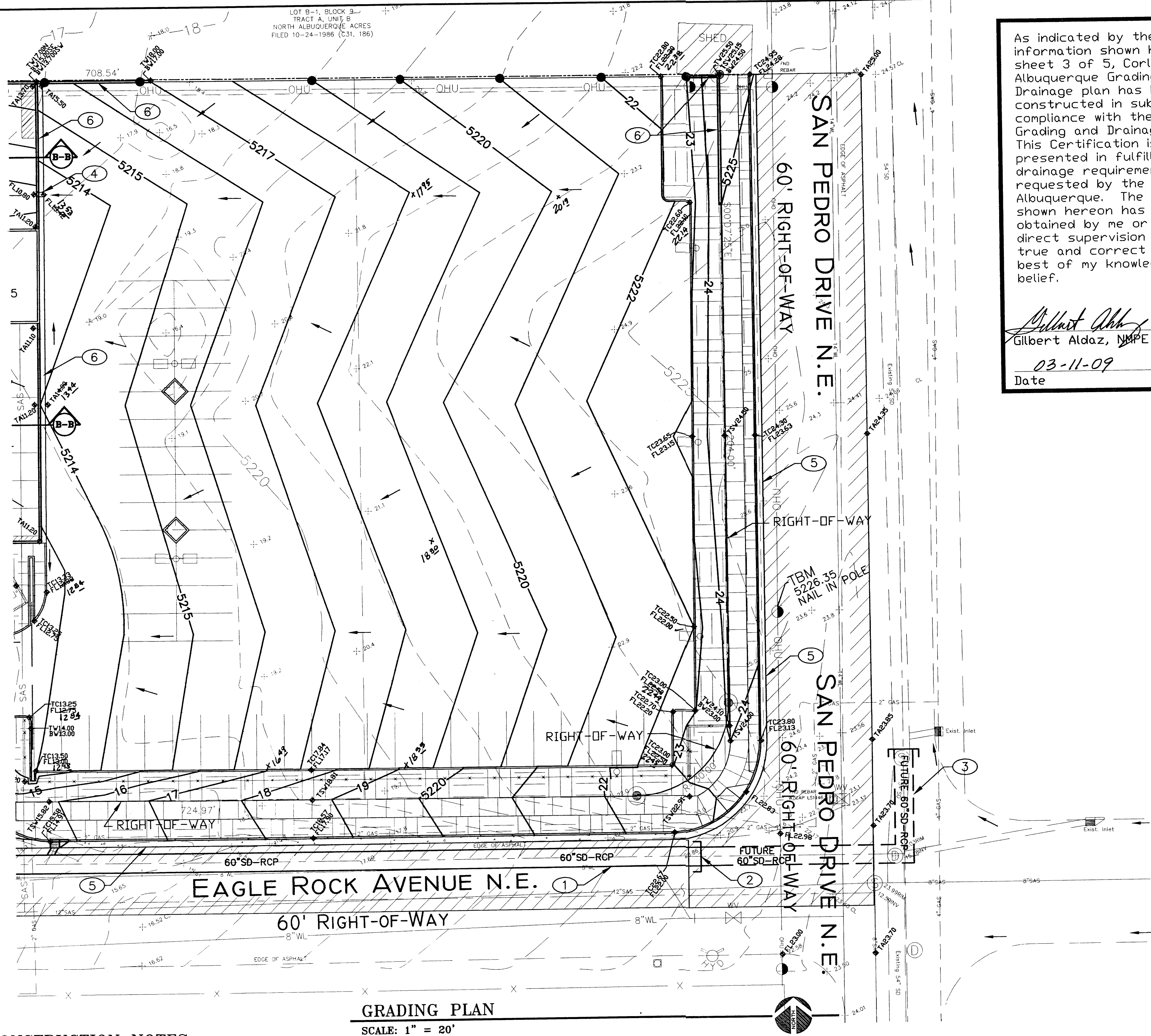




GRADING PLAN
SCALE: 1" = 20'

CONSTRUCTION NOTES:

1. INSTALL APPROXIMATELY 270LF OF 60"RCP WITH THIS PROJECT.
2. CAP 60" STORMDRAIN
3. FUTURE STORMDRAIN.
4. INSTALL 1.67' WIDE BY 8" DEEP OPENING IN RETAINING WALL.
5. INSTALL CITY STANDARD CURB AND GUTTER PER CITY STANDARD DRAWING 2415A. (NOT CONSTRUCTED PER THIS CERTIFICATION, FINANCIALLY GUARANTEED)
6. INSTALL RETAINING WALL, HEIGHT VARIES, SEE SHEET 4 OF 5 FOR DETAILS.

NOTE: ALL WORK IN THE RIGHT OF WAY IS TO BE BUILT UNDER A SEPARATE WORK ORDER.

As indicated by the as-built information shown hereon and sheet 3 of 5, Corley's Albuquerque Grading and Drainage plan has been constructed in substantial compliance with the approved Grading and Drainage Plan. This Certification is presented in fulfillment of drainage requirements requested by the City of Albuquerque. The information shown hereon has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief.

Gilbert Aldaz
Gilbert Aldaz, NMPE 10848
03-11-09
Date

- EROSION CONTROL NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 5. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

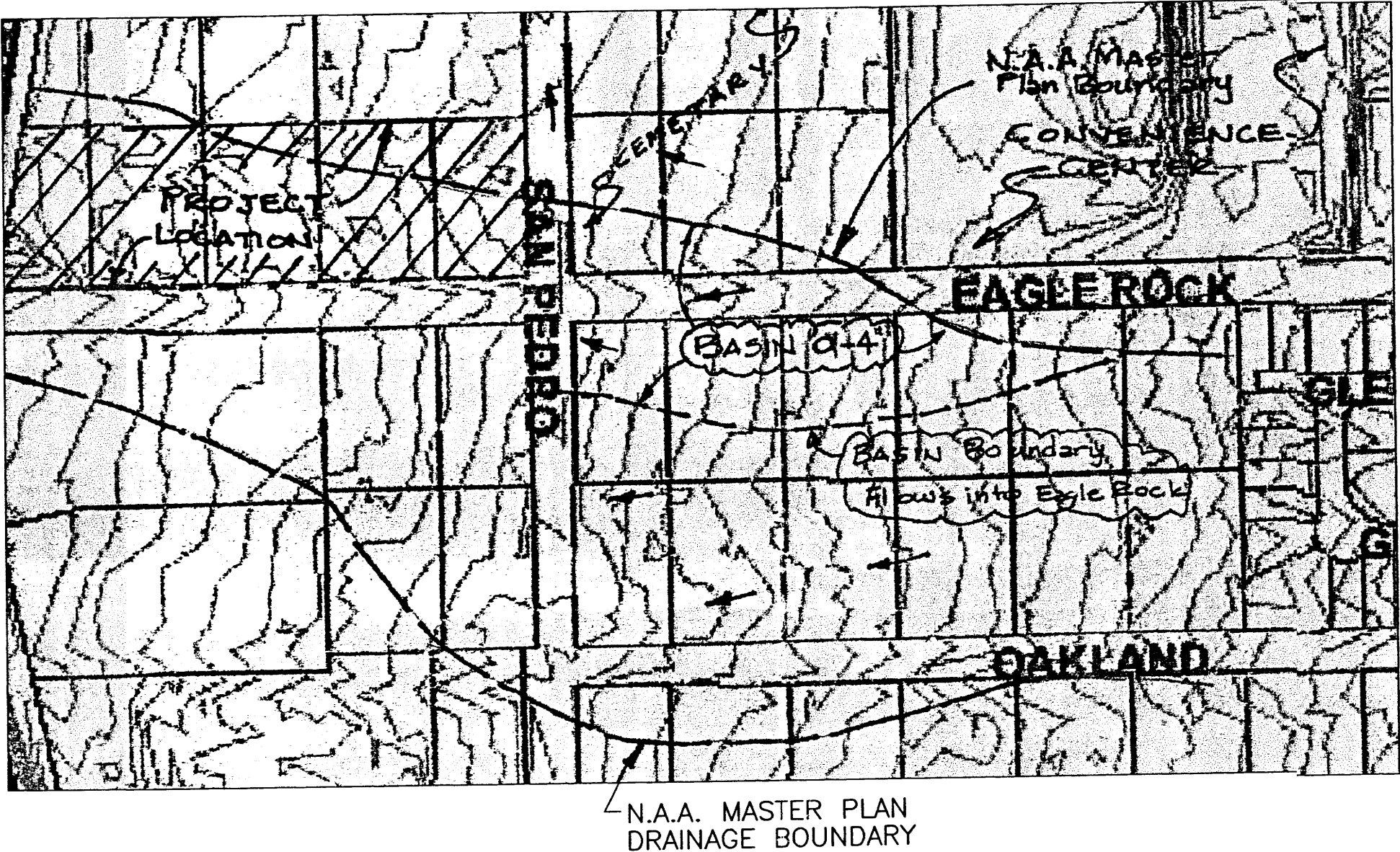
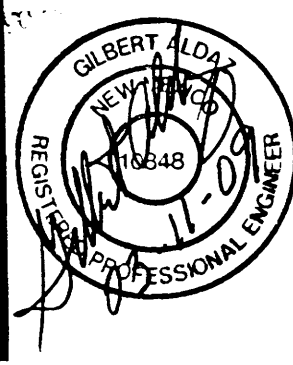
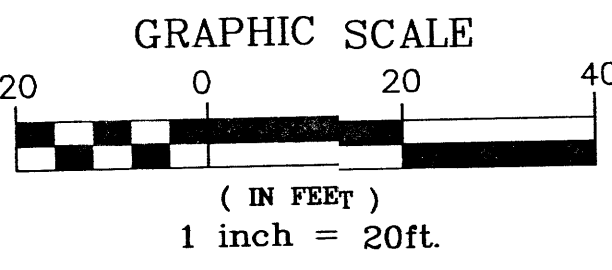


EXHIBIT "A" - BASIN 0-4
SCALE: 1"=200' - MAP BOUNDARY FOR FLOWS EAST OF SAN PEDRO BLVD ON EAGLE ROCK AVE.

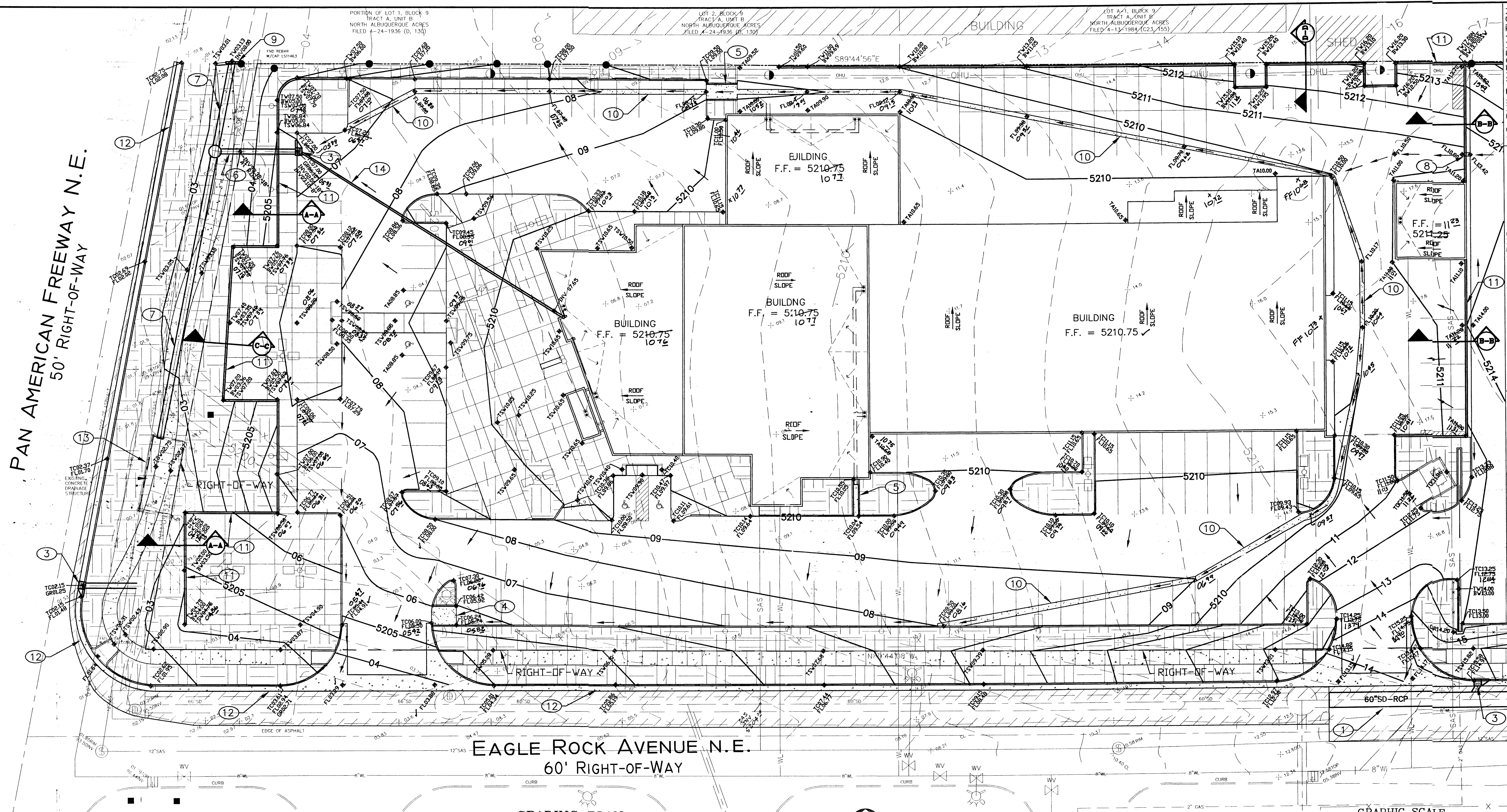
UTILITY PRECAUTIONS
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



LEGEND	
NEW CONTOUR GRADE	NEW GRADE BREAK
EXISTING CONTOUR GRADE	EXISTING GRADE ELEVATION
DRAINAGE FLOW DIRECTION	AS-BUILT
62+5 AS-BUILT	552 AS-BUILT
TOC22-50 NEW TOP OF CURB ELEVATION	GR50-0 AS-BUILT
62+31 AS-BUILT	FL55-3 AS-BUILT
FL52-00 NEW FLOWLINE OF CURB ELEVATION	FL55-3 AS-BUILT
TA60-11 AS-BUILT	TW95.1 NEW TOP OF WALL ELEVATION
TSW61.87 NEW TOP OF SIDEWALK ELEVATION	BW93.1 NEW BOTTOM OF WALL ELEVATION
DRAINAGE SWALE	TOC93.1 NEW TOP OF CONCRETE ELEVATION

APPLIED ENGINEERING AND SURVEYING, INC. ENGINEERS AND PLANNERS 1000 West 10th St. N. Suite 100 Albuquerque, NM 87102 Office: (505) 237-1400	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: GRADING PLAN - EAST HALF CORLEY'S ALBUQUERQUE	
Design Review Committee	City Engineer Approval
City Project No. TBD	Zone Map No. C-18
Sheet 2	Of 5

AS-BUILT INFORMATION		BENCH MARKS FOR THIS SURVEY		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS	
CONTRACTOR	DATE	THE BASIS OF THE SURVEY IS AGS BENCHMARK TO GIG. THE PUBLISHED ELEVATION OF WHICH IS 5222.05.	DATE	FIELD NOTES	NO.	BY	DATE	REVISIONS	DATE
WORK	DATE	5222.05	DATE	NO.	BY	DATE	DATE	DESIGNED BY	DATE
ACCEPTANCE BY	DATE	THE EAST RIGHT-OF-WAY OF SAN PEDRO BLVD. NE. 48' SOUTH OF THE CENTERLINE OF MODESTO AVENUE NE AT ITS INTERSECTION WITH SAN PEDRO BLVD.	DATE	NO.	BY	DATE	DATE	DRAWN BY	DATE
FIELD ACCEPTANCE BY	DATE		DATE	NO.	BY	DATE	DATE	CHECKED BY	DATE
FIELD CORRECTION BY	DATE		DATE	NO.	BY	DATE	DATE		
RECORDED BY	DATE		DATE	NO.	BY	DATE	DATE		



CONSTRUCTION NOTES:

- ① INSTALL APPROXIMATELY 270LF OF 60"RCP WITH THIS PROJECT.
- ② INSTALL 8" ROOF DRAIN PIPE AT 4% SLOPE, CONNECT FROM INLET INTO DOWNSPOUT ROOF LEADER, SEE MECHANICAL DRAWINGS FOR LOCATION OF TIE IN.
- ③ INSTALL STORM INLETS TYPE "A" PER CITY STANDARD DRAWING 2201.
- ④ INSTALL 7.5' WIDE BY 6" DEEP CONCRETE CHANNEL PER CITY STANDARD DRAWING 2260.
- ⑤ INSTALL 6.0' WIDE BY 6" DEEP CONCRETE CHANNEL PER CITY STANDARD DRAWING 2260.
- ⑥ INSTALL 30LF OF 18"RCP AT SLOPE = -16%.
- ⑦ INSTALL 154LF OF 30"RCP
- ⑧ INSTALL 1.67' WIDE BY 8" DEEP OPENING IN RETAINING WALL.

GRADING PLAN

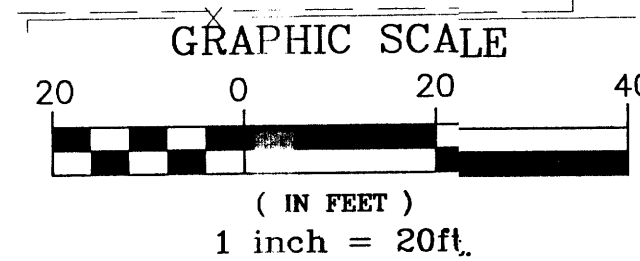
SCALE: 1" = 20'

- (9) INSTALL HEADWALL PER NMSHTD STANDARD DRAWING __
- (10) INSTALL 2' WIDE ALLEY GUTTER PER CITY STANDARD DRAWING 2415A.
- (11) INSTALL RETAINING WALL, HEIGHT VARIES, SEE SHEET 4 OF 5 FOR DETAILS.
- (12) INSTALL CITY STANDARD CURB AND GUTTER PER CITY STANDARD DRAWING 2415A.
- (13) INSTALL COVER ON EXISTING DRAINAGE STRUCTURE, SEE STRUCTURAL DRAWINGS FOR DETAILS.
- (14) INSTALL 8" STORM DRAIN AT 3.9% SLOPE 3' OF COVER. STORM DRAIN FROM 5' OF BUILDING EDGE AND CONNECT INTO EXISTING INLET.

NOTE: ALL WORK IN THE RIGHT OF WAY IS TO BE
BUILT UNDER A SEPARATE WORK ORDER.

UTILITY PRECAUTIONS

THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF ANY DURING THE WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. BEFORE PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



LEGEND

 5362	NEW CONTOUR GRADE	 5364	NEW GRADE BREAK
 5362	EXISTING CONTOUR GRADE	 5364	EXISTING GRADE ELEVATION
	DRAINAGE FLOW DIRECTION	 GR56.0	NEW GRADE ELEVATION
 TC62.50	NEW TOP OF CURB ELEVATION	 FL55.3	FLOWLINE GRADE ELEVATION
 FL62.00	NEW FLOWLINE OF CURB ELEVATION	 TW95.1	NEW TOP OF WALL ELEVATION
 TA60.11	NEW TOP OF ASPHALT ELEVATION	 BW93.1	NEW BOTTOM OF WALL ELEVATION
 TSW61.87	NEW TOP OF SIDEWALK ELEVATION	 TOC93.1	NEW TOP OF CONCRETE ELEVATION
 TW61.87	DRAINAGE SWALE		

**APPLIED ENGINEERING AND
SURVEYING, INC.
ENGINEERS AND PLANNERS**

1805 Bell Drive NE
Office: (505) 237-1458

Albuquerque, New Mexico 87112
Farmville: (505) 232-1459

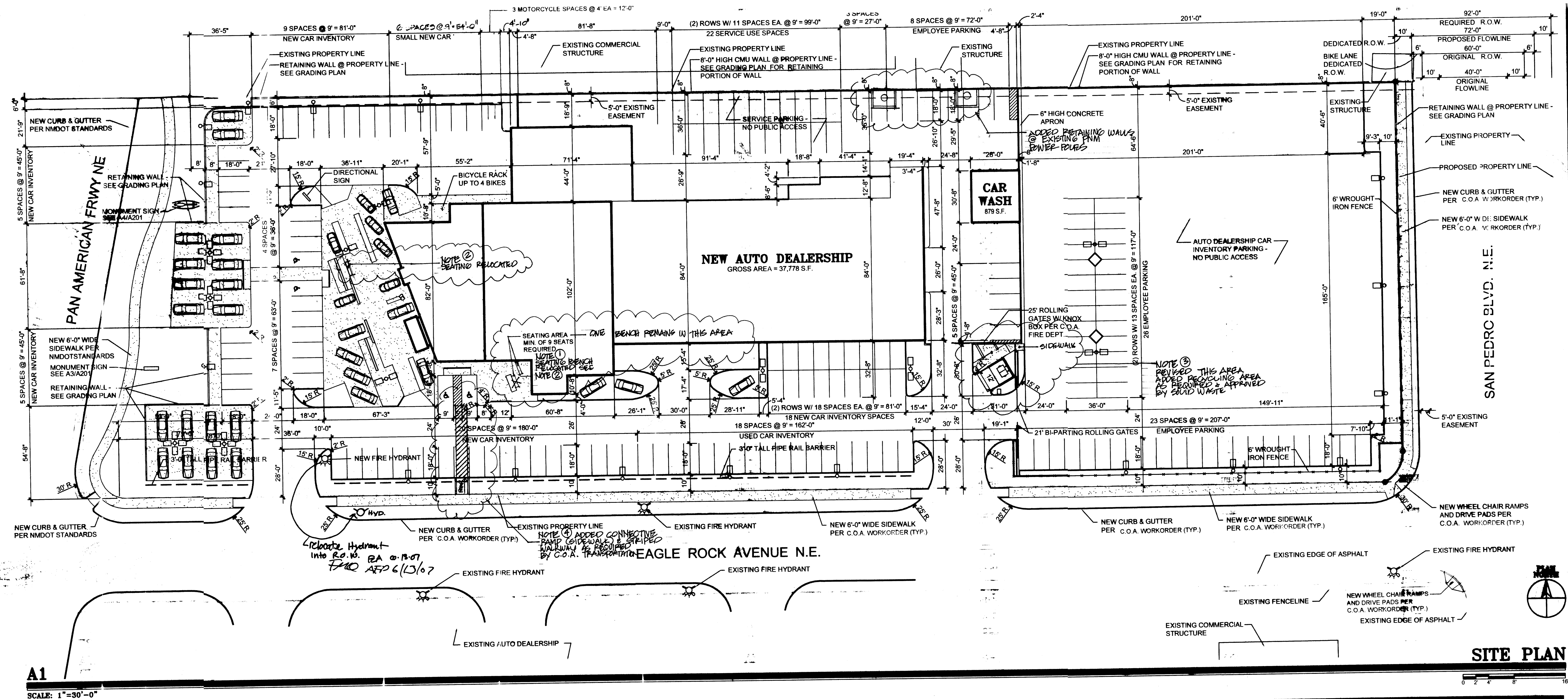
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: GRADING PLAN - WEST HALF
CORLEY'S ALBUQUERQUE

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.		Mo./Day/Yr.		
City Project No.	TBD	Zone Map No.	C-18	Sheet	3	Of	5

THE BASIS OF ELEVATIONS FOR THIS		CONTRACTOR	DATE
SURVEY IS ACS BENCHMARK 10-C18, THE		WORK	DATE
PUBLISHED ELEVATION OF WHICH IS		STARTED BY	DATE
5222.09. BENCHMARK IS LOCATED ON		ACCEPTANCE BY	DATE
THE EAST RIGHT-OF-WAY OF SAN PEDRO		FIELD	DATE
BLVD. NE, 48° SOUTH OF THE ENTERLINE		VERIFICATION BY	DATE
OF MODESTO AVENUE NE AT ITS		CORRECTED BY	DATE
INTERSECTION WITH SAN PEDRO BLVD.		RECORDED BY	DATE
		NO.	

[illegible]



CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instrument of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

PROFESSIONAL SEAL



SITE PLAN

A1

PROJECT INFORMATION

PROJECT: CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP

LOCATION: PAN AMERICAN FRWY NE ALBUQUERQUE, NEW MEXICO

OWNER: JR. & SR. LLC 7400 MERIDIAN PLACE N.W., SUITE D ALBUQUERQUE, NEW MEXICO 87121

ARCHITECT: CLAUDIO VIGIL ARCHITECTS 1801 RIO GRANDE BOULEVARD, N.W. ALBUQUERQUE, NEW MEXICO 87104

LEGAL DESCRIPTION: LOTS 17-21, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES C18

ZONING ATLAS MAP: SU2 FOR IP USES

ZONING CLASSIFICATION: SU2 FOR IP USES

APPLICABLE BUILDING CODE: 2003 INTERNATIONAL BUILDING CODE

BUILDING FUNCTION: NEW AUTOMOBILE DEALERSHIP FOR NEW AND USED CAR SALES, AUTOMOBILE REPAIR, & PARTS SALES

CONSTRUCTION TYPE: TYPE II-B CONSTRUCTION WITH 100% AUTOMATIC FIRE SPRINKLER SYSTEM

OCCUPANCY TYPE: B (OFFICES/SHOWROOM), S-1 (SERVICE), S-2 (PARTS)

NUMBER OF FLOORS: OFFICE, SHOWROOM, TWO SERVICE, ONE CAR WASH, ONE

BUILDING HEIGHT: 55'-0" A.F.F.

GROSS SQUARE FOOTAGE: OFFICE, SHOWROOM, AND SERVICE = 37,778 SF CAR WASH = 879 SF

NET USEABLE SQUARE FOOTAGE: OFFICE, SHOWROOM, CAFE = 10,851 S.F. PARTS = 3,265 S.F. SERVICE = 19,166 S.F. CAR WASH = 780 S.F.

OCCUPANCY LOAD: OFFICE = 3,875 S.F. / 100 = 39 OCCUPANTS SHOWROOM = 5,985 S.F. / 100 = 59 OCCUPANTS CAFE KITCHEN = 180 S.F. / 200 = 1 OCCUPANT CAFE SEATING = 656 S.F. / 15 = 44 OCCUPANTS PARTS = 3,265 S.F. / 500 = 7 OCCUPANTS SERVICE BAYS = 23 BAYS = 23 OCCUPANTS TOTAL OCCUPANT LOAD = 173 OCCUPANTS

EXIT WIDTH REQUIRED: OFFICE, SHOWROOM, CAFE = 22 INCHES PARTS = 1 INCHES SERVICE BAYS = 4 INCHES

EXIT WIDTH PROVIDED: OFFICE, SHOWROOM, CAFE = 384 INCHES PARTS = 36 INCHES SERVICE BAYS = 44 INCHES

NUMBER OF EXITS PROVIDED: OFFICE, SHOWROOM, CAFE = SIX PARTS = ONE SERVICE BAYS = FOUR

ALLOWABLE AREA: ALLOWABLE AREA: (PER UBC TABLE 503) INCLUDES AREA INCREASES FOR AUTOMATIC SPRINKLER SYSTEMS

ALLOWABLE AREA PER FLOOR: $A_a = A_1 + \left[\frac{A_1 \cdot L_s}{100} \right] : L_s = 200 \text{ FOR 2-STORY, 300 FOR SINGLE STORY PER SEC. 506.3}$

OFFICES & SHOWROOM = TYPE II-B CONSTRUCTION & B OCCUPANCY: $A_a = A_1 + \left[\frac{A_1 \cdot L_s}{100} \right] = 23,000 + \left[\frac{23,000 \times 200}{100} \right] = 69,000 \text{ S.F.}$ $A_a = 46,000 \times 2 (\text{SEC 506.4 FOR 2-STORY BLDGS}) = 138,000 \text{ S.F.} > 14,628 \text{ S.F. PROVIDED}$

SERVICE AREA = TYPE II-B CONSTRUCTION & S-1 OCCUPANCY: $A_a = A_1 + \left[\frac{A_1 \cdot L_s}{100} \right] = 17,500 + \left[\frac{17,500 \times 300}{100} \right] = 52,500 \text{ S.F.} > 19,569 \text{ S.F. PROVIDED}$

PARTS = TYPE II-B CONSTRUCTION & S-2 OCCUPANCY: $A_a = A_1 + \left[\frac{A_1 \cdot L_s}{100} \right] = 26,000 + \left[\frac{26,000 \times 200}{100} \right] = 78,000 \text{ S.F.} > 3,581 \text{ S.F. PROVIDED}$ $A_a = 78,000 \times 2 (\text{SEC 506.4 FOR 2-STORY BLDGS}) = 156,000 \text{ S.F.} > 3,581 \text{ S.F. PROVIDED}$

TOTAL ALLOWABLE AREA: 346,500 S.F.

TOTAL BUILDING AREA: 37,778 S.F.

CAR WASH = TYPE II-B CONSTRUCTION & B OCCUPANCY: $A_a = 23,000 \text{ S.F.} > 879 \text{ S.F. PROVIDED}$

PLUMBING FIXTURE REQUIREMENTS: REQUIRED PER TABLE 2002.1

B OCCUPANCY = 143 OCCUPANTS 50/25 + 93/50 = 4 TOTAL REQUIRED TOILETS 50/40 + 93/80 = 2 REQUIRED LAVS 2 WATER CLOSETS (MALE) REQUIRED 2 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORIES EACH GENDER REQUIRED

S-1 OCCUPANCY = 23 OCCUPANTS 23/100 = 1 TOTAL REQUIRED TOILET 23/100 = 1 TOTAL REQUIRED LAVS 1 WATER CLOSETS (MALE) REQUIRED 1 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORY EACH GENDER REQUIRED

S-2 OCCUPANCY = 7 OCCUPANTS 7/400 = 1 TOTAL REQUIRED TOILET 7/400 = 1 TOTAL REQUIRED LAVS 1 WATER CLOSETS (MALE) REQUIRED 1 WATER CLOSETS (FEMALE) REQUIRED 1 LAVATORY EACH GENDER REQUIRED

PLUMBING FIXTURE REQ. (CONT.): TOTAL FIXTURES REQUIRED

4 WATER CLOSETS (MALE) REQUIRED
4 WATER CLOSETS (FEMALE) REQUIRED
4 LAVATORIES EACH GENDER REQUIRED

PARKING ANALYSIS: OFFICE, SHOWROOM, CAFE = 10,851/200 = 53 SPACES PARTS = 3,265/200 = 1 SPACE SERVICE = 23 BAYS = 23 SPACES TOTAL PARKING SPACES REQUIRED = 77 PARKING SPACES (INCLUDES 180 BICYCLE SPACES) = 226 PARKING SPACES REGULAR PARKING SPACES = 4 HANDICAP PARKING SPACES = 4 REG. NEW CAR INVENTORY SPACES = 73 SM. NEW CAR INVENTORY SPACES = 24 REG. USED CAR INVENTORY SPACES = 18 SERVICE USE SPACES = 26 TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES

BICYCLE SPACES: REQUIRED PARKING - 77/20 = 4 BICYCLES (4 SPACES) TOTAL BICYCLE SPACES PROVIDED = 4 BICYCLE SPACES

TOTAL LOT AREA: 169,934 S.F., 3.90 ACRES

NET LOT AREA: 169,934 - 32,094 = 137,840

TOTAL PARKING/PAVED AREA: 103,555 S.F.

TOTAL LANDSCAPE AREA REQUIRED: 20,676 S.F.

TOTAL LANDSCAPE AREA PROVIDED: 28,819 S.F.

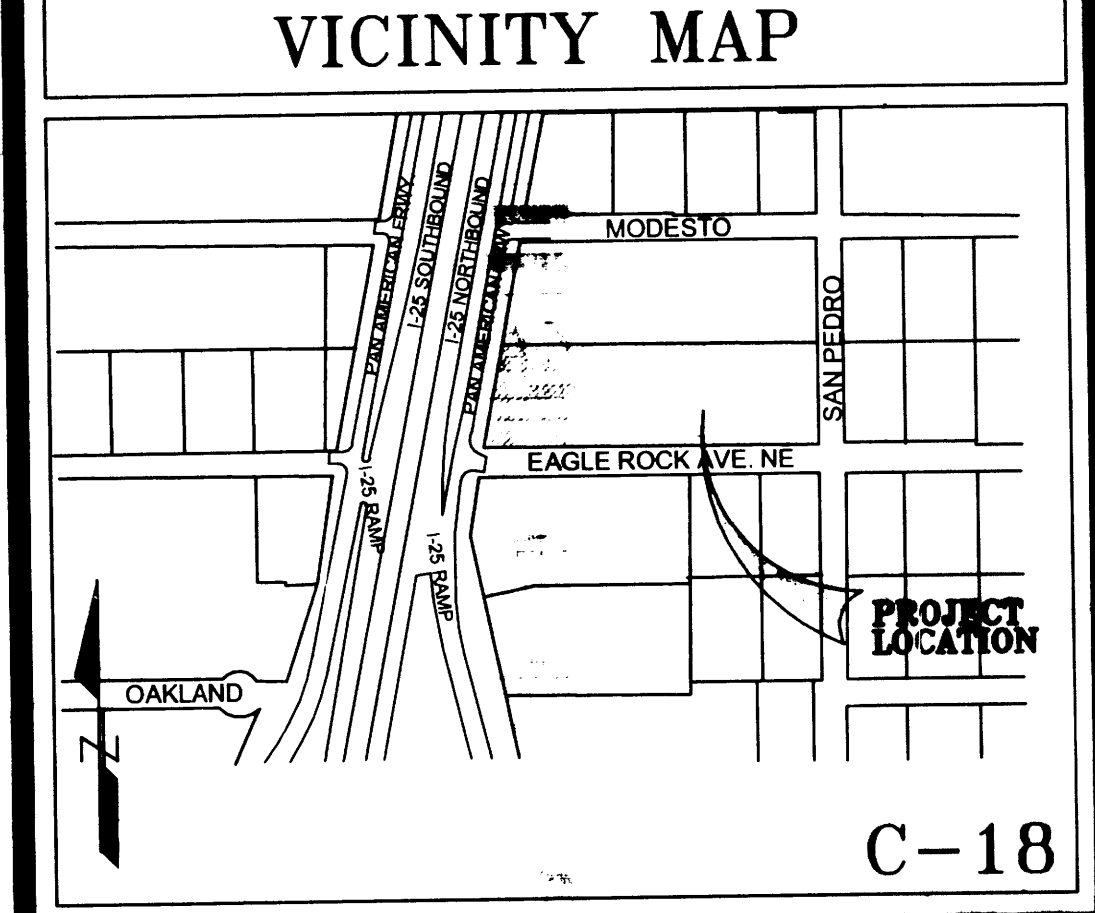
SIGNATURE BLOCK

PROJECT NUMBER: 1006505
APPLICATION CASE NUMBER: 01DR8-70021

IS AN INFRASTRUCTURE LIST REQUIRED? (YES (X) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRE SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

ENGINEERING/TRANSPORTATION DIVISION 6-20-07 DATE
WATER UTILITY DEVELOPMENT 6-20-07 DATE
PARKS & RECREATION DEPARTMENT 10/20/07 DATE
CITY ENGINEER 6-20-07 DATE
CITY ENGINEER 5/25/07 DATE
CITY ENGINEER 7/6/07 DATE



SITE PLAN LEGEND

INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA

INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING, MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.

INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS.

PROPERTY LINE
EASEMENT BOUNDARIES
FIRE HYDRANTS
6" HIGH WROUGHT IRON FENCE
POLE MOUNTED LIGHT FIXTURE
20" MAX. O TOP OF FIXTURE

CORLEY'S ALBUQUERQUE NEW LINCOLN MERCURY VOLVO DEALERSHIP
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

SHEET TITLE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NUMBER
C-101