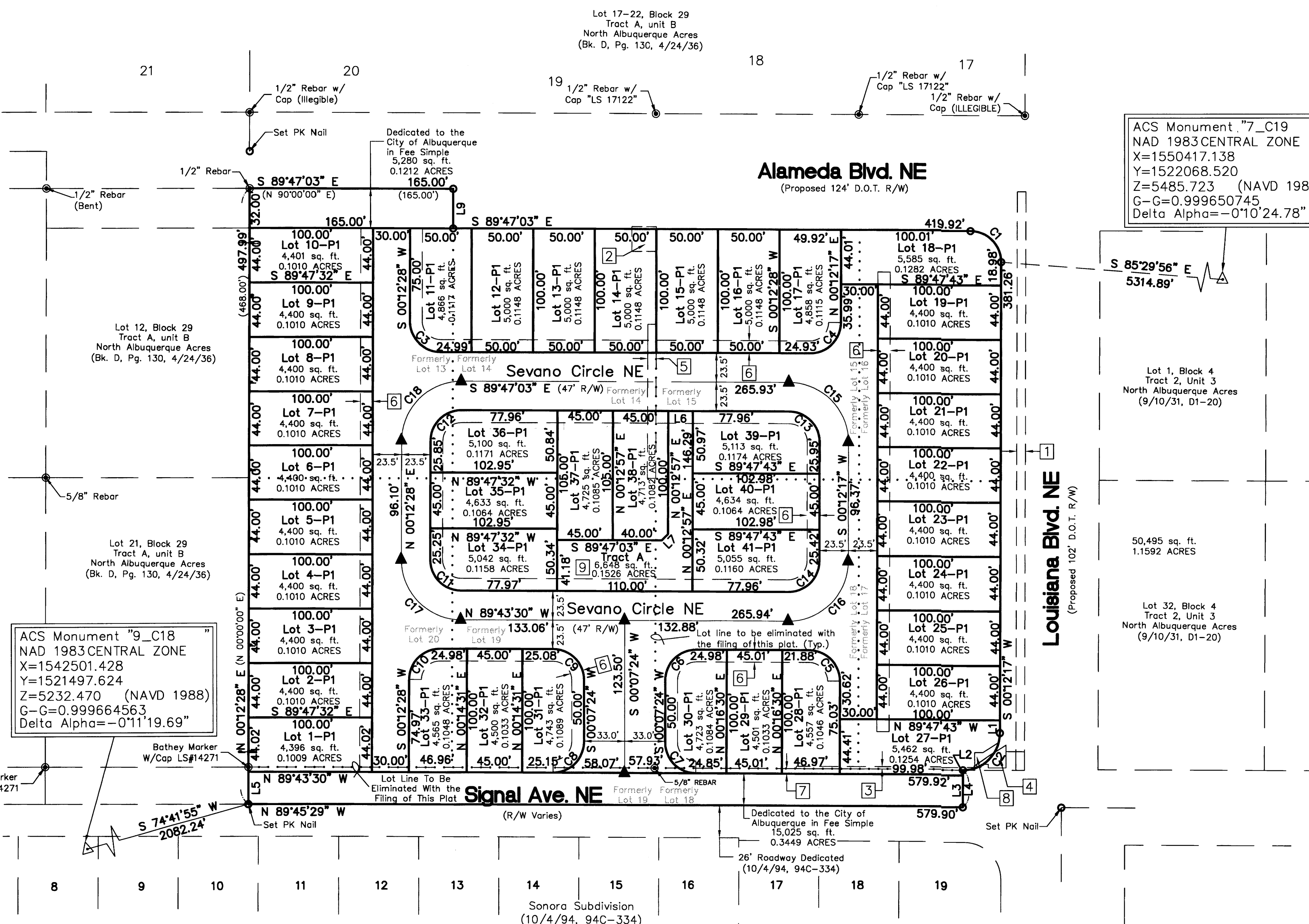
THENCE, N 89°45'29" W, A DISTANCE OF 579.92 FEET TO THE POINT OF BEGINNING, CONTAINING 6.6198 ACRES (288,359 SQ. FT.) MORE OR LESS.

Notes

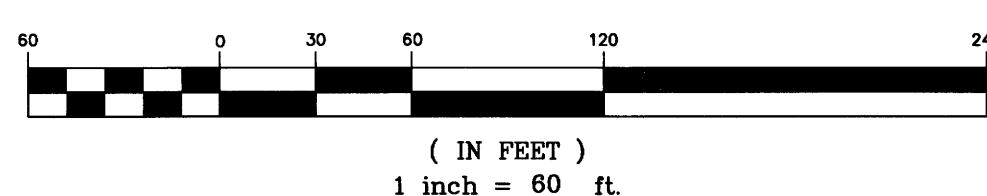
- FIELD SURVEY PERFORMED IN AUGUST 2006.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THUS . ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
- TOTAL NUMBER OF EXISTING LOTS: 8
- TOTAL NUMBER OF LOTS CREATED: 41
- TOTAL NUMBER OF TRACTS CREATED: 1
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.003 MI.
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: C-18
- NUMBER OF LOT LINES BEING ELIMINATED: 11
- TOTAL AREA: 6.6198 ACRES
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: R-D 20 DU/ACRE.
- BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (GRID-NAD83-CENTRAL ZONE).
- ALL OPEN SPACE REQUIREMENTS ARE NET ON THE LOT WITH DWELLING PER THE PROVISIONS OF SECT 14-16-3-B(A)(1).

OWNER _____ DATE _____

CITY SURVEYOR, CITY OF ALBUQUERQUE _____ DATE _____
GLEN HAIKIN P.S.



GRAPHIC SCALE



LINE TABLE		
LINE	LENGTH	BEARING
L1	10.27'	S 00°12'18" W
L2	4.26'	S 00°14'31" W
L3	25.74'	S 00°14'31" W
L4	30.00'	S 00°14'31" W
L5	26.08'	N 00°12'28" E
L6	20.00'	S 89°47'03" E
L7	14.14'	N 44°47'03" W
L9	32.00'	S 00°12'28" W (S 00°00'00" E)

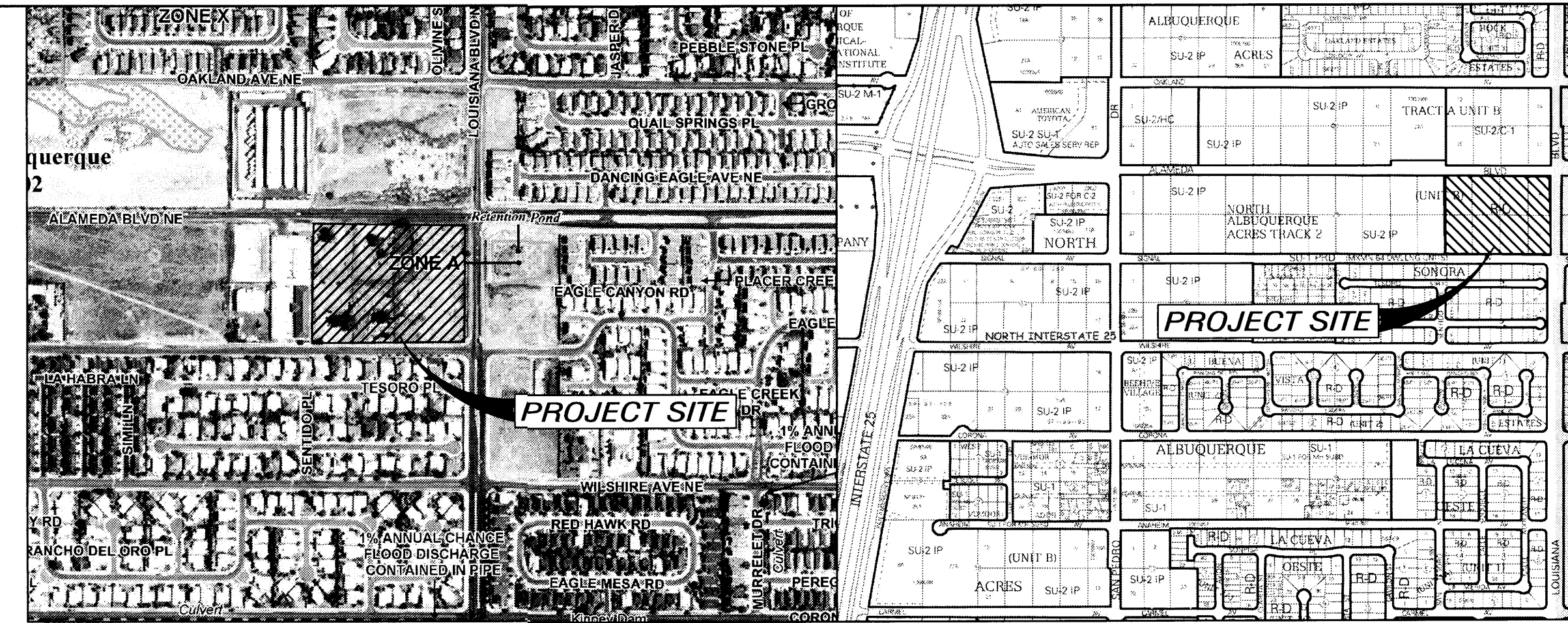
CURVE TABLE									
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA
C1	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E	C10	39.30'	25.00'	90°04'02"
C2	47.14'	30.00'	90°02'14"	42.44'	S 45°13'24" W	C11	39.24'	25.00'	89°55'58"
C3	39.27'	25.00'	89°59'31"	35.35'	S 44°47'17" E	C12	39.27'	25.00'	90°00'29"
C4	39.27'	25.00'	90°00'40"	35.36'	N 45°12'37" E	C13	39.27'	25.00'	89°59'20"
C5	39.24'	25.00'	89°55'47"	35.33'	N 44°45'37" W	C14	39.30'	25.00'	90°04'13"
C6	39.34'	25.00'	90°09'06"	35.40'	S 45°11'57" W	C15	76.17'	48.50'	89°59'20"
C7	39.20'	25.00'	89°50'54"	35.31'	S 44°48'03" E	C16	76.24'	48.50'	90°04'13"
C8	39.34'	25.00'	90°09'06"	35.40'	N 45°11'57" E	C17	76.13'	48.50'	89°55'58"
C9	39.20'	25.00'	89°50'54"	35.31'	N 44°48'03" W	C18	76.19'	48.50'	90°00'29"

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



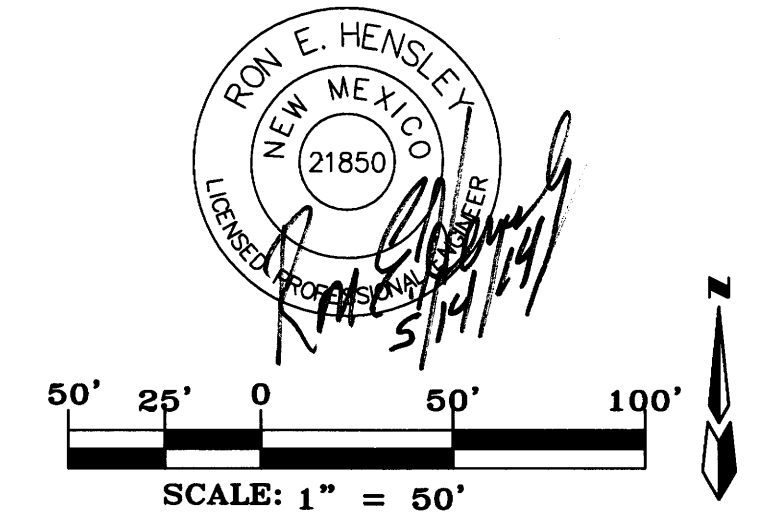
FIRM MAP NO. 35001C0141H

VICINITY MAP C-18-Z

KEYED NOTES

LEGEND

- FLOW ARROW
- SLOPE ARROW
- EL=11.28 PROPOSED ELEVATION
- 66.33 EXISTING ELEVATION
- GRADE BREAK
- 4966 EXISTING CONTOUR
- 4966 EXISTING CONTOUR
- PROPOSED EASEMENT
- 4.00% PROPOSED GRADE
- EXISTING WALL
- PROPOSED RETAINING WALL



No.	Revision/Issue	Date

SEVANO PLACE SITE DEVELOPMENT PLAN FOR SUBDIVISION Albuquerque, New Mexico

THE group

THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

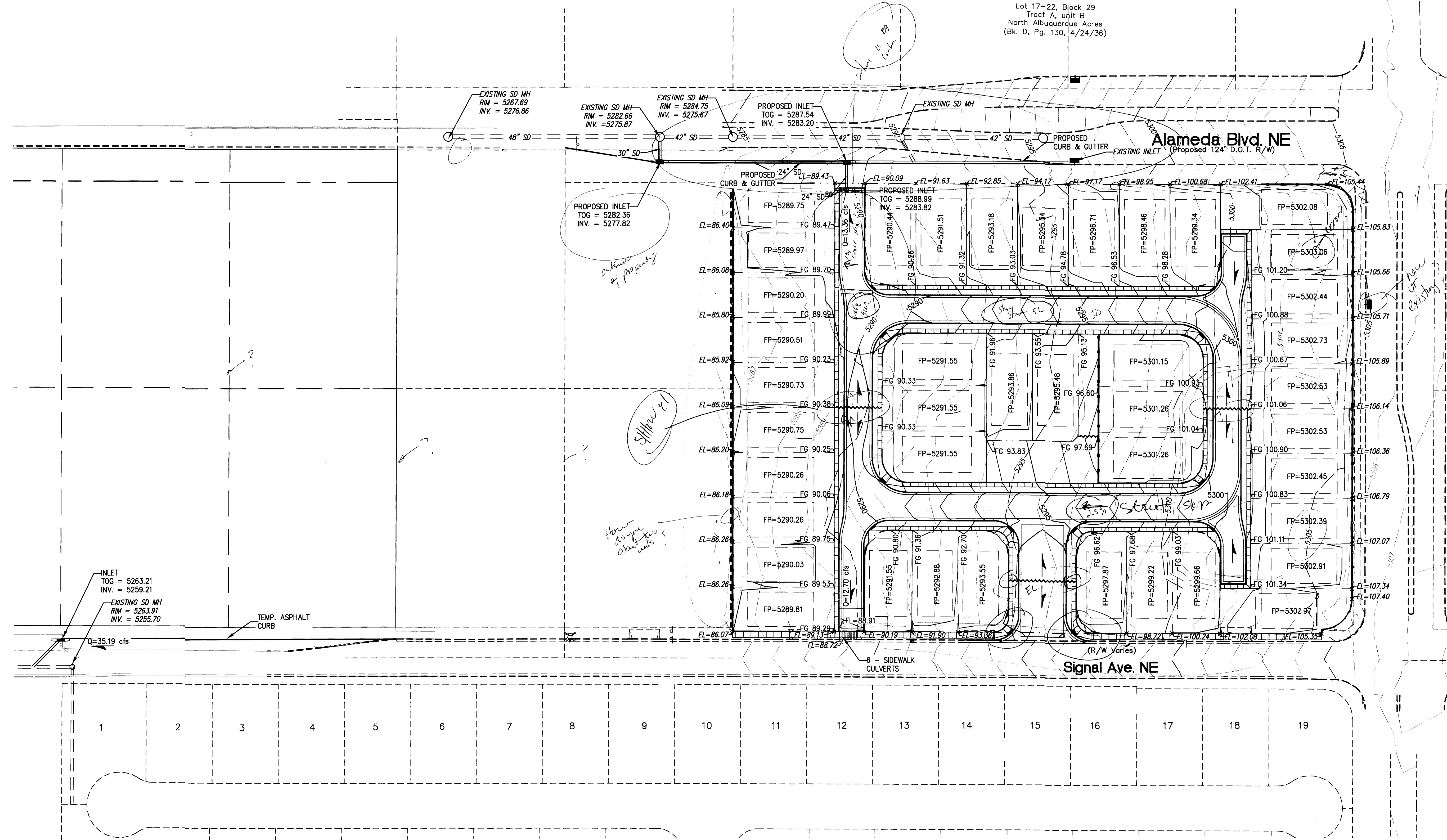
Sheet: THE MASTER GRADING AND DRAINAGE PLAN

Date: MAY 2, 2014

Project No.

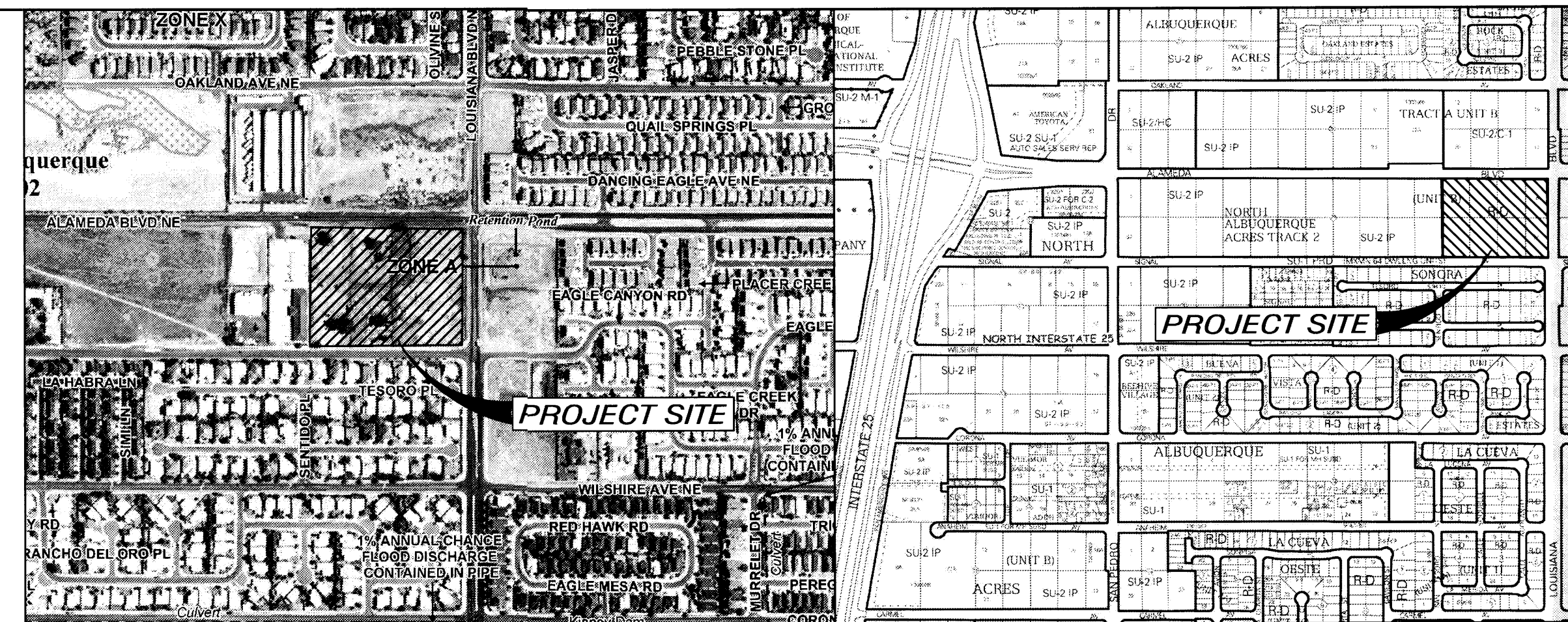
Sheet Number

SP3



EROSION CONTROL NOTES

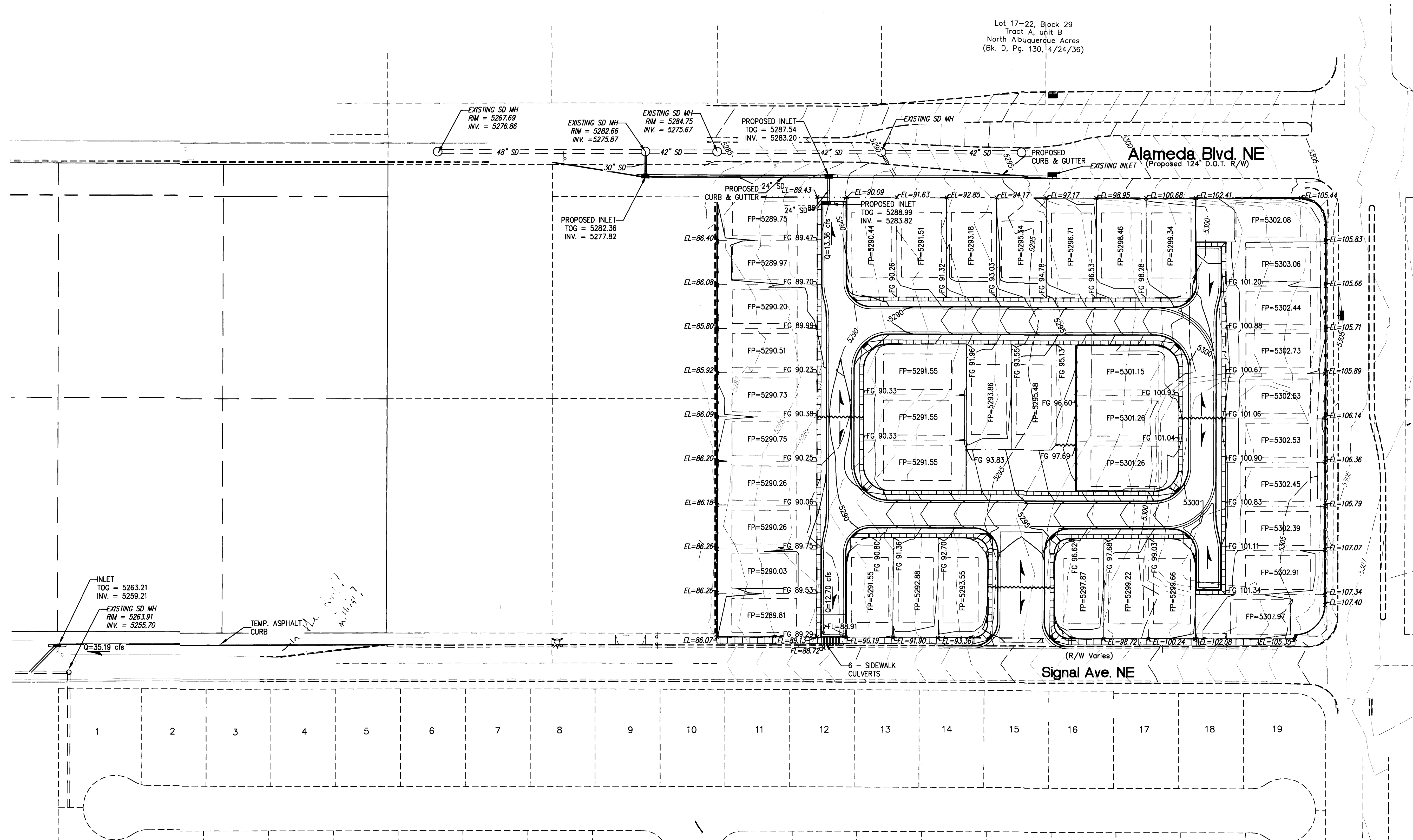
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FIRM MAP NO. 35001C0141H

VICINITY MAP C-18-Z

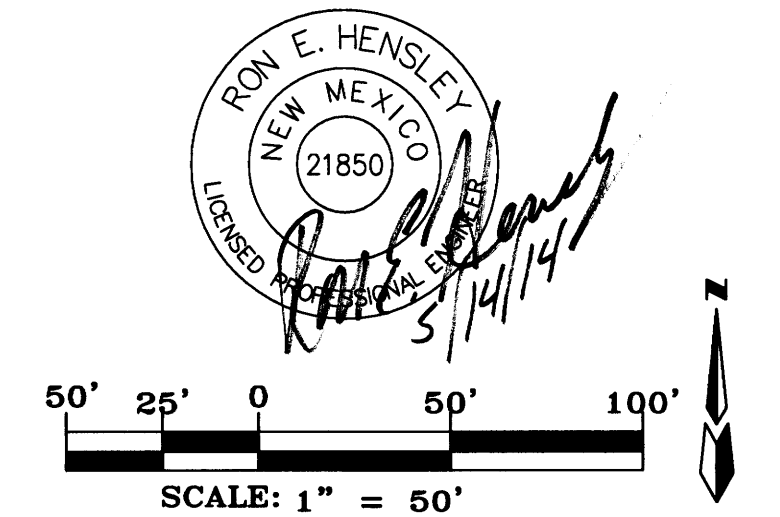
Lot 17-22, Block 29
Tract A, Unit B
North Albuquerque Acres
(Bk. D, Pg. 130, 4/24/36)



KEYED NOTES

LEGEND

- FLOW ARROW
- SLOPE ARROW
- PROPOSED ELEVATION
- EXISTING ELEVATION
- GRADE BREAK
- EXISTING CONTOUR
- EXISTING CONTOUR
- PROPOSED EASEMENT
- PROPOSED GRADE
- EXISTING WALL
- PROPOSED RETAINING WALL



50' 25' 0 50' 100'
SCALE: 1" = 50'

No.	Revision/Issue	Date

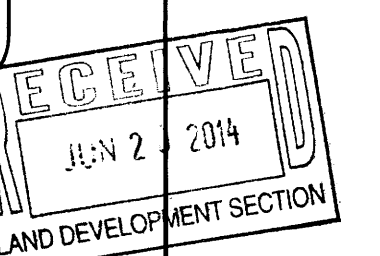
SEVANO PLACE
SITE DEVELOPMENT PLAN
FOR SUBDIVISION
Albuquerque, New Mexico

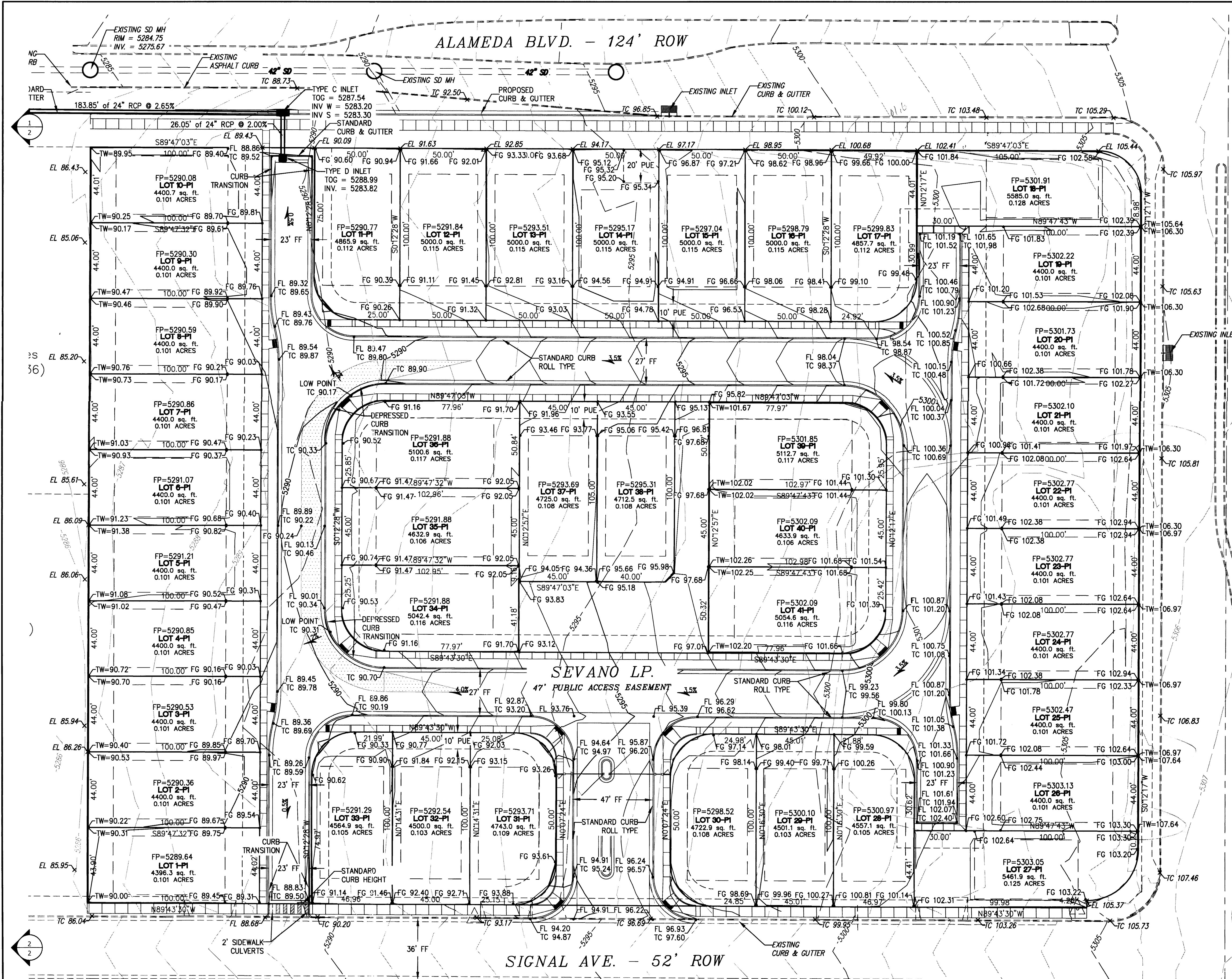
THE
group

THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 514-0995

Sheet Title
**MASTER GRADING AND
DRAINAGE PLAN**
Date
MAY 2, 2014
Project No.

Sheet Number
SP3





NOTES
THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

- GENERAL NOTES:**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
 - THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
 - THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEEDING OR LANDSCAPED.
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

→	FLOW ARROW
2%	SLOPE ARROW
EL=11.28	PROPOSED ELEVATION
66.33	EXISTING ELEVATION
~~~~~	GRADE BREAK
4966	EXISTING CONTOUR
---	EXISTING CONTOUR
---	PROPOSED EASEMENT
---	PROPOSED GRADE
---	EXISTING WALL
---	PROPOSED WALL

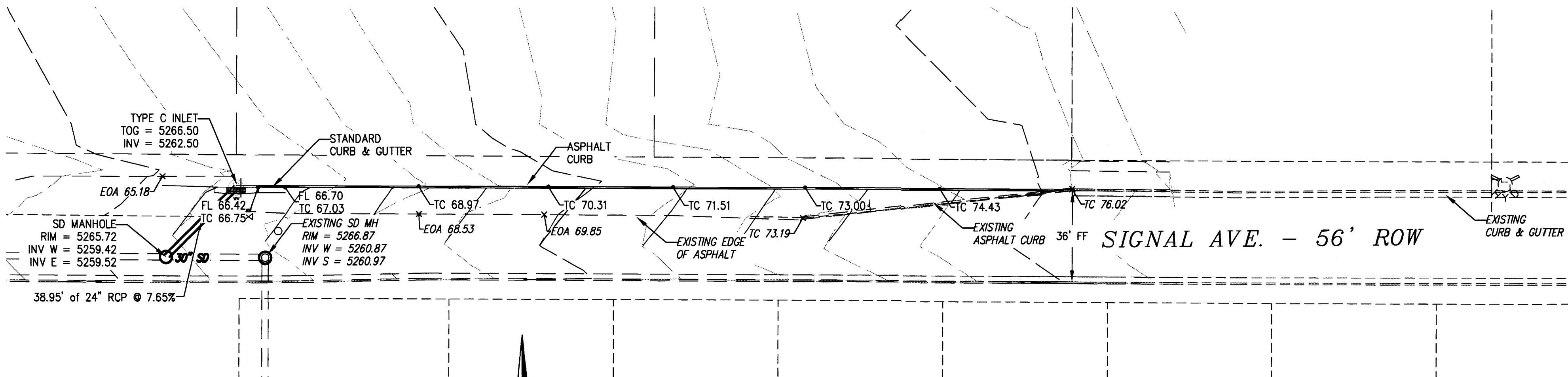


**THE Group**  
300 Branding Iron Rd. SE  
Rio Rancho, New Mexico 87124  
Phone: (505) 514-0995

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP <b>SEVANO PLACE SUBDIVISION</b> REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA GRADING & DRAINAGE PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.
LAST DESIGN UPDATE			
DRB No. 1005191	CITY PROJECT No.	ZONE MAP NO. C-18-2	SHEET 1 OF 2

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	NO.	DATE	BY	NO.	DATE	NO.	DATE
WORK	NO.	DATE	BY	NO.	DATE	NO.	DATE
STATION	NO.	DATE	BY	NO.	DATE	NO.	DATE
ACCEPTANCE BY	NO.	DATE	BY	NO.	DATE	NO.	DATE
VERIFICATION BY	NO.	DATE	BY	NO.	DATE	NO.	DATE
DRAWINGS BY	NO.	DATE	BY	NO.	DATE	NO.	DATE
COMMENTS	NO.	DATE	BY	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION		REVISIONS		DESIGN		REVISIONS	
RECORDED BY	NO.	DATE	BY	NO.	DATE	NO.	DATE
NO.	NO.	DATE	BY	NO.	DATE	NO.	DATE





300 Branding Iron Rd. SE  
Rio Rancho, New Mexico 87124  
Phone: (505) 514-0995

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP  
SEVANO PLACE SUBDIVISION  
REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA  
GRADING & DRAINAGE PLAN

[illegible]

DRB No. 1005191

CITY PROJECT No.
------------------

ZONE MAP NO.  
**C-18-Z**

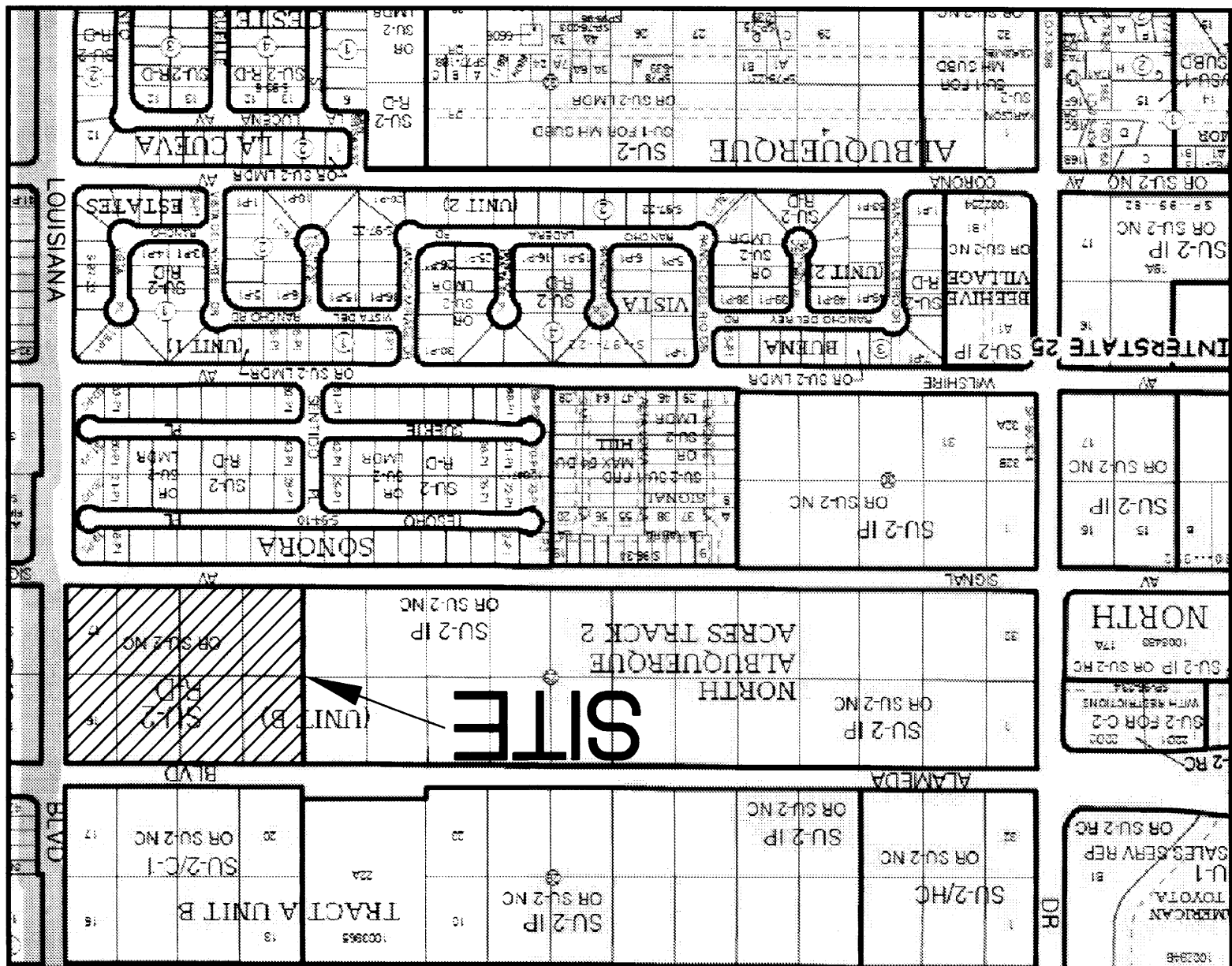
SHEET 2 OF 2

SURVEY INFORMATION			BENCH MARKS		AS
NO.	BY	DATE	FIELD NOTES	CONTRACTOR WORK	STARTED BY
			*ACS BM 7.019* THE BENCHMARK IS LOCATED IN THE NORTHWEST QUADRANT OF BARSTOW STREET AND SIGNAL AVENUE. THE STATION IS A CITY OF ALBUQUERQUE 3 1/4" ALUMINUM DISK SET IN TOP OF CURB ON THE NWW CURB RETURN, STAMPED "7-C19 1995".	WORKING	BY
			X=1550417.138 Y=1522068.520 (NAD 83)	ACCEPTANCE	DATE
			ELEV=5465.723 (NAD 1988)	VERIFICATION	NO.
				DRAWINGS	
				CONTRACT NO.	
				<i>MICRC</i>	
				RECORDED B	

Professional Engineer Seal for Ron E. Hensley, New Mexico, No. 21850, dated 12/2011 to 12/2017. The seal is circular with the text "RON E. HENSLEY", "NEW MEXICO", "21850", "REGISTERED PROFESSIONAL ENGINEER", and "12/2011 12/2017".

[illegible]





## Easement Notes

- 1 EXISTING 7' UTILITY EASEMENT (9/9/60, D562-289)
- 2 EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
- 3 EXISTING RIGHT OF WAY EASEMENT (1/6/69, 701A-185)
- 4 EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
- 5 EXISTING 7' UTILITY EASEMENT (10/17/99, 723-603) TO BE VACATED WITH THE FILING OF THIS PLAT SHOWN HEREON AS → → → →
- 6 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- 7 EXISTING ROADWAY EASEMENT (04/24/50, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT
- 8 EXISTING CENTURYLINK EASEMENT (01/08/2014, DOC. NO. 20140001747)
- 9 TRACT A - LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

## Disclosure Statement

THE PURPOSE OF THIS PLAT IS TO:

1. CREATE 41 RESIDENTIAL LOTS AND 1 TRACT.
2. DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND SIGNAL AVENUE, N.E.
3. GRANT EASEMENTS AS SHOWN HEREON.
4. LOT LINES TO BE ELIMINATED SHOWN AS THUS . . . . .
5. VACATE EASEMENTS AS SHOWN HEREON.
6. VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

## Benchmark

ACS MONUMENT "10-C18" HAVING AN ELEVATION OF 5222.090 (NAVD 88).

6. VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

Legend

N 00.00.06 E  
 MEASURED BEARINGS AND DISTANCES  
 RECORD BEARINGS AND DISTANCES  
 PER PLAT OF RECORD  
 (4/24/95, D-130)  
 FOUND MONUMENT AS INDICATED  
 UNLESS INDICATED OTHERWISE  
 SET BATHYEM MARKER "S 14271"  
 SET CENTERLINE MONUMENT  
 LOT NUMBER  
 1-P1

## Preliminary Plat

# Sevano Place Subdivision

Comprised of  
Lots 13, 18 through 20 and Remaining  
Portions of Lots 14 Thru 17, Block 29, North Albuquerque  
Acres, Tract A, Unit B

Witness  
 I, Township 11 North, Range 3 East, NMPM  
 The Elena Galeagos Grant  
 City of Albuquerque, Bernalillo County, New Mexico  
 March 2014

## Legal

A CERTAIN PARCEL OF LAND, BEING COMPRISED OF LOTS 13, 18 THRU 20 AND REMAINING PORTIONS OF LOTS 14 THROUGH 17, BLOCK 9, OF NORTH R32, N/M/M, AS PROJECTED INTO THE SUTATE GALILEOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO, UNDER NO. 1971 IN BOOK E, PAGE 120, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEARS MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, S 89°47'03" E, A DISTANCE OF 165.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'28" W, A DISTANCE OF 32.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHY MARKER WITH CAP "LS 14271";

THENCE, S 89°47'03" E, A DISTANCE OF 419.92 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHY MARKER WITH CAP "LS 14271";

25.00, A DELTA OF 89.59'20", AND A CHORD BEARING OF  
 THEREFORE, 39.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADII OF  
 S 44°47'23 E, A DISTANCE OF 35.35 FEET, BEING MARKED WITH A BATHEY

MARKER WITH CAP. LS 14271 ;  
THENCE, S 00°12'17" W, A DISTANCE OF 381.28 FEET TO A POINT OF

THECE, 47.14 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET. A DELTA OF 99.93147, AND A CHORD BEARING OF

S 45°13'24" W, A DISTANCE OF 42.44 FEET, BEING MARKED WITH A BATHY  
MARKER WITH CAP "LS 14271", TO AN ANGLE POINT;

THENCE, S 00°14'31" W, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHY MARKER WITH CAP "LS 14271";

THEENCE, N 89°45'29" W, A DISTANCE OF 579.92 FEET TO THE POINT OF BEGINNING, CONTAINING 6.6198 ACRES (288,359 SQ. FT.) MORE OR LESS.

LINE	LENGTH	BEARING
L1	10.27	S 001218° W
L2	4.26	S 001431° W
L3	25.74	S 001431° W
L4	36.00	N 001431° W
L5	26.08	N 001228° E
L6	20.00	S 894703° E
L7	14.14	N 001228° E
L9	25.00	S 001228° E

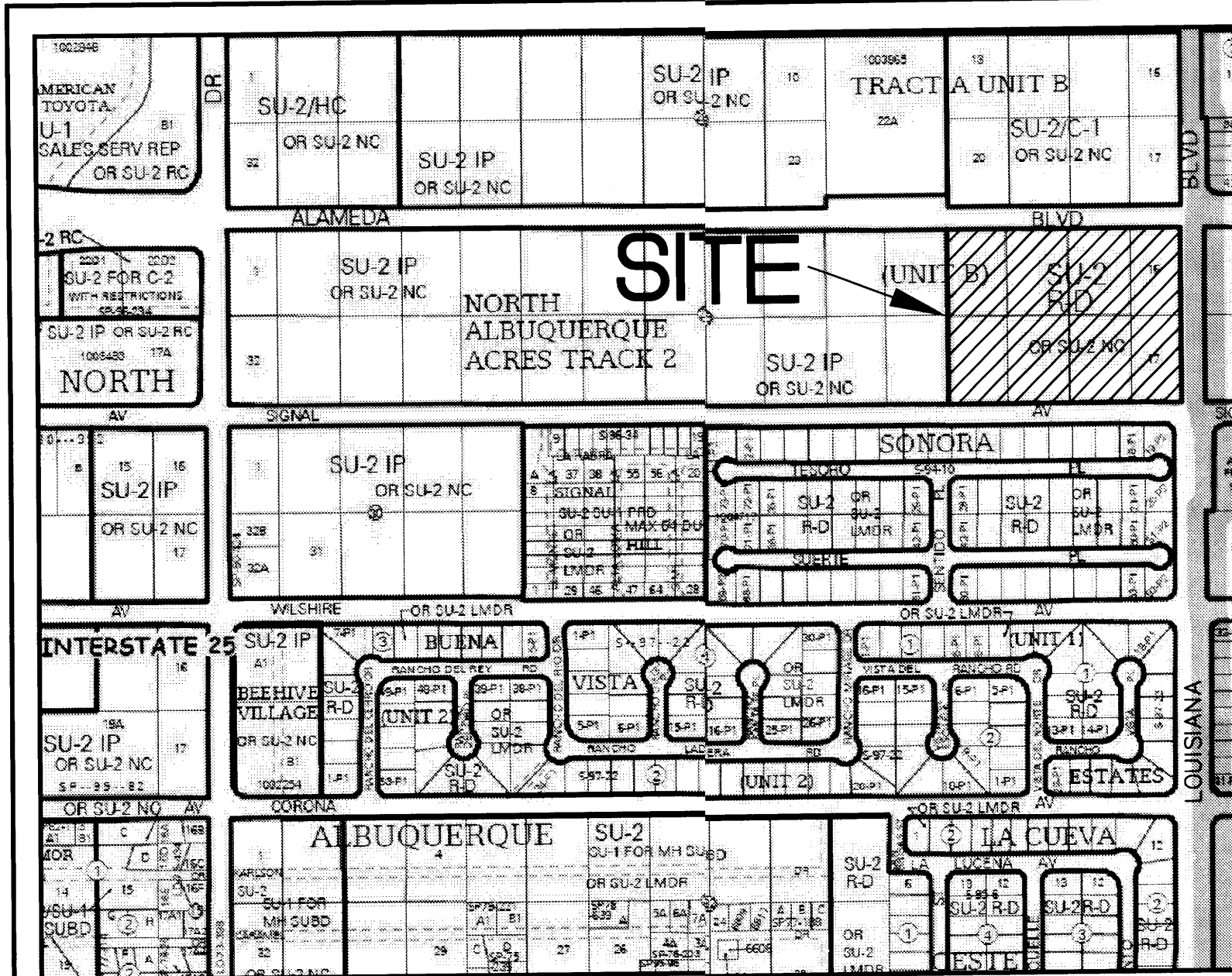
CURVE		LENGTH	RADIUS	CHORD BEARING	CHORD
C1	47.14°	25.00'	96.9302'	55.35°	W 45.51° 29' W
C2	47.14°	25.00'	96.9302'	42.44°	W 45.51° 29' W
C3	39.27°	25.00'	88.9831°	35.36°	W 45.51° 29' W
C4	39.27°	25.00'	88.9831°	13.13°	W 45.51° 29' W
C5	39.27°	25.00'	88.9831°	35.36°	W 45.51° 29' W
C6	39.27°	25.00'	88.9831°	35.36°	W 45.51° 29' W
C7	39.27°	25.00'	88.9831°	35.36°	W 45.51° 29' W
C8	39.27°	25.00'	96.9302'	55.35°	W 45.51° 29' W
C9	39.27°	25.00'	96.9302'	55.35°	W 45.51° 29' W

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

062665





Zone Atlas C-18-Z n.t.s.

### Easement Notes

- EXISTING 7' UTILITY EASEMENT (9/9/60, D562-289)
- EXISTING 20'X20' EASEMENT AGREEMENT (5/22/2000, A5-9163)
- EXISTING RIGHT OF WAY EASEMENT (1/6/89, 701A-185)
- EXISTING US WEST & PNM EASEMENT (10/23/96, 96-28-5758)
- EXISTING 7' UTILITY EASEMENT (10/1/79, 723-603) TO BE RELEASED IN THE FUTURE BY DOCUMENT
- 10' PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- EXISTING ROADWAY EASEMENT (04/24/30, D-130) TO BE VACATED WITH THE FILING OF THIS PLAT
- EXISTING CENTURYLINK EASEMENT (01/08/2014, DOC, NO. 2014001747)
- TRACT A - LANDSCAPE EASEMENT GRANTED WITH THE FILING OF THIS PLAT, TO BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION TO BE ESTABLISHED
- PRIVATE ROADWAY & DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT BENEFITTING LOTS 1-41, AND TO BE MAINTAINED BY A HOMEOWNERS ASSOCIATION TO BE ESTABLISHED-BLANKET ACROSS ALL OF TRACT B
- 12' PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- PUBLIC WATER & SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT-BLANKET ACROSS ALL OF TRACT B

### Disclosure Statement

THE PURPOSE OF THIS PLAT IS TO:

- CREATE 41 RESIDENTIAL LOTS AND 1 TRACT.
- DEDICATE RIGHT-OF-WAY FOR ALAMEDA BLVD N.E. AND SIGNAL AVENUE, N.E.
- GRANT EASEMENTS AS SHOWN HEREON.
- LOT LINES TO BE ELIMINATED SHOWN AS THUS . . . . .
- VACATE EASEMENTS AS SHOWN HEREON.
- VACATE ROADWAY EASEMENTS AS SHOWN HEREON.

### Benchmark

ACS MONUMENT "10_C18" HAVING AN ELEVATION OF 5222.090 (NAVD 88).

### Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (4/24/36, D-130)
●	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER "LS 14271" UNLESS INDICATED OTHERWISE
▲	SET CENTERLINE MONUMENT
1-P1	LOT NUMBER

## Preliminary Plat

# Sevano Place Subdivision

Comprised of  
Lots 13, 18 through 20 and Remaining  
Portions of Lots 14 Thru 17, Block 29, North Albuquerque  
Acres, Tract A, Unit B  
within  
Projected Section 13, Township 11 North, Range 3 East, NMPM  
The Elena Gallegos Grant  
City of Albuquerque, Bernalillo County, New Mexico  
July 2014

### Legal

A CERTAIN PARCEL OF LAND, BEING COMPRISED OF LOTS 13, 18 THRU 20 AND REMAINING PORTIONS OF LOTS 14 THROUGH 17, BLOCK 29, OF NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, SITUATE WITHIN SECTION 13, T11N, R3E, NMPM, AS PROJECTED INTO THE ELENA GALLEGOS GRANT, COUNTY OF BERNALILLO, CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D, PAGE 130, SAID PARCEL IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A PK NAIL, WHENCE A TIE TO ACS MONUMENT 9_C18 BEARS S 74°41'55" W, A DISTANCE OF 2082.24 FEET;

THENCE, FROM SAID POINT OF BEGINNING, N 00°12'28" E, A DISTANCE OF 497.99 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 1/2" REBAR;

THENCE, S 89°47'03" E, A DISTANCE OF 165.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'28" W, A DISTANCE OF 32.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 89°47'03" E, A DISTANCE OF 419.92 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 39.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00, A DELTA OF 89°59'20", AND A CHORD BEARING OF S 44°47'23" E, A DISTANCE OF 35.35 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 00°12'17" W, A DISTANCE OF 381.28 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 47.14 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, A DELTA OF 90°02'14", AND A CHORD BEARING OF S 45°13'24" W, A DISTANCE OF 42.44 FEET, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271", TO AN ANGLE POINT;

THENCE, S 00°14'31" W, A DISTANCE OF 30.00 FEET TO AN ANGLE POINT, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 89°45'29" W, A DISTANCE OF 579.92 FEET TO THE POINT OF BEGINNING, CONTAINING 6.6198 ACRES (288,359 SQ. FT.) MORE OR LESS.

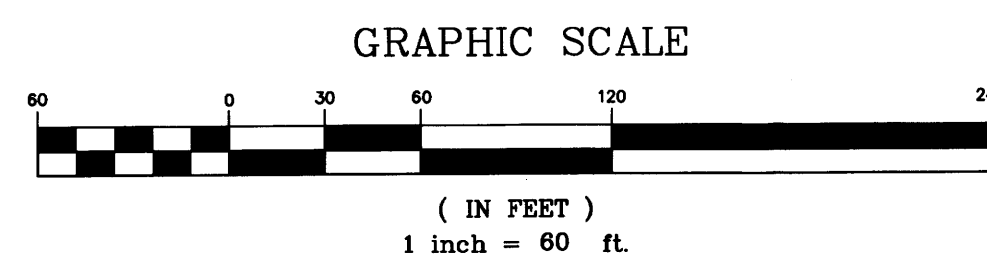
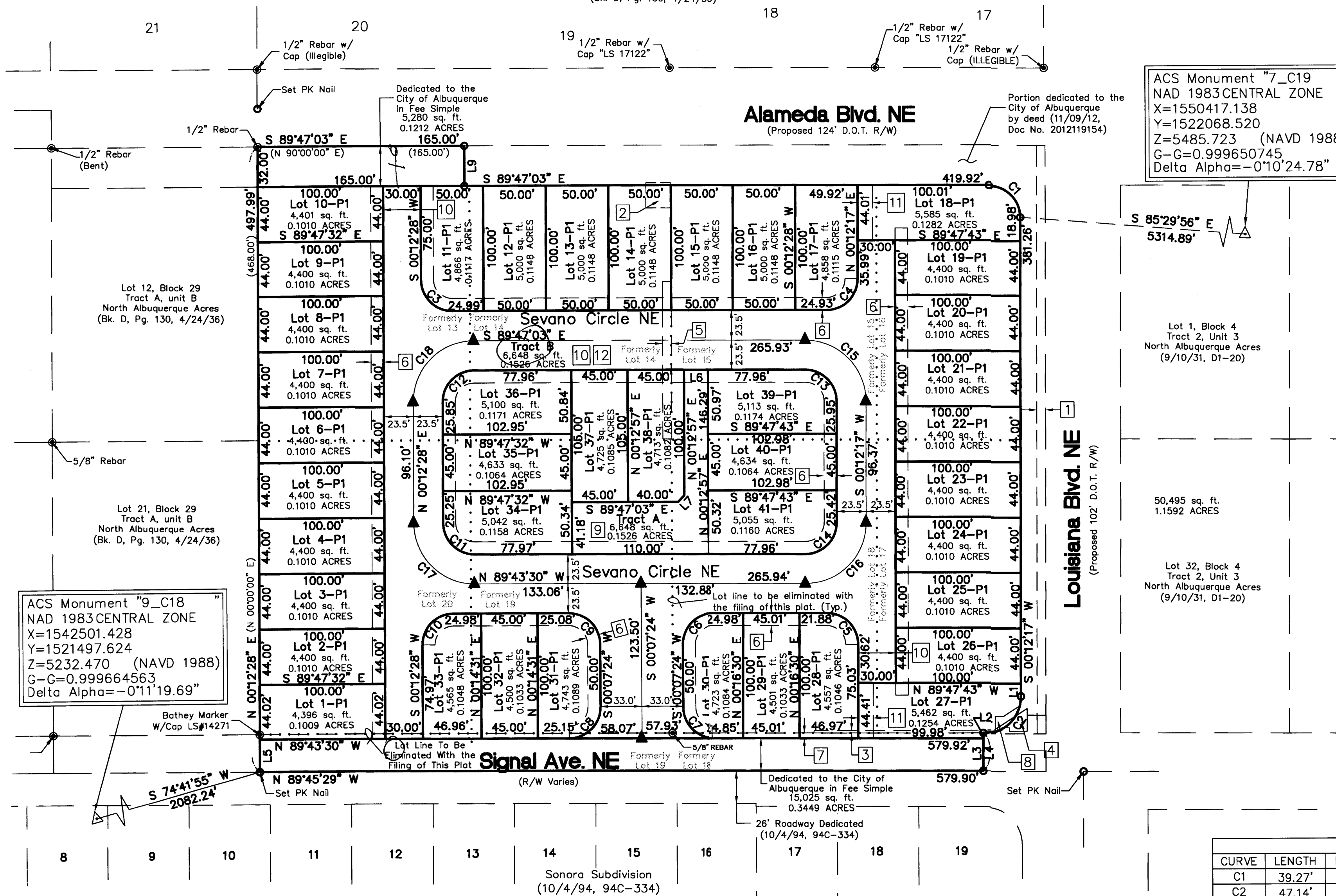
### Notes

- FIELD SURVEY PERFORMED IN AUGUST 2006.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THUS ▲ . ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
- TOTAL NUMBER OF EXISTING LOTS: 8
- TOTAL NUMBER OF LOTS CREATED: 41
- TOTAL NUMBER OF TRACTS CREATED: 1
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.00 MI.
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: C-18
- NUMBER OF LOT LINES BEING ELIMINATED: 11
- TOTAL AREA: 6.6198 ACRES
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: R-D 20 DU/ACRE.
- BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (GRID-NAD83-CENTRAL ZONE).
- ALL OPEN SPACE REQUIREMENTS ARE NET ON THE LOT WITH DWELLING PER THE PROVISIONS OF SECTION 14-16-3-B(A)(1).

14. How to maintain drainage culverts on north side of Signal Ave and Storm drain in Alameda Blvd to the north on Alameda

OWNER _____ DATE _____

CITY SURVEYOR, CITY OF ALBUQUERQUE _____ DATE _____  
GLEN HAIKIN P.S.

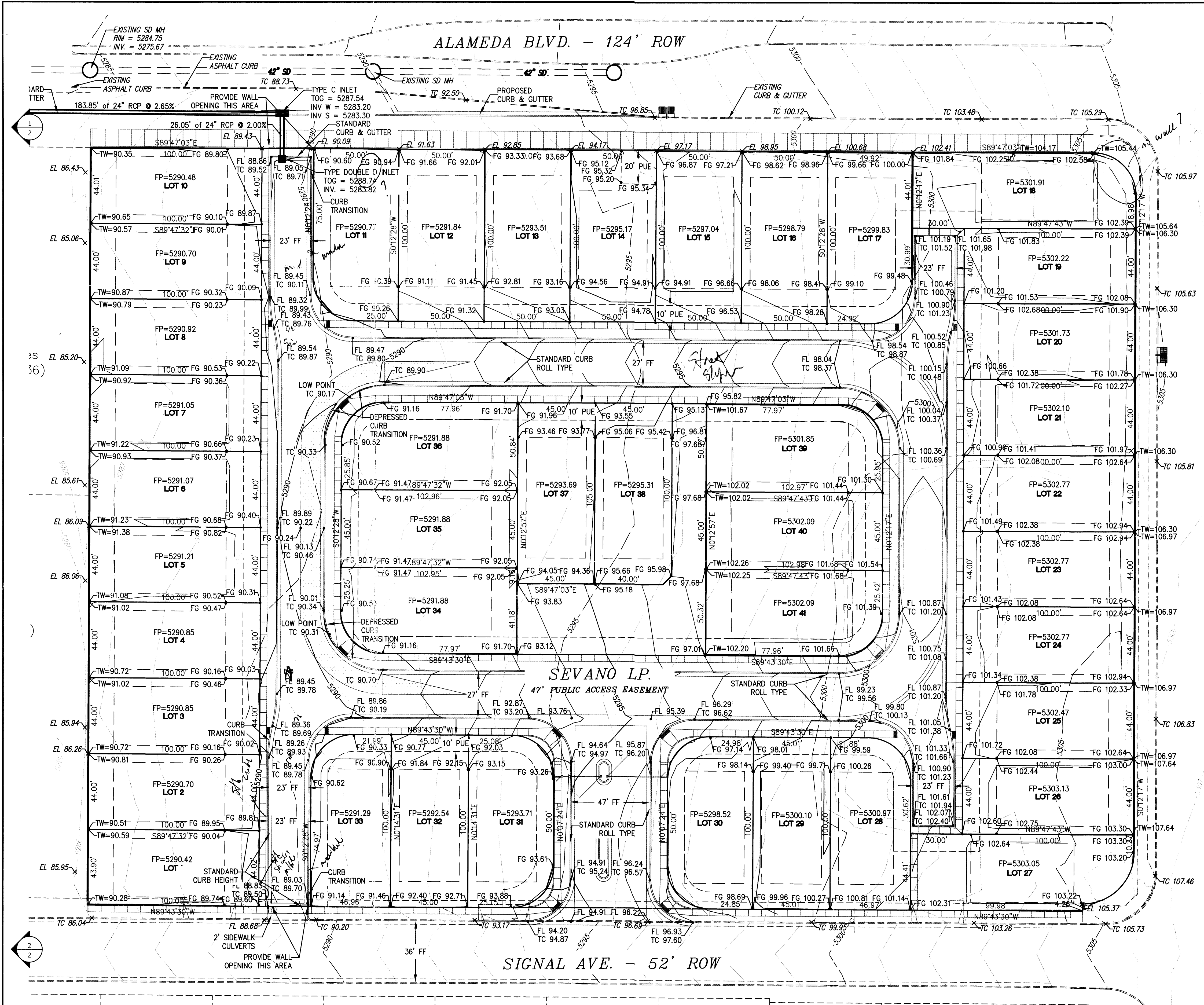


CURVE TABLE									
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA
C1	39.27'	25.00'	89°59'20"	35.35'	S 44°47'23" E	C10	39.30'	25.00'	90°04'02"
C2	47.14'	30.00'	90°02'14"	42.44'	S 45°13'24" W	C11	39.24'	25.00'	89°55'58"
C3	39.27'	25.00'	89°59'31"	35.35'	S 44°47'17" E	C12	39.27'	25.00'	90°00'29"
C4	39.27'	25.00'	90°00'40"	35.36'	N 45°12'37" E	C13	39.27'	25.00'	89°59'20"
C5	39.24'	25.00'	89°55'47"	35.33'	N 44°45'37" W	C14	39.30'	25.00'	90°04'13"
C6	39.34'	25.00'	90°09'06"	35.40'	S 45°11'57" W	C15	76.17'	48.50'	89°59'20"
C7	39.20'	25.00'	89°50'54"	35.31'	S 44°48'03" E	C16	76.24'	48.50'	90°04'13"
C8	39.34'	25.00'	90°09'06"	35.40'	S 45°11'57" E	C17	76.13'	48.50'	89°55'58"
C9	39.20'	25.00'	89°50'54"	35.31'	N 44°48'03" W	C18	76.19'	48.50'	90°00'29"

CARTESIAN SURVEYS INC.

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Phone (505) 896-3050 Fax (505) 891-0244





**NOTES**

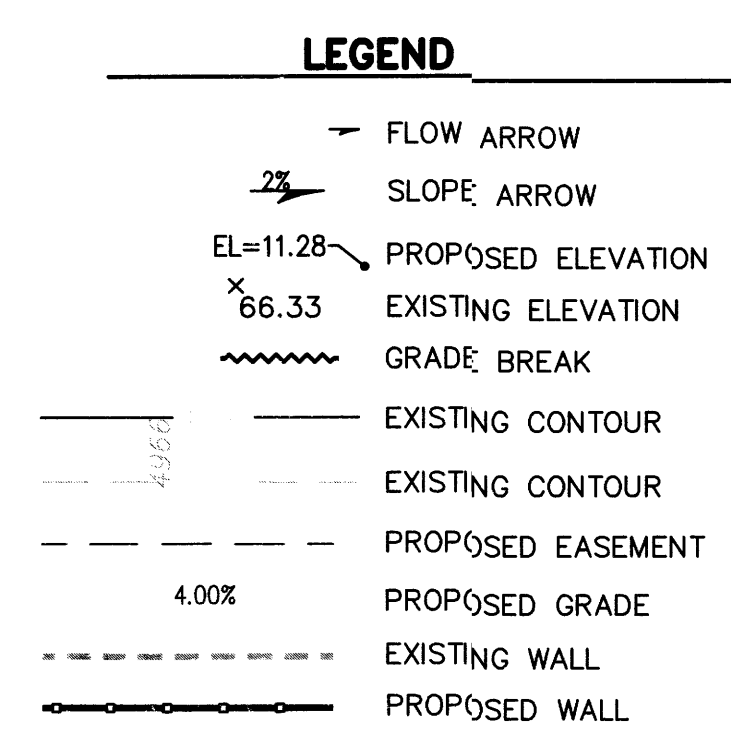
THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

- GENERAL NOTES:**
1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
  2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
  3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
  4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEED OR LANDSCAPED.
  5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
  6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



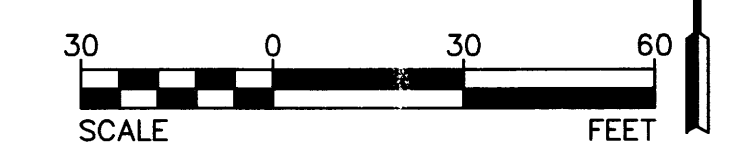
**LOT DRAINAGE REQUIREMENTS**

TYPICAL LOT DRAINAGE (SEE SHEET 2) AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

LOTS DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE EQUAL TO: ROOF AREA * 0.44/12 IN CUBIC FEET.

TYPICAL ROOF AREA = 2400 SQ.FT.

VOLUME = 2400 * 0.44/12 = 88 CU.FT.



**THE Group**  
300 Branding Iron Rd. SE  
Rio Rancho, New Mexico 87124  
Phone: (505) 514-0995

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP  
**SEVANO PLACE SUBDIVISION**  
REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA  
GRADING & DRAINAGE PLAN

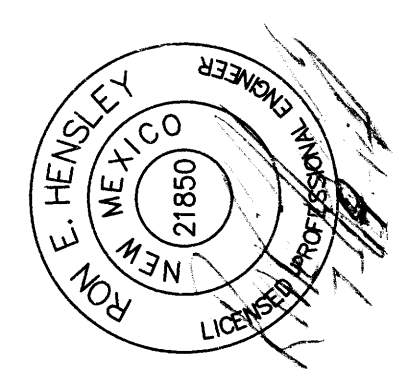
DESIGN REVIEW COMMITTEE  
CITY ENGINEER APPROVAL  
LAST DESIGN UPDATE

DATE JUN 2014  
DATE JUN 2014  
DATE JUN 2014

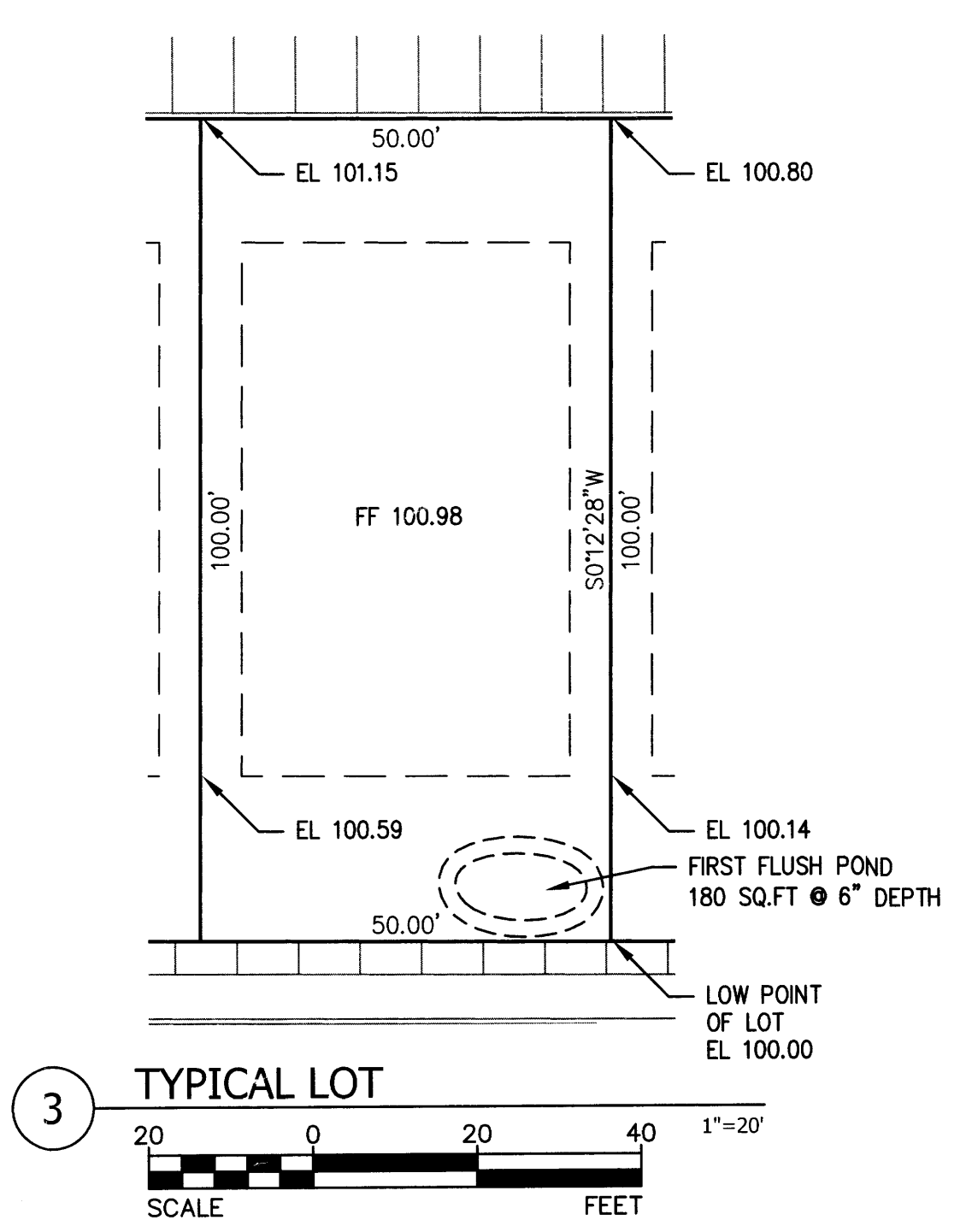
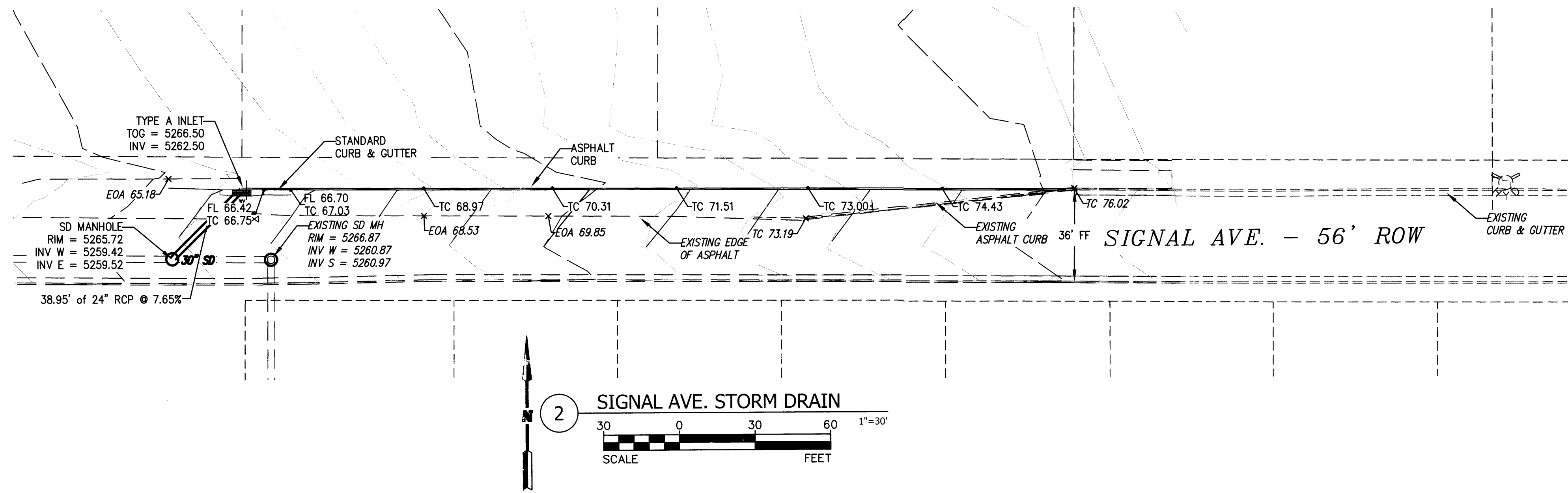
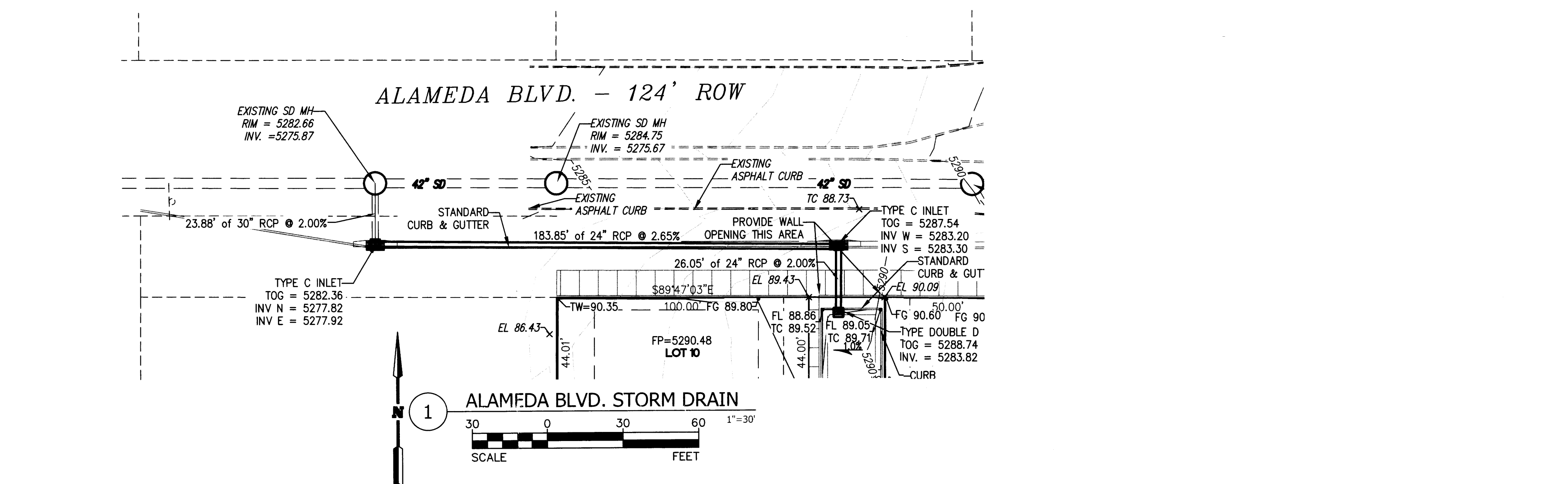
DESIGNED BY REH  
DRAWN BY REH  
CHECKED BY REH

CITY PROJECT No. ZONE MAP No. SHEET 1 OF 2

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	NO.	BY
STATION	DATE	QUADRANT OF BARSTOW STREET AND SIGNAL AVENUE	DATE	NO.	BY	NO.	BY
ACCEPTANCE BY	DATE	IS A CITY OF ALBUQUERQUE 3 1/4" ALUMINUM DISK SET IN TOP OF CURB ON THE N.W. CURB RETURN, STAMPED "7-C19 1995"	DATE	NO.	BY	NO.	BY
VERIFICATION BY	DATE	X=155041.7138 Y=1522088.520 (NAD 83)	DATE	NO.	BY	NO.	BY
DRAWINGS	DATE	ELEV=5465.723 (NAD 1983)	DATE	NO.	BY	NO.	BY
CORRECTIONS	DATE		DATE	NO.	BY	NO.	BY
RECORDED BY	DATE		DATE	NO.	BY	NO.	BY







- LEGEND**
- FLOW ARROW
  - ↘ SLOPE ARROW
  - EL=11.28 PROPOSED ELEVATION
  - x 66.33 EXISTING ELEVATION
  - ~~~~ GRADE BREAK
  - EXISTING CONTOUR
  - - - EXISTING CONTOUR
  - - - PROPOSED EASEMENT
  - - - PROPOSED GRADE
  - - - EXISTING WALL
  - - - PROPOSED WALL

**THE Group**  
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Rio Rancho, New Mexico 87124  
Phone: (505) 514-0995

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

**SEVANO PLACE SUBDIVISION**  
REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA  
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

DESIGNED BY REH  
DRAWN BY REH  
CHECKED BY REH

DATE JUN 2014  
DATE JUN 2014  
DATE JUN 2014

AS BUILT INFORMAT		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR		DATE		FIELD NOTES		REVISIONS	
WORK ORDER NO.		BY		NO.		BY	
DESIGNED BY		DATE		NO.		BY	
ACCEPTANCE BY		DATE		NO.		BY	
DRAWINGS BY		DATE		NO.		BY	
MICRO-FILM INFORMAT		DATE		NO.		BY	
RECORDED BY		DATE		NO.		BY	
NO.		DATE		NO.		BY	

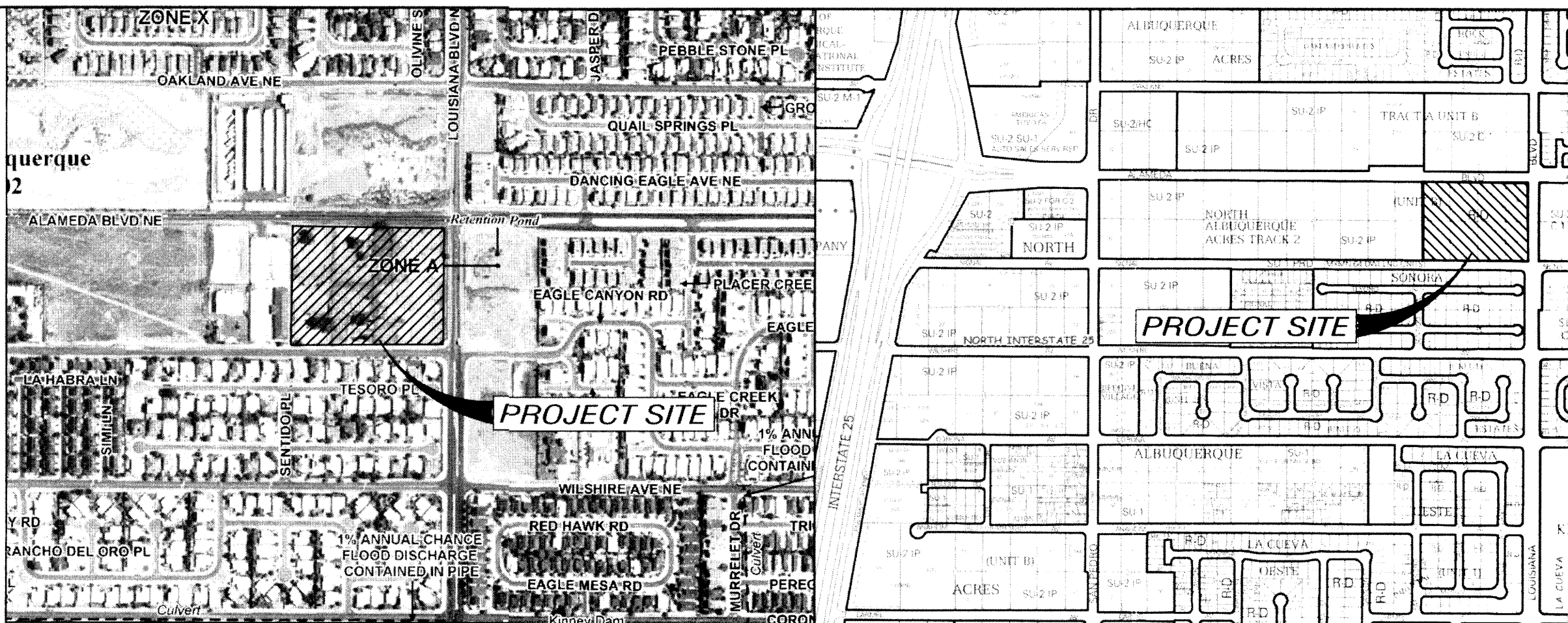
*ACS BM 7.19* THE BENCHMARK IS LOCATED IN THE NORTHWEST QUADRANT OF BARSTOW STREET AND SIGNAL AVENUE. THE STATION IS A CITY OF ALBUQUERQUE 3 1/4" ALUMINUM DISK SET IN TOP OF CURB ON THE NNW CURB RETURN, STAMPED "7-19 1995".  
X=1550417.136 Y=1522068.520 (NAD 83)  
ELEV=5485.723 (NAVD 1988)

RON E. HENSELEY  
NEW MEXICO  
21850  
LICENSED PROFESSIONAL ENGINEER



**EROSION CONTROL NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
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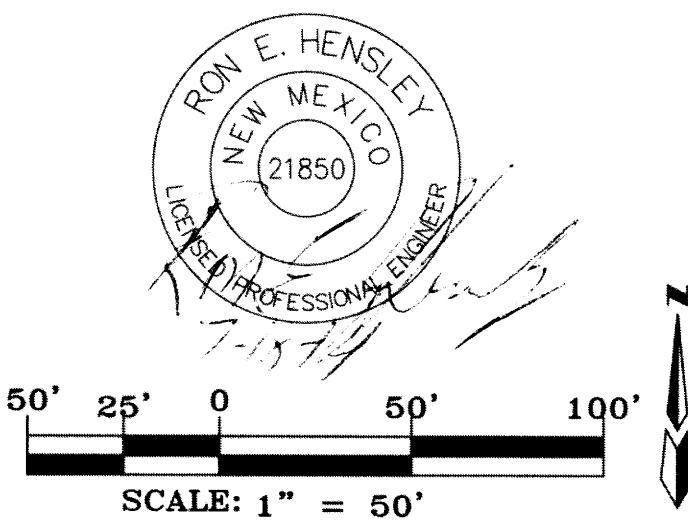
FIRM MAP NO. 35001C0141H

VICINITY MAP C-18-Z

**KEYED NOTES**

**LEGEND**

- FLOW ARROW
- SLOPE ARROW
- EL=11.28 PROPOSED ELEVATION
- 66.33 EXISTING ELEVATION
- GRADE BREAK
- EXISTING CONTOUR
- EXISTING CONTOUR
- PROPOSED EASEMENT
- PROPOSED GRADE
- EXISTING WALL
- PROPOSED RETAINING WALL



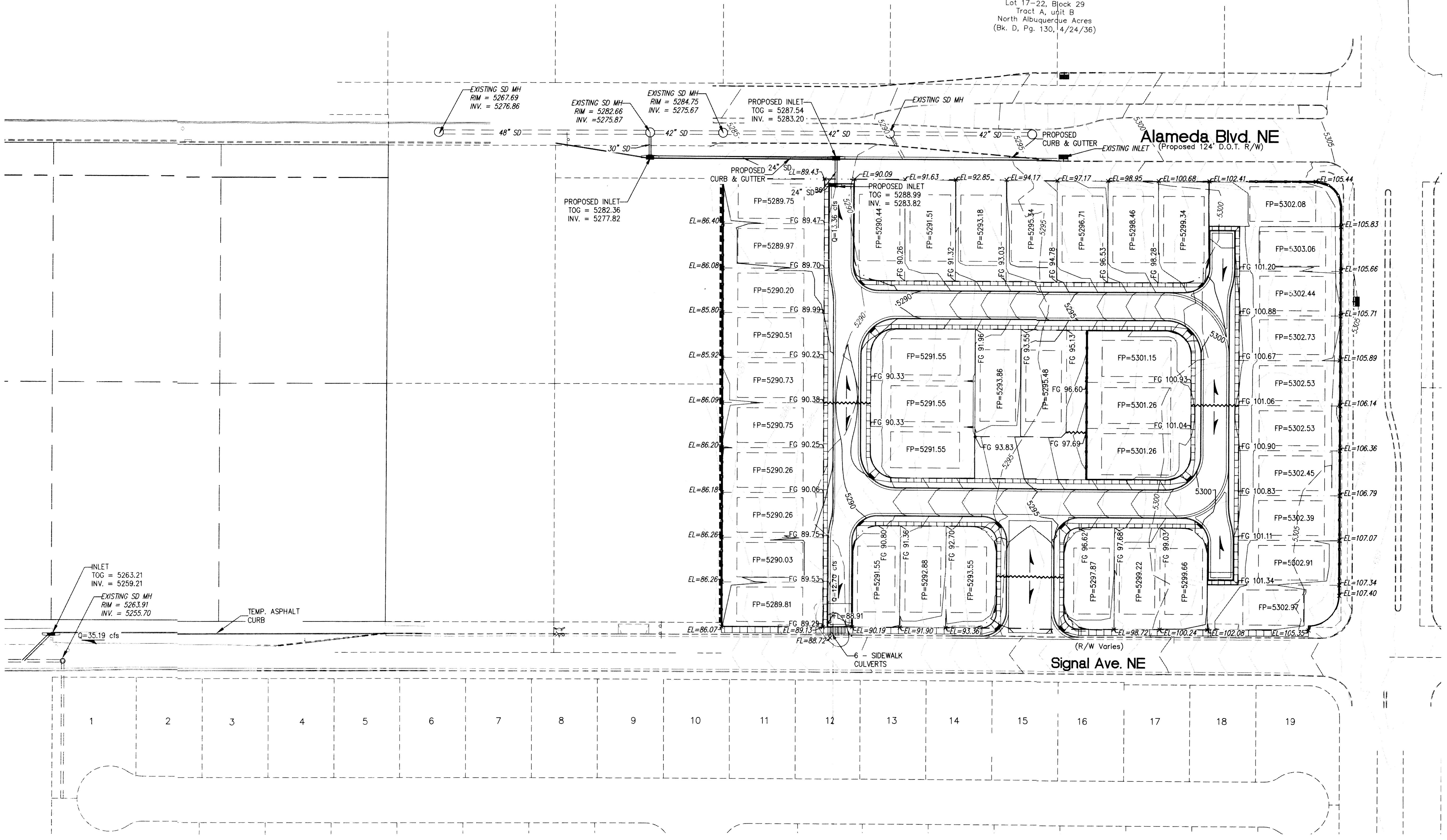
No. Revision/Issue Date

SEVANO PLACE  
SITE DEVELOPMENT PLAN  
FOR SUBDIVISION  
Albuquerque, New Mexico

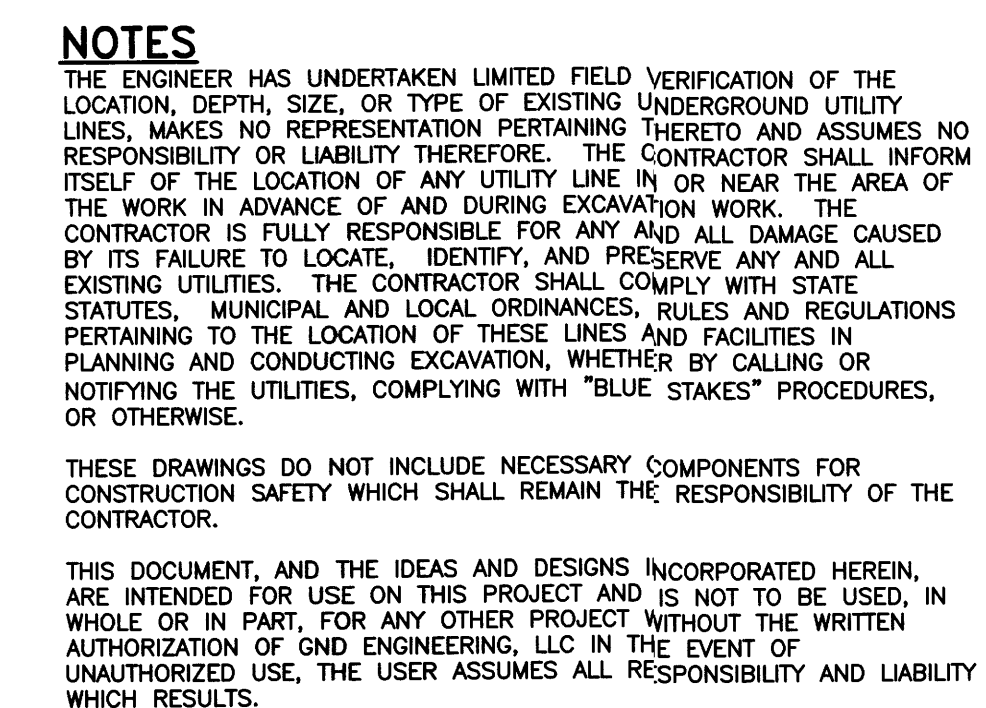


Sheet Title  
**MASTER GRADING AND DRAINAGE PLAN**  
Date  
**MAY 2, 2014**  
Project No.

Sheet Number  
**SP3**







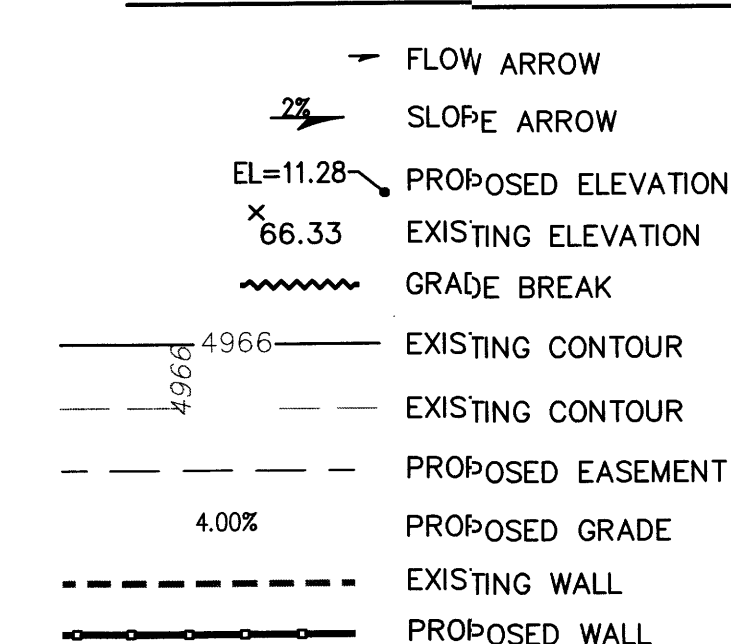
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### LEGEND



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TYPICAL ROOF AREA = 2400 SQ.FT.

$$\text{VOLUME} = 2400 * 0.44/12 = 88 \text{ CU.FT.}$$

**THE Group**  
300 Branding Iron Rd. SE  
Rio Rancho, New Mexico 87124  
Phone:(505)514-0995

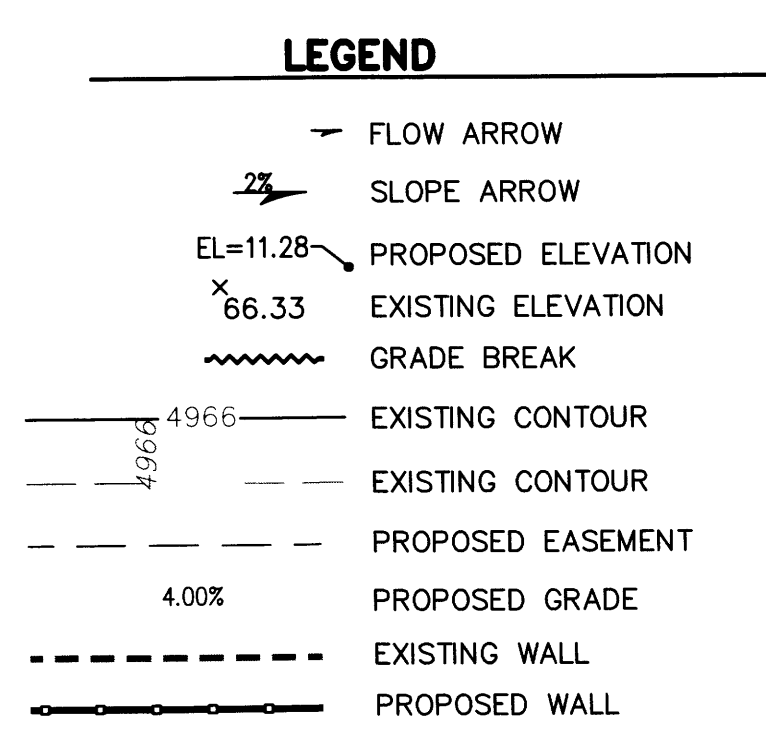
CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP  
SEVANO PLACE SUBDIVISION  
REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA  
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

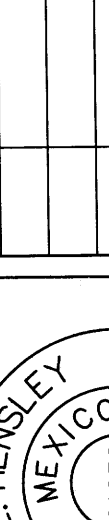
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CITY PROJECT No.	ZONE MAP NO. <b>C-18-7</b>	SHEET <b>1</b> OF <b>2</b>
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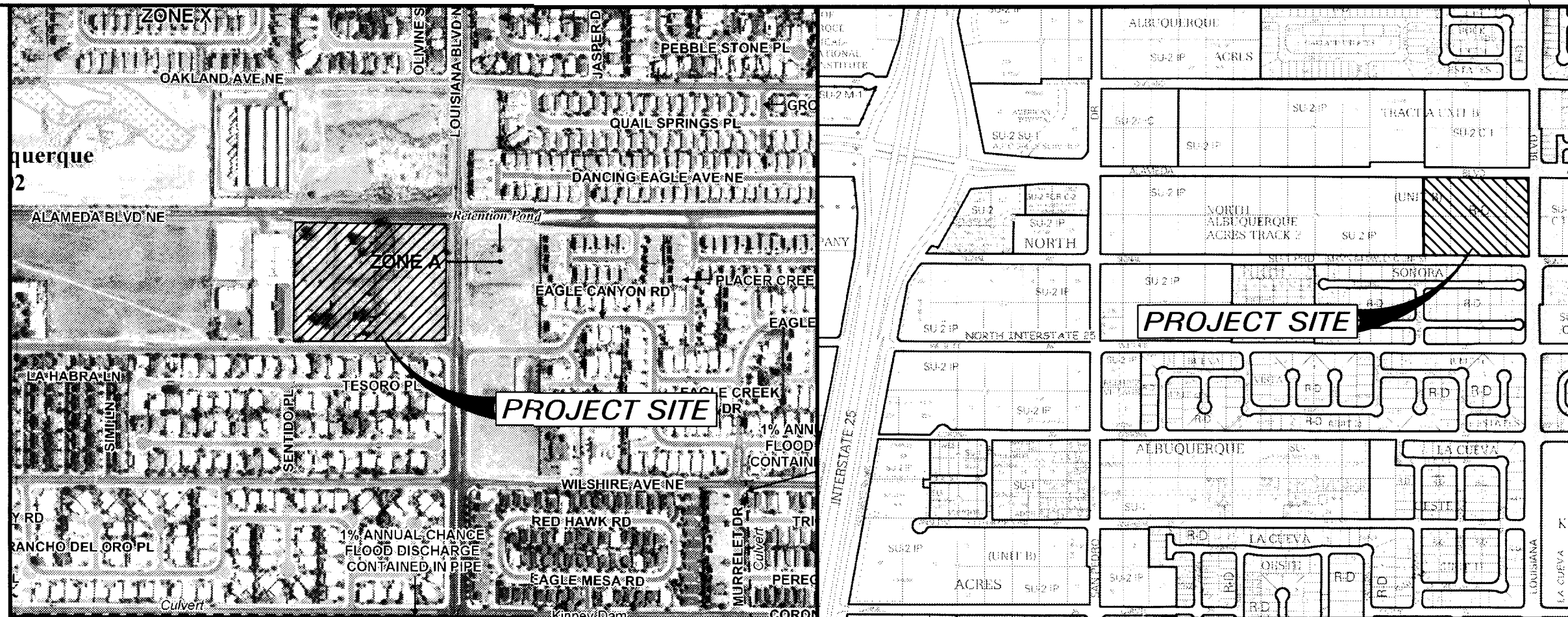
<b>THE Group</b>   300 Branding Iron Rd. SE Rio Rancho, New Mexico 87124   Phone:(505)514-0995						NO.	DATE		DESIGNED BY	DRAWN BY	CHECKED BY
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP											
<b><u>SEVANO PLACE SUBDIVISION</u></b>											
REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA GRADING &amp; DRAINAGE PLAN											
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL				LAST DESIGN UPDATE	Mo./DAY/YR.		Mo./DAY/YR.		
CITY PROJECT No.				ZONE MAP NO.		SHEET		OF			
				C-18-Z		2		2			

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		*ACS BM 7-C19* THE BENCHMARK IS LOCATED IN THE NORTHWEST QUADRANT OF BARSTOW STREET AND SIGNAL AVENUE. THE STATION IS A CITY OF ALBUQUERQUE 3 1/4" ALUMINUM DISK SET IN TOP OF CURB ON THE NNW CURB RETURN, STAMPED "7-C19 1995". X=1550417.138 Y=15207068.520 (NAD 83) ELEV=5445.723 (NAD 1988)		CONTRACTOR	
		NO.	DATE			WORK PERFORMED BY	DATE
						INSPECTED BY	DATE
						ACCEPTED BY	DATE
						VERIFICATION BY	DATE
						CORRECTED BY	DATE
						MICRO—FILM INFORMATION	
						RECORDED BY	DATE
						NO.	



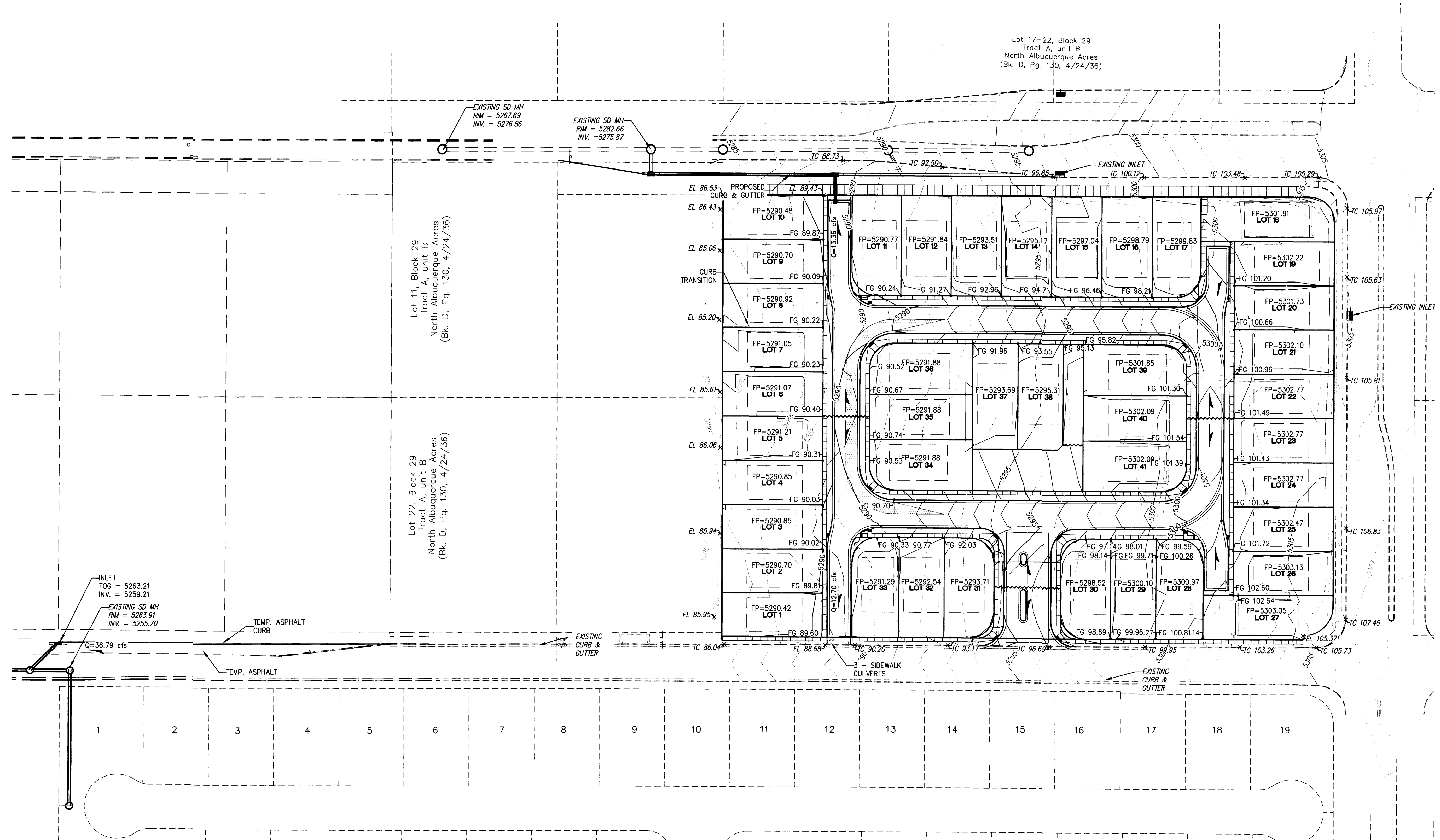
EROSION CONTROL NOTES

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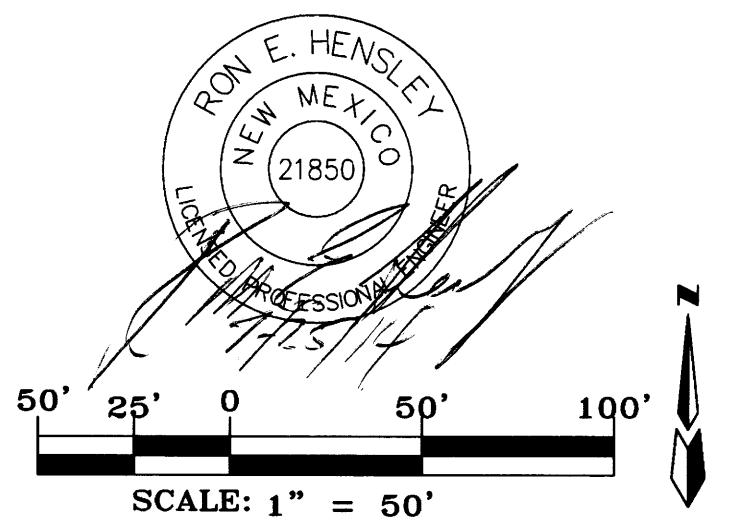
FIRM MAP NO. 35001C0141H

VICINITY MAP C-18-Z



KEYED NOTES

- FLOW ARROW
- SLOPE ARROW
- PROPOSED ELEVATION
- EXISTING ELEVATION
- GRADE BREAK
- EXISTING CONTOUR
- EXISTING CONTOUR
- PROPOSED EASEMENT
- PROPOSED GRADE
- EXISTING WALL
- PROPOSED RETAINING WALL



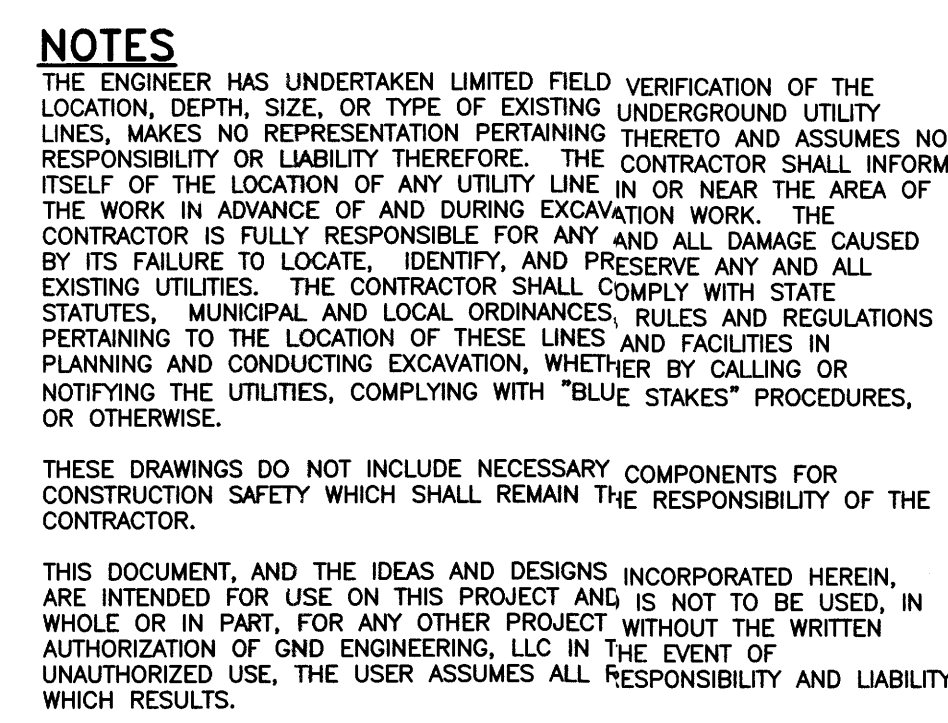
No.	Revision/Issue	Date

SEVANO PLACE  
SITE DEVELOPMENT PLAN  
Albuquerque, New Mexico

**THE group**  
THE HENSLEY ENGINEERING GROUP  
300 BRANDING IRON RD. SE  
RIO RANCHO, NEW MEXICO 87124  
Phone: (505) 514-0995

Sheet Title <b>MASTER GRADING AND DRAINAGE PLAN</b>	Sheet Number <b>SP3</b>
Date <b>MAY 2, 2014</b>	
Project No. 	





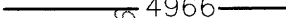
## GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS IS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATED TO 8.
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### LEGEND

	FLOW ARROW
	SLOPE ARROW
EL=11.28	PROPOSED ELEVATION
x 66.33	EXISTING ELEVATION
	GRADE BREAK
 4966	EXISTING CONTOUR
 4966	EXISTING CONTOUR
	PROPOSED EASEMENT
 4.00%	PROPOSED GRADE
	EXISTING WALL
	PROPOSED WALL

RECEIVED  
JUL 30 2014  
LAND DEVELOPMENT SECTION

**THE Group**  
300 Branding Iron Rd. SE  
Rio Rancho, New Mexico 87124  
Phone: (505) 514-0995

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP  
SEVANO PLACE SUBDIVISION  
REPLAT OF LOTS 13-20, BLOCK 2, UNIT B, TRACT A, NAA  
GRADING & DRAINAGE PLAN

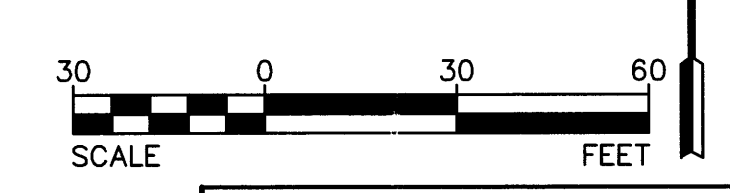
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	Mo./DAY/YR.	Mo./DAY/YR.
CITY PROJECT No.	ZONE MAP NO.	SHEET 1	OF 2	

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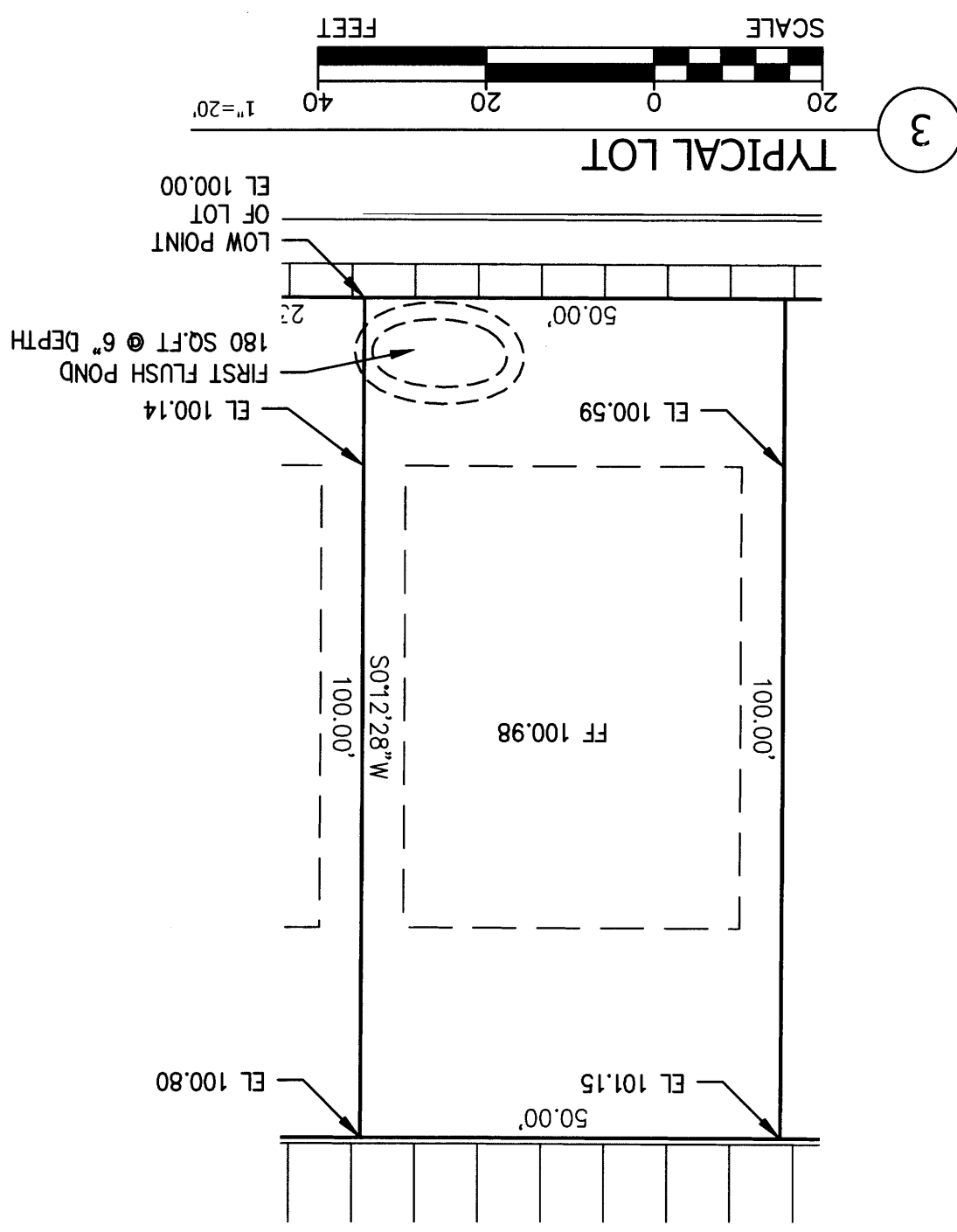
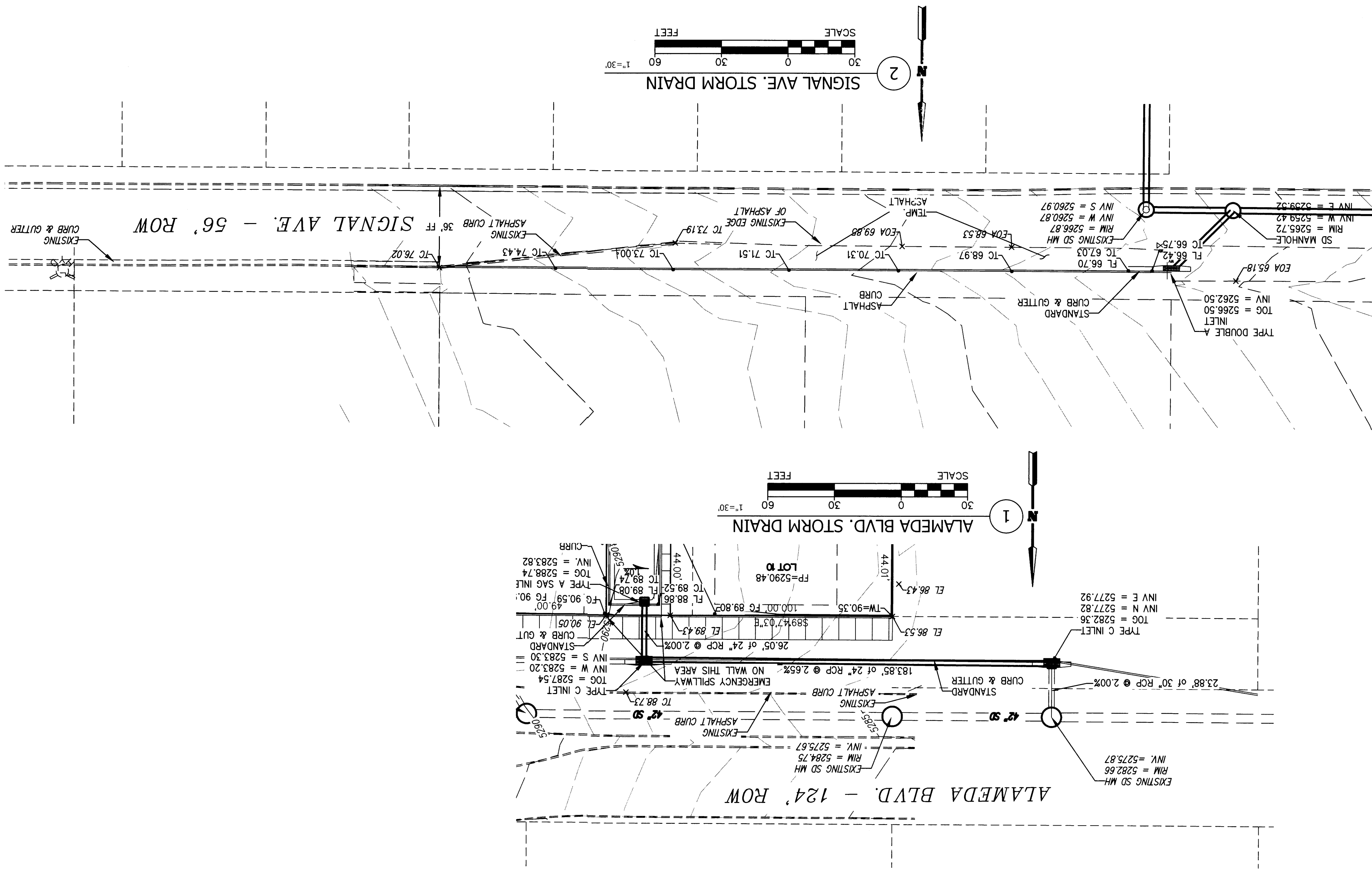
DRB No. 1005191

	CITY PROJECT No
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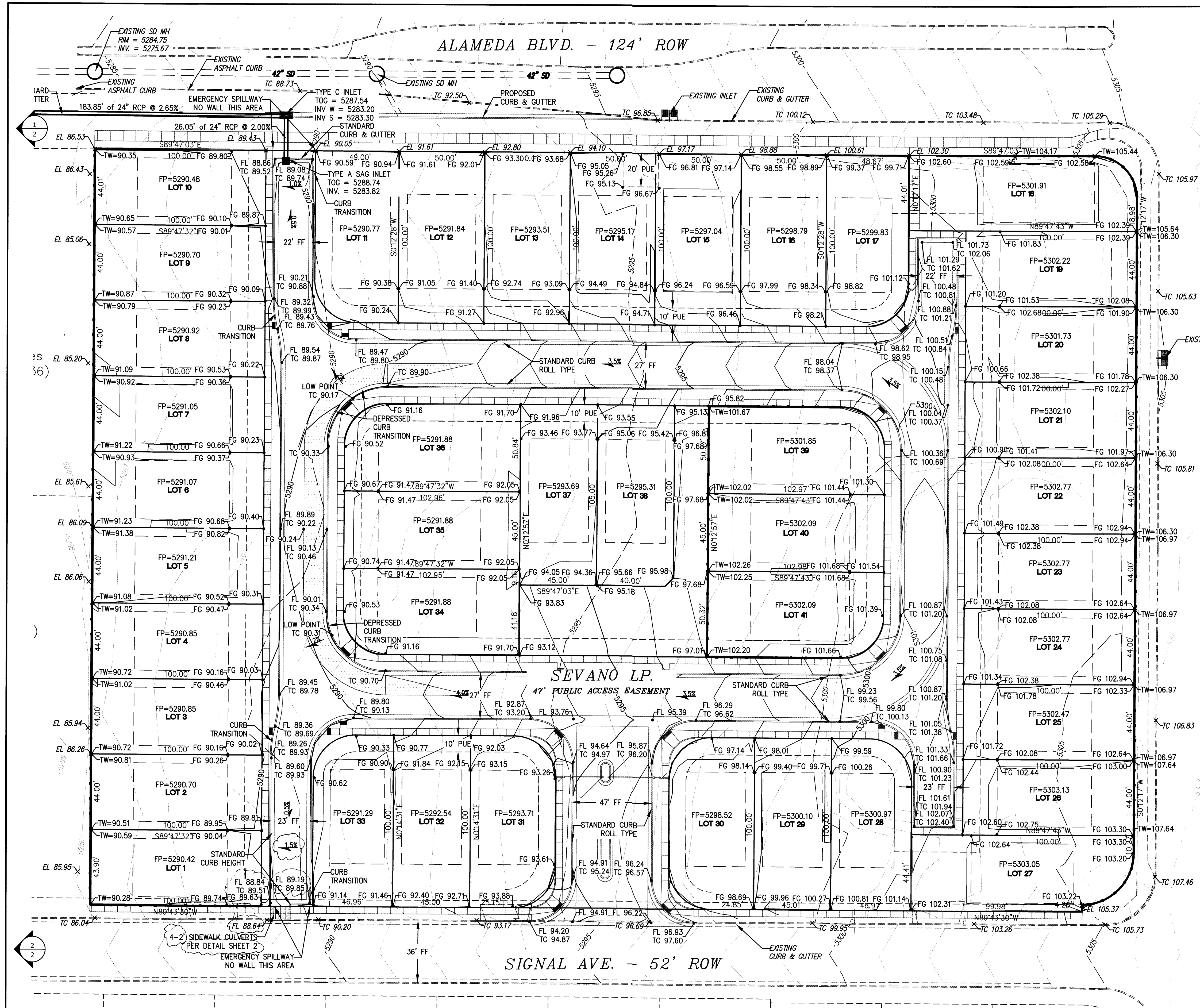
ZONE MAP NO.

SHEET <b>1</b>	OF <b>2</b>



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#### NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY FOR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

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- EL=11.28 PROPOSED ELEVATION
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TYPICAL ROOF AREA = 2400 SQ.FT.

VOLUME = 2400 * 0.44/12 = 88 CU.FT.



DRB No. 1005191

RECEIVED

PROJECT No.

ZONE MAP No.

C-18-Z

SHEET 1 OF 2

LAND DEVELOPMENT SECTION

AS BUILT INFORMATION			
CONTRACTOR	DATE	STATION	DATE
INSPECTOR'S	DATE	STATION	DATE
FIELD ENGINEER	DATE	STATION	DATE
VERIFICATION BY	DATE	STATION	DATE
CORRECTED BY	DATE	STATION	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	NO.	DATE

BENCH MARKS		SURVEY INFORMATION	
"AS BUILT" BENCHMARK IS LOCATED IN THE NORTHWEST QUADRANT OF BARSTOW STREET AND SIGNAL AVENUE. THE STATION IS A CITY OF ALBUQUERQUE 3 1/4" ALUMINUM DISK SET IN TOP OF CURB ON THE NW CORNER, STAMPED "7-C19 1995".		NO.	DATE
X=1550471.38 Y=1522068.520 (NAD 83) ELEV=5485.723 (NAD 1983)		BY	DATE

ENGINEER'S SEAL		REVISIONS	
E. HENNEY N.M. 21850 10/6/14		NO.	DATE
		BY	DATE
		REH	JUN 2014
		REH	JUN 2014
		REH	JUN 2014

#### THE Group

300 Branding Iron Rd. SE

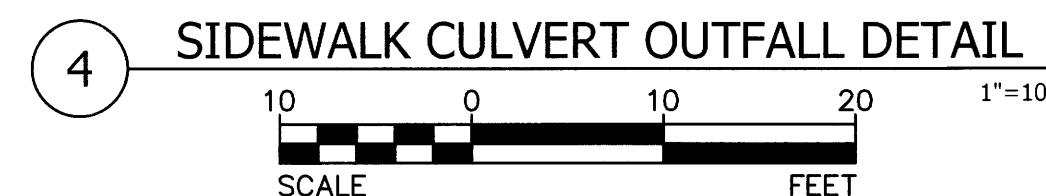
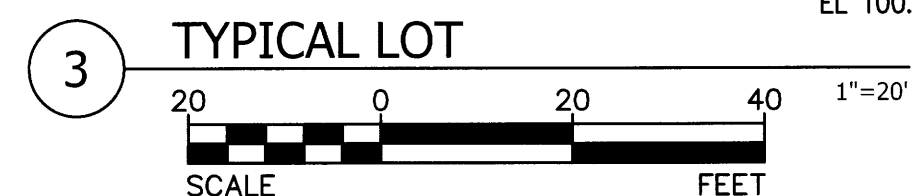
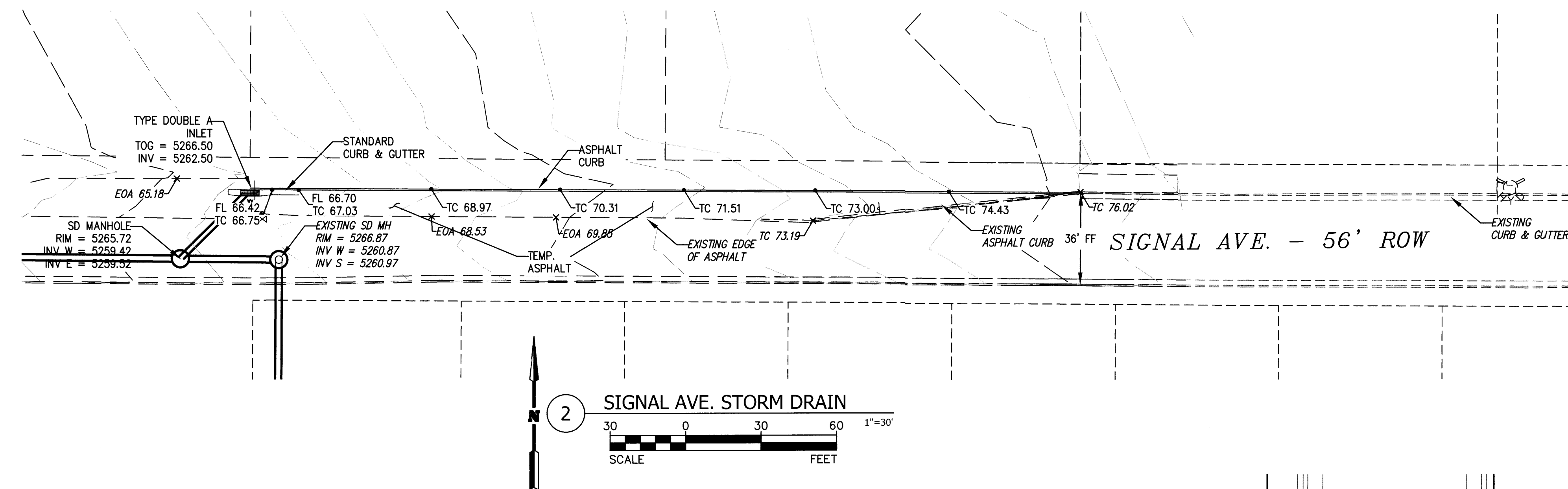
Rio Rancho, New Mexico 87124

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DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.





THE Group   300 Branding Iron Rd. SE   Rio Rancho, New Mexico 87124   Phone:(505)514-0995						NO. DATE		DESIGNED BY F			
								DRAWN BY F			
								CHECKED BY			
CITY OF ALBUQUERQUE											
PUBLIC WORKS DEPARTMENT											
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CITY PROJECT No.				ZONE MAP NO.				SHEET		OF	
				C-18-Z				2		2	

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