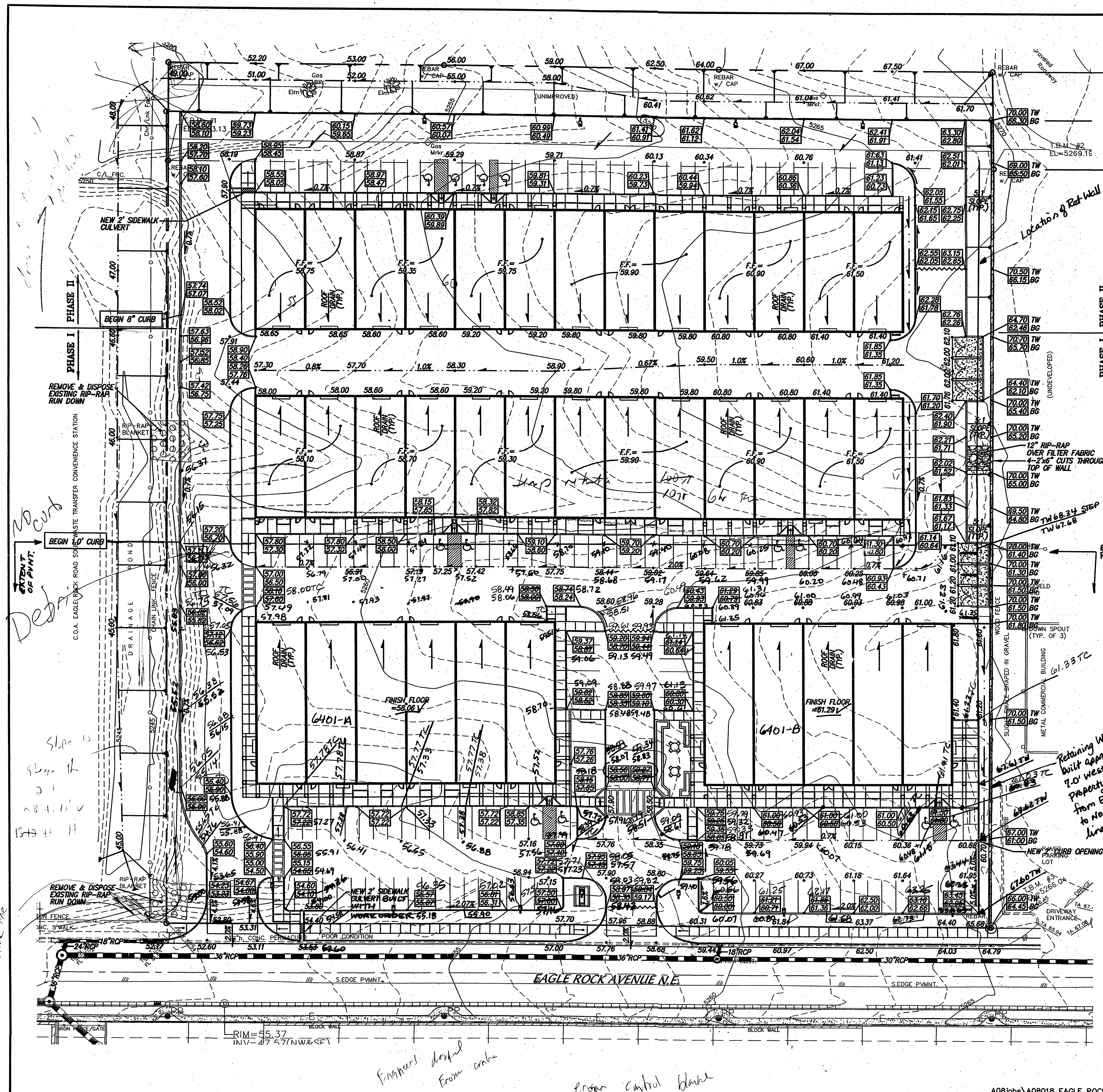




MODESTO AVENUE
60' PUBLIC RIGHT-OF-WAY EASEMENT

MODESTO AVENUE
30' PUBLIC RIGHT-OF-WAY EASEMENT
VACATED 2/6/08, (PROJECT NO. 1006987, 07DRB-70422)

PHASE II APPROVAL

GRADING AND CONSTRUCTION OF THE BUILDING AND PAVING IS ALLOWED ONLY AFTER THE FINAL PLAT IS APPROVED AND FILED AND A PERMISSION LETTER IS WRITTEN FROM THE PROPERTY OWNER(S) TO THE NORTH GRANTING GRADING ON THEIR HALF OF THE MODESTO R/W EASEMENT.

PHASE II APPROVAL

COA HYDROLOGY SIGNATURE _____ DATE _____

PHASE I APPROVAL

THIS PLAN APPROVED FOR CONSTRUCTION SOUTH OF PHASE LINE AS INDICATED ON THIS PLAN. NO CONSTRUCTION IS APPROVED NORTH OF THIS LINE UNTIL CONDITIONS IN PHASE II AS NOTED ABOVE ARE MET, WHICH INCLUDES: NO GRADING OR CONSTRUCTION OF THE BUILDING OR BUILDING PAD.

PHASE I APPROVAL

COA HYDROLOGY SIGNATURE _____ DATE _____

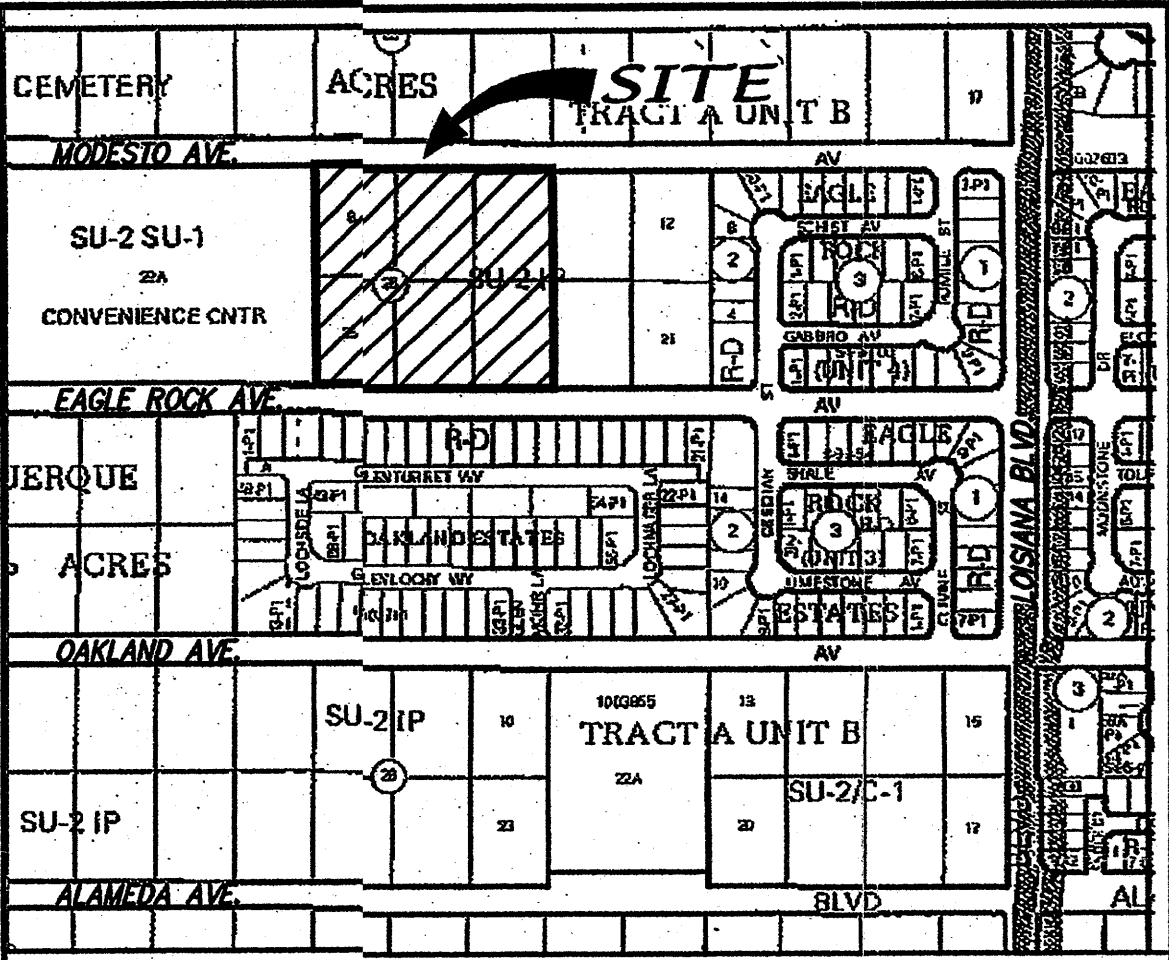
DRAINAGE CERTIFICATION

I, MARK GOODWIN, NMP# 8948, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08/09/2008. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY REX VOGLER, NMP# 10488. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/03/2008, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN. THOSE SECTIONS OF THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Mark Goodwin NMP# 8948 12/16/08

- NOTE**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE, PER FROM PANEL 129, MAP NUMBER 350100129, 11-09-03, FEMA.



VICINITY MAP ZONE MAP: C-18-Z

ACS BENCHMARK

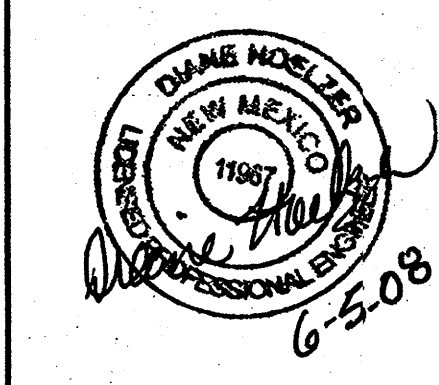
A.C.S. STA. "10-C18", AN ALLUM. CAP. FND. ON THE EAST SIDE OF SAN PEDRO, SOUTH OF MODESTO RD.
ELEV. = 5219.41 (NGVD29)

LEGAL DESCRIPTION

LOTS 8-10 & LOTS 23-25, BLOCK 26, TRACT A, UNIT B OF NO. ARQ. ACRES.

ADDRESS: 6401 Eagle Rock Avenue NE
Bldg. A and Bldg. B

- LEGEND**
- 5255 — EXISTING CONTOUR (MAJOR)
 - - - - - EXISTING CONTOUR (MINOR)
 - ===== EXISTING CURB
 - ===== EXISTING EDGE OF PAVEMENT
 - - - - - EXISTING FENCE
 - - - - - EXISTING SPOTS
 - ===== EXISTING WALL
 - ===== NEW CURB & GUTTER
 - ===== NEW SIDEWALK
 - ===== NEW BUILDING
 - ===== NEW PROPERTY LINE
 - ===== NEW RETAINING WALL
 - ===== NEW WATER BLOCK
 - ===== NEW FLOW
- 61.00 TW 61.00 BW 61.00 * 61.00 NEW SPOT ELEVATION

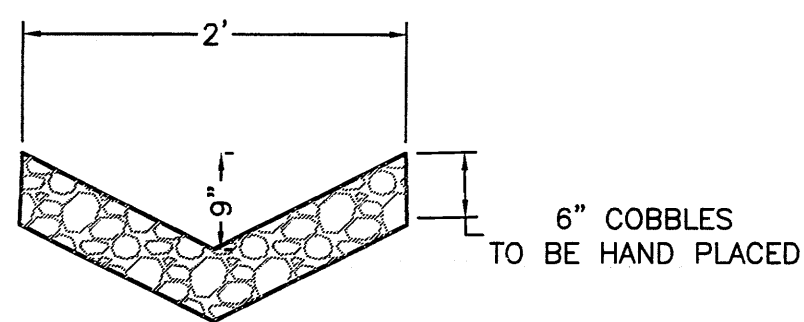


**EAGLE ROCK BUSINESS CENTER
GRADING & DRAINAGE PLAN**

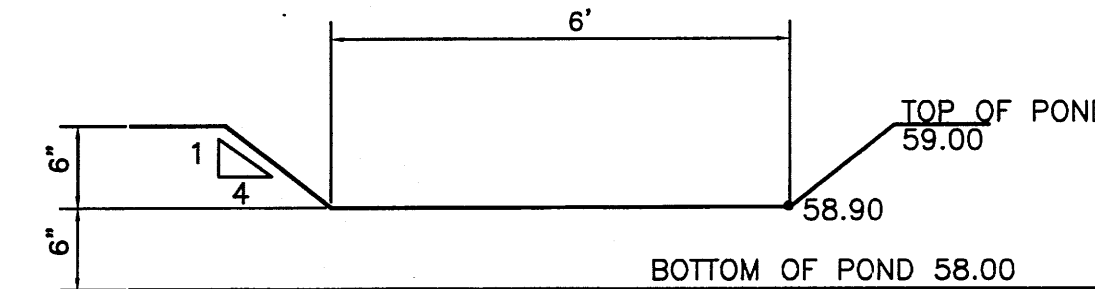
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DLH Drawn: ACI Checked: DMG Sheet 1 of 1
Scale: 1" = 1' Date: 01/11/08 Job: A08079



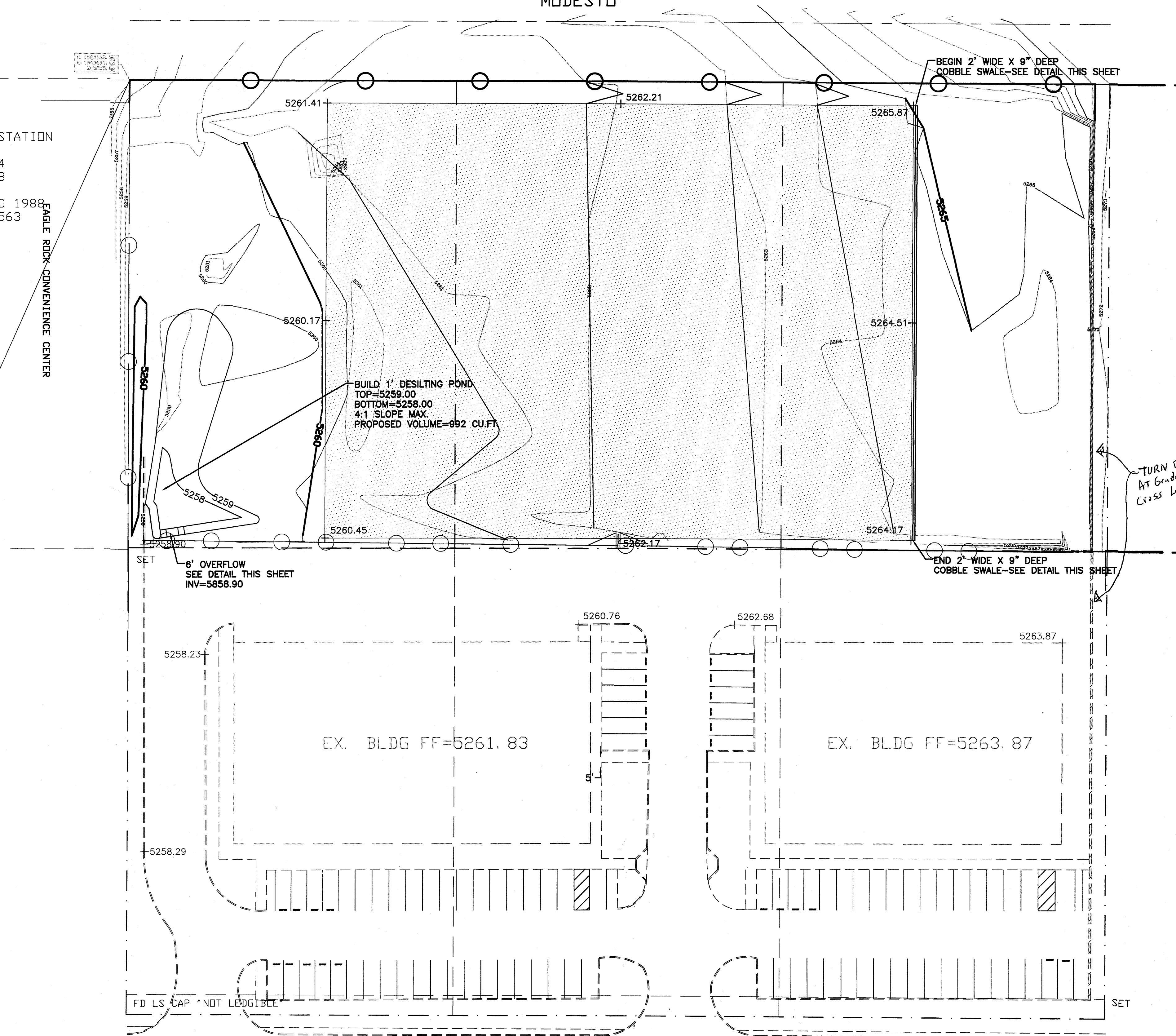
COBBLE SWALE DETAIL



6' OVERFLOW DETAIL

ACS CONTROL STATION
"9-C18"
N 1524797.624
E 1542501.428
Z 5232.470
NAD 1983 NAVD 1988
G-G 0.999664563

EAGLE ROCK CONVENIENCE CENTER



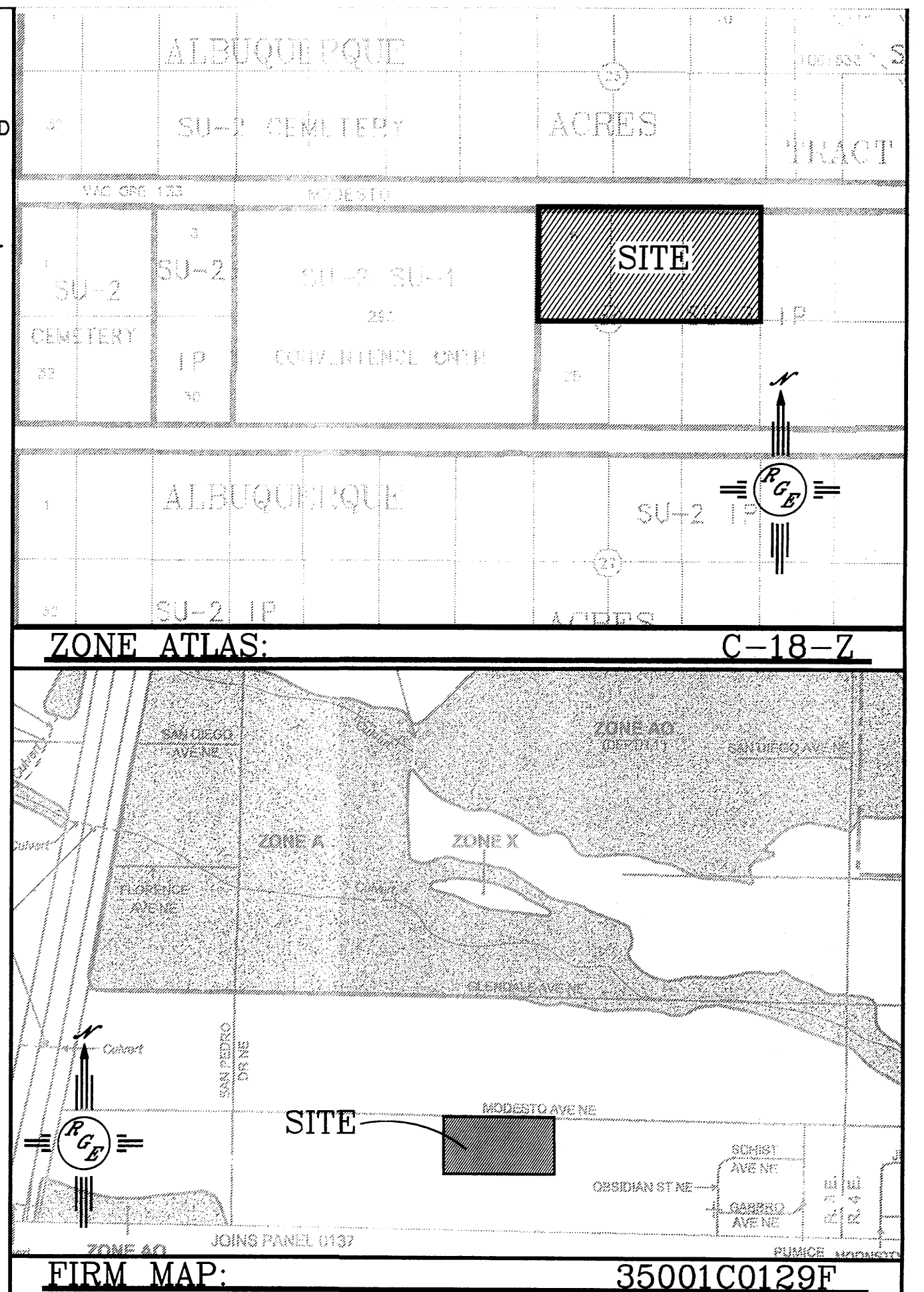
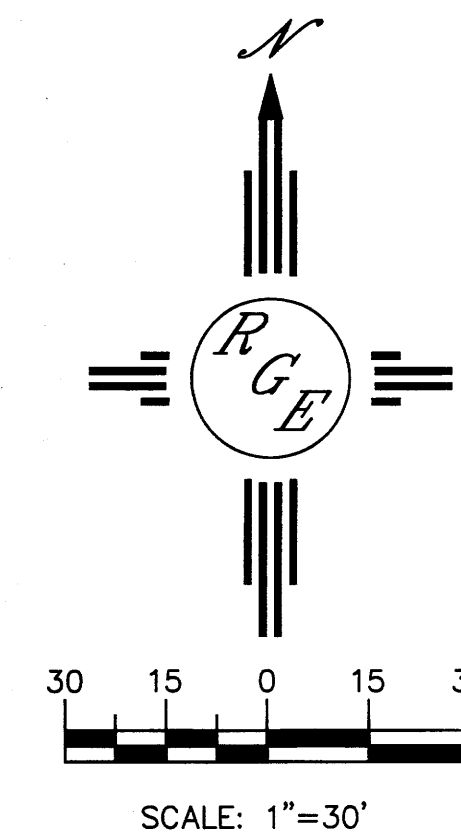
EAGLE ROCK AVE N.E.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



LEGAL DESCRIPTION:

LT 8,9,10, TRACT A, UNIT B, NORTH ALB ACRES

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
X 4048.25	EXISTING SPOT ELEVATION
X 4048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	LOT LINE
---	EXISTING RETAINING WALL
---	EXISTING EDGE OF ROAD
---	EXISTING BUILDING
---	FLOODPLAIN
---	PROPOSED 2' AC PAVING OVER 12' SUBGRADE PREP

I DAVID SOULE, HAVE PERSONALLY INSPECTED THE PROPERTY ON 12-02-11. NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE TOPO SHOWN.

DAVID SOULE P.E. #14522	DATE	DATE
ENGINEER'S SEAL	HARLEY DAVIDSON TEST TRACT	DRAWN BY WCWJ
DAVID SOULE P.E. #14522	GRADING AND DRAINAGE PLAN	DATE 12-12-11
		21142-LAYOUT-12-12-11
		SHEET #
		JOB # 21142

TOTAL ACREAGE:	2.6822 AC±(LW)
BUILDING SF:	24798 SF (3) 40 SF OFFICE/21658 SF WAREHOUSE)
FAR:	.35
EXISTING ZONING:	SU-2 FOR IP
PROPOSED ZONING:	SU-2 FOR IP
EXISTING USE:	INDUSTRIAL
PROPOSED USE:	TEMPORARY ASPHALT MOTORCYCLE TRAINING FOR LOT

TABLE OF CONTENTS:	
INTERMEDIATE USE (RIDER TRAINING SCHOOL)	1
INTERMEDIATE SITE PLAN FOR BUILDING PERMIT	2
INTERMEDIATE GRADING PLAN	3
INTERMEDIATE LANDSCAPE PLAN	4
ULTIMATE USE/REQUIRES ADVERTISED DRAINAGE	5
SITE PLAN FOR BUILDING PERMIT	6
LANDSCAPE PLAN	7
ELEVATIONS A	8
ELEVATIONS B	9
ELEVATIONS C	10
UTILITY PLAN	11
HYDROLOGIC INFORMATION	12

PROJECT NUMBER: 1003354

APPLICATION NUMBER: 11 - 70364

is an infrastructure List required? ☒ Yes ☐ No. If Yes, then a set of approved MDC plans with a work order of public infrastructure within Public Right-of-Way of public improvements.

DATE OF DEVELOPMENT PLAN APPROVAL: April 19, 2012

Traffic Engineer, Transportation Division: Mark Cole

Utilities Development: Paul S. Dumast

Public & Recreation Department: Ante A. Chan

City Engineer: MA

*** Environmental Health Department (conditions):** NA

Solid Waste Management: NA

Other (Interperson, Planning Department): NA

Date: 3-29-12

Date: 03/27/12

Date: 3-7-12

Date: 3-7-12

City Engineer: MA

*** Environmental Health Department (conditions):** NA

Solid Waste Management: NA

Other (Interperson, Planning Department): NA

Date: 4-27-12

Date: 4-27-12

City Engineer: MA

*** Environmental Health Department (conditions):** NA

Solid Waste Management: NA

Other (Interperson, Planning Department): NA

ALBUQUERQUE

SU-2

IP

ALBUQUERQUE

SU-2 CEMETERY

ACRES

TRACT

ALBUQUERQUE

SU-2

IP

ALBUQUERQUE

SU-2 CEMETERY

ACRES

TRACT

ALBUQUERQUE

SU-2

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TRACT

ALBUQUERQUE</

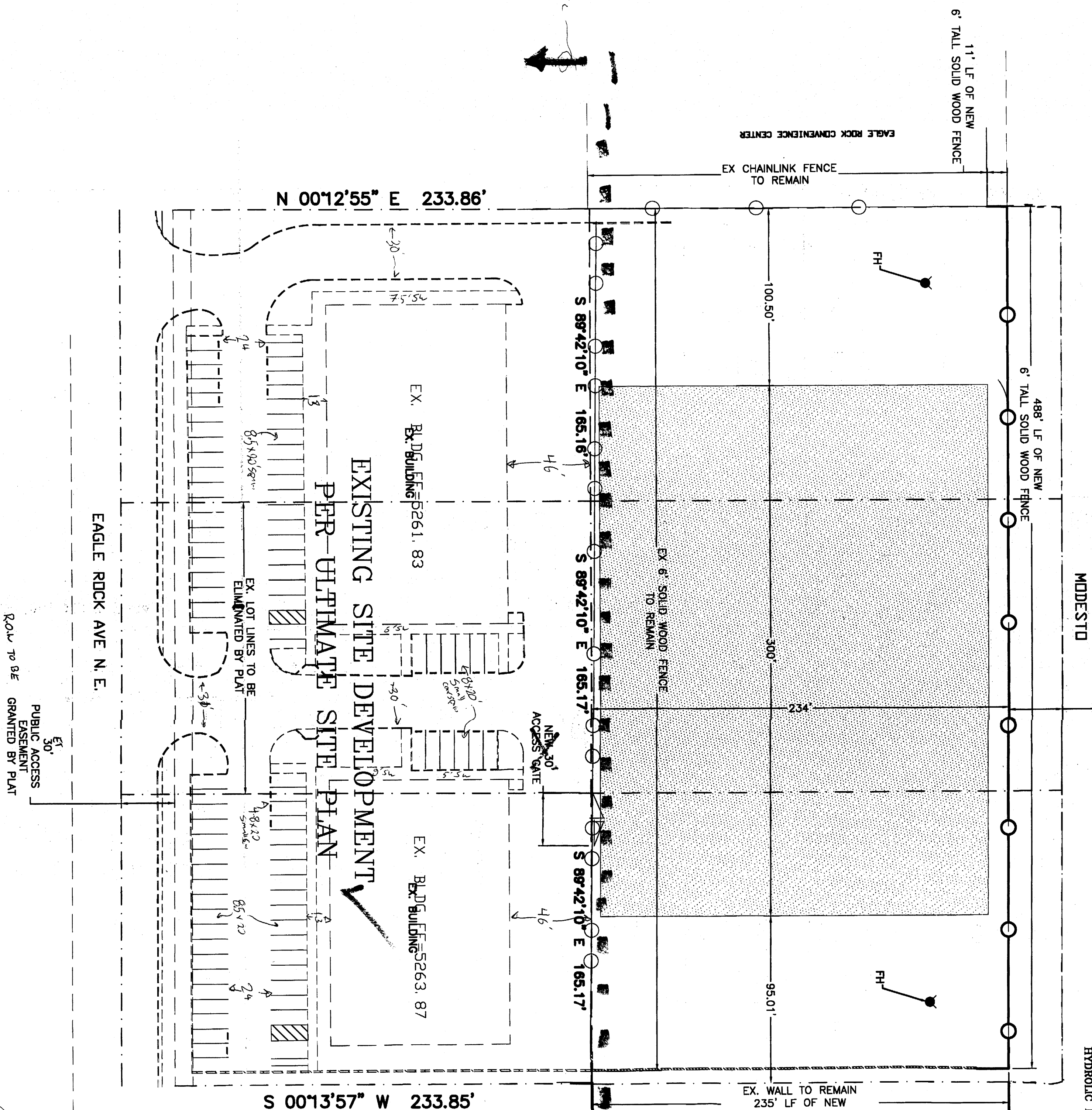
LT 8,9,10, TRACT A, UNIT B, NORTH ALB ACRES

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
3. GROSS ACCESS & DRAINAGE EASEMENTS FOR ALL PARCELS WILL BE GRANTED WITH THE SITE PLAN AND THE REG-1A.
4. NO OFF PREMISE OR POLE MOUNTED SIGNAGE SHALL BE ALLOWED.
5. ALL WIRELESS TELECOMMUNICATION FACILITIES SHALL BE CONCEALED AND ARCHITECTUALLY INTEGRATED WITH THE SITE AND SURROUNDING AREA.
6. FREE STANDING LIGHTING SHALL INCLUDE UNIFORM 16' HIGH POLES WITH FULLY SHIELDED FIXTURES. ALL FIXTURES SHOULD BE HORIZONTALLY-MOUNTED. LENSES SHOULD NOT PROJECE BELOW THE HOUSING. LIGHTING LEVELS MUST CONFORM TO ZONING CODE LIMITATIONS.
7. NO ACCESS SHALL BE PROVIDED FROM WAGGESTON.
8. NO OUTDOOR NIGHTTIME ACTIVITY SHALL BE ALLOWED.
9. GROSS ACCESS AND DRAINAGE EASEMENTS SHALL BE GRATED ON
10. INTERMEDIATE USE SHALL BE FOR A 5 YEAR DURATION FROM APPROVAL.

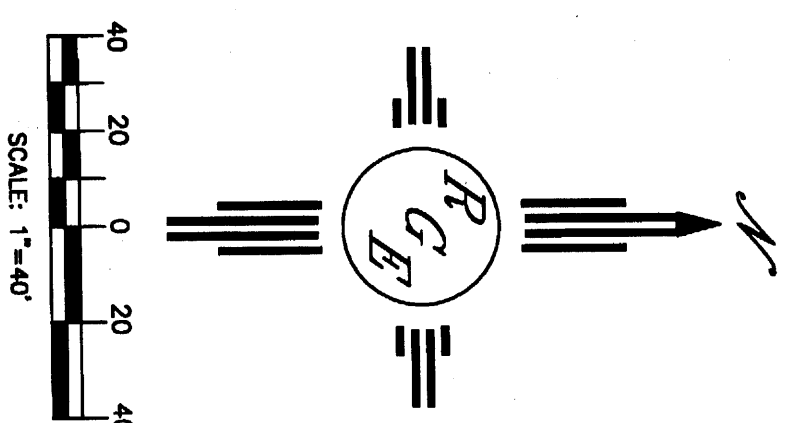
11. USE SHALL BE 7-RH-N-1-D-6 S-C-H-O-L.

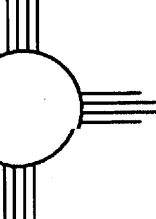
 EXISTING CURB & GUTTER
 PROPOSED EDGE OF NEW PAVING
 BOUNDARY LINE
 EXISTING BOUNDARY LINE
 CENTERLINE
 RIGHT-OF-WAY
 PROPOSED BUILDING
 EXISTING BUILDING
 EXISTING CHAIN LINK FENCE
 PROPOSED 2' AC PAVING OVER 12" SUBGRADE PREPARED

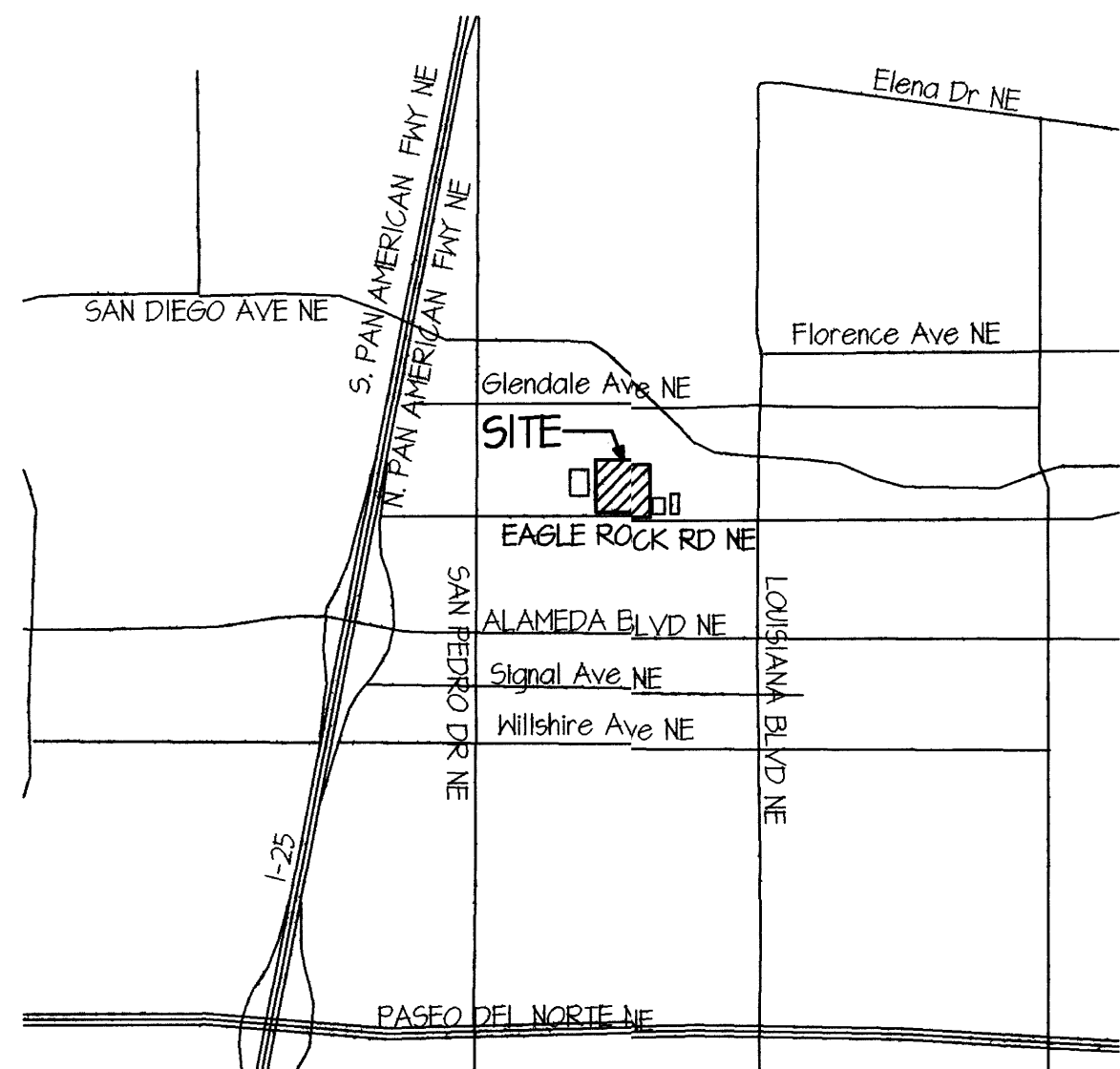
I, David Scott NAPIE #14322, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will be constructed in substantial compliance with, and in accordance with the design intent of the approved SITE PLAN FOR BUILDING PEKHAM plan dated 4/27/12. The record information edited on the original design was performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by David Vigil #911. The certificate and belief I am submitting requests for Examination Certificate of Occupancy. The record information presented herein is intended to verify substantial compliance of the Transportation aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



See site plan dated
12/15/06 (for geometric
↘ layout plan)
12/8/08 NSF

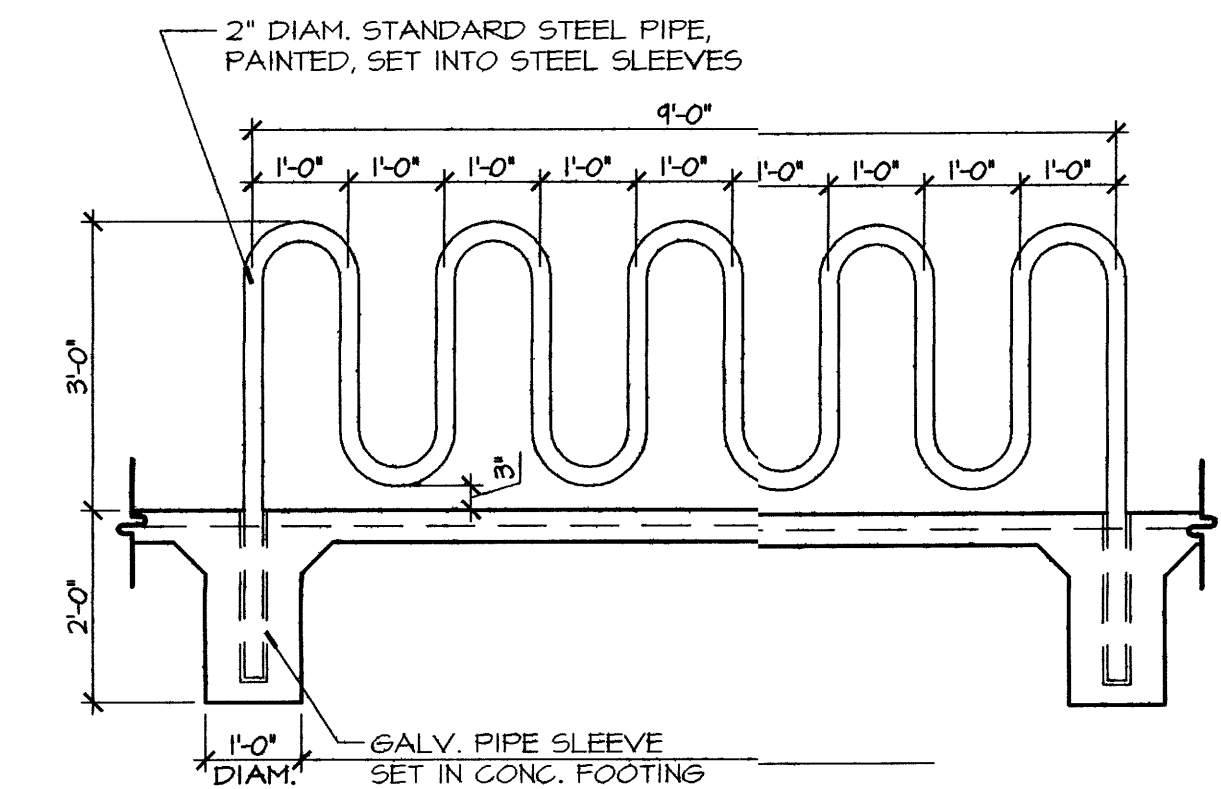


ENGINEER'S SEAL	HARLEY DAVIDSON TEST TRACT 15C400L	DRAWN BY WORK
DATE 12-12-11	INTERMEDIATE SITE PLAN FOR BUILDING PERMIT	DATE 21142-LAND-12-12-
PAID SOULE REV. #14522	 <i>Rio Grande</i> <i>Engineering</i> 1008 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 676-0585	SHEET # 1
JOB # 21142		



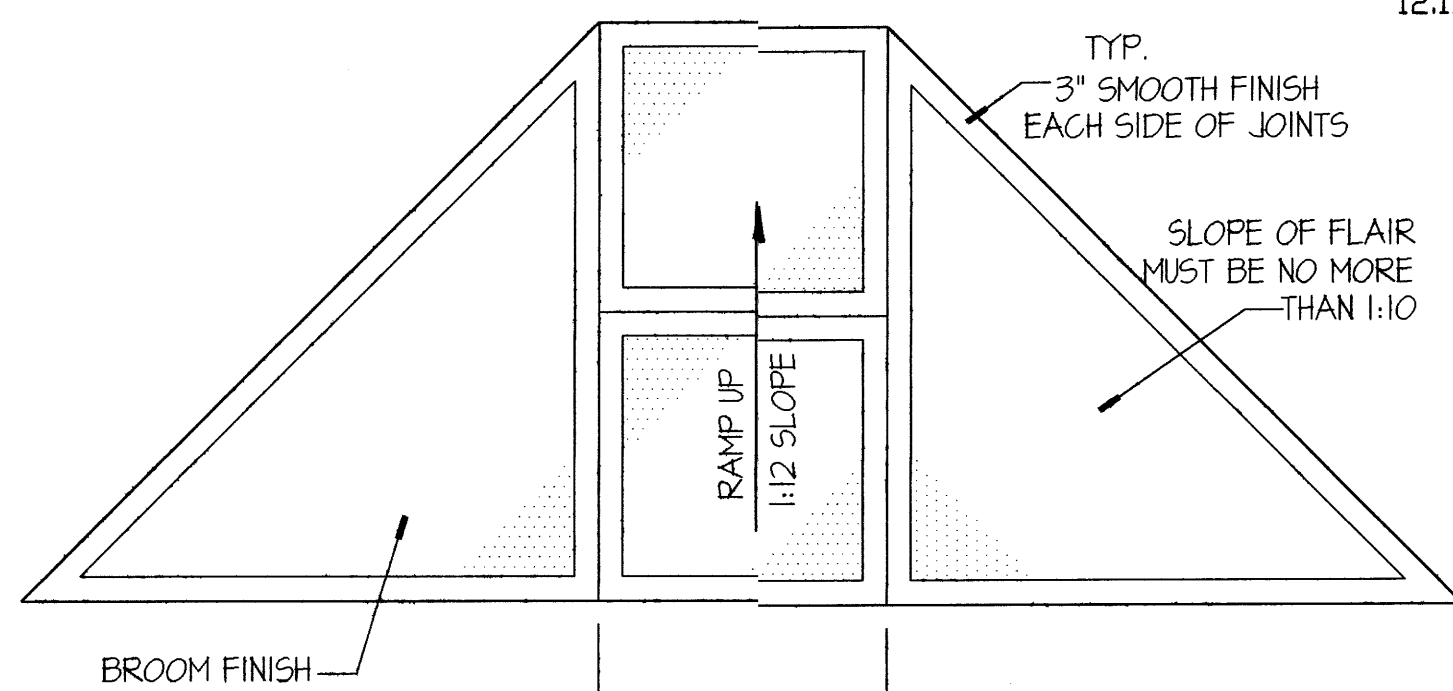
C1 VICINITY MAP

1/2"=1'-0"



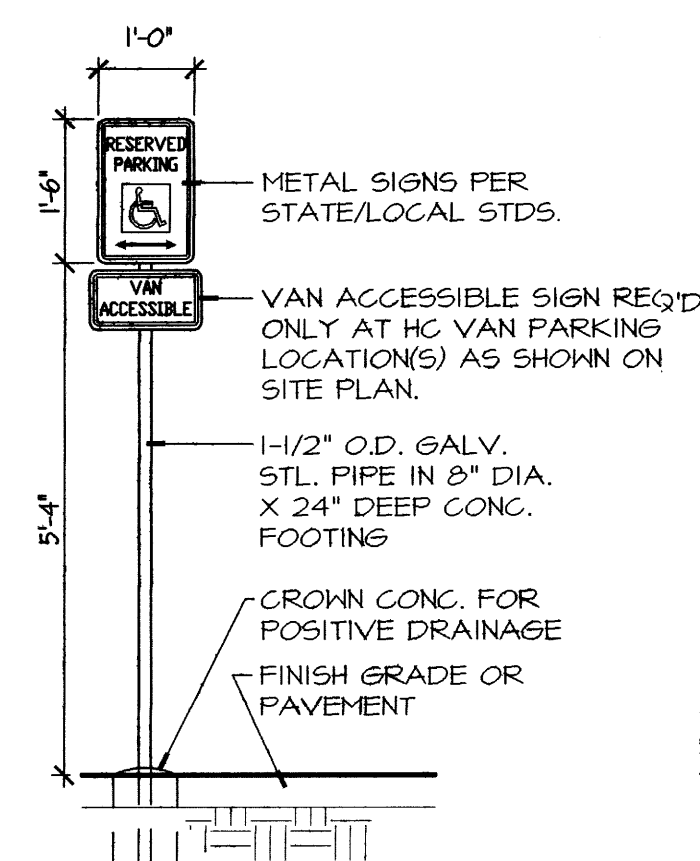
C1 BIKE RACK DETAIL

1/2"=1'-0"



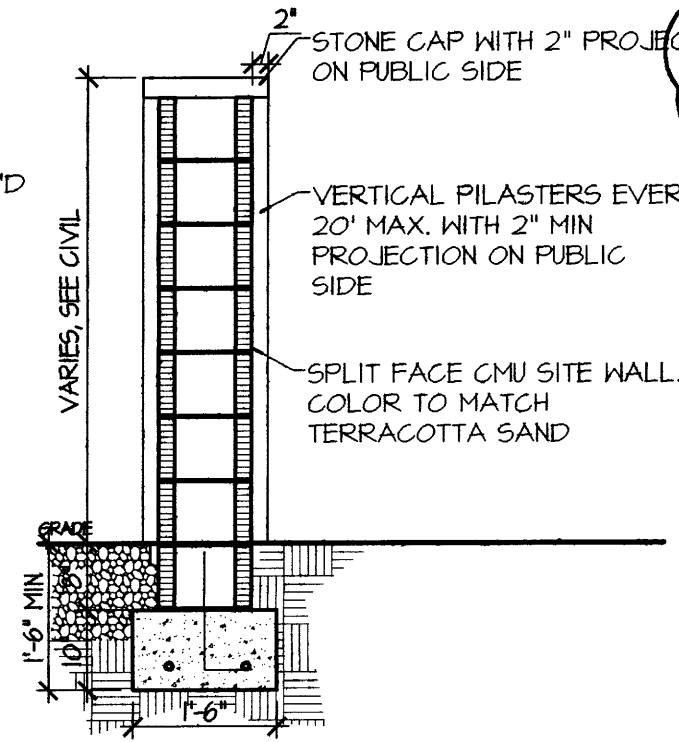
B1 H.C. RAMP DETAIL

1/2"=1'-0"



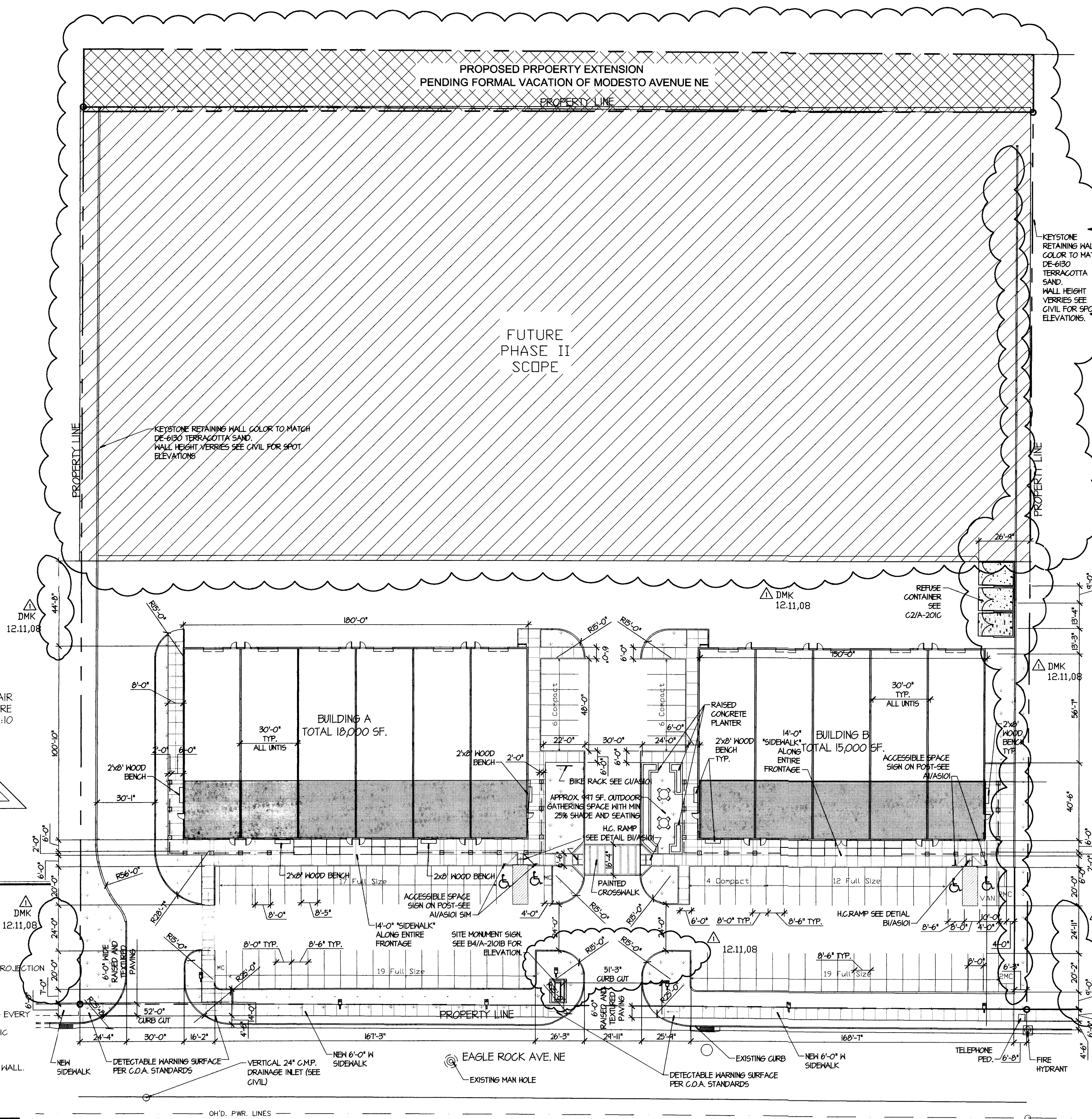
A1 H.C. SIGN DETAIL

1/2"=1'-0"



A2 SITE WALL DETAIL

1/2"=1'-0"



A4 DRB SITE PLAN

1"=30'



PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way of for construction of public improvements.

DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:

Traffic Engineering, Transportation Division	Date
ABOWUA	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

DRAWING INDEX

AS101	SITE PLAN FOR BUILDING PERMIT
L-1	LANDSCAPE PLAN
C-101	GRADING AND DRAINAGE PLAN
A-201A	BUILDING AND STRUCTURE ELEVATIONS A
A-201B	BUILDING AND STRUCTURE ELEVATIONS B
A-201C	BUILDING AND STRUCTURE ELEVATIONS C
C-102	SITE UTILITY PLAN

SITE / BUILDING INFORMATION

LOTS 6-10 AND 23-25 BLOCK 26, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES
ZONE- SU-2 IP (INDUSTRIAL PARK)
SITE AREA = 6 ACRES
CONSTRUCTION TYPE = 2B

PARKING CALCULATIONS

BUILDINGS A&B TOTAL 11 UNITS	
BUILDINGS A&B UNIT SIZE	= 3,000 SF.
BUILDINGS A&B UNIT WAREHOUSE SIZE	= 2,082 SF.
BUILDINGS A&B UNIT OFFICE SIZE	= 918 SF.
BUILDING C TOTAL 13 UNITS	
BUILDING C UNIT SIZE	= 3,840 SF.
BUILDING C UNIT WAREHOUSE SIZE	= 2,922 SF.
BUILDING C UNIT OFFICE SIZE	= 918 SF.
GROSS LEASABLE AREA OFFICE SPACE	= 22,032 SF.
GROSS LEASABLE AREA WAREHOUSE SPACE	= 60,888 SF.
NET LEASABLE AREA	= 82,920 SF.

OFFICE SPACE PARKING:	22,032/200	= 110 SPACES REQUIRED
WAREHOUSE PARKING:	60,888/2000	= 31 SPACES REQUIRED
TOTAL PARKING REQUIRED:		=141 SPACES REQUIRED
TOTAL PARKING PROVIDED:		=167 SPACES PROVIDED
COMPACT SPACES PROVIDED	= 40	<20%
FULL SIZE SPACES PROVIDED	= 119	NOTE:
HC SPACE PROVIDED	= 8	EACH COMPACT PARKING
HC SPACE PROVIDED	= 8	SPACE SHALL BE
MOTORCYCLE SPACES REQUIRED	= 5	DESIGNATED WITH
MOTORCYCLE SPACES PROVIDED	= 6	PAINT ON THE
		PAVEMENT
BIKE SPACE REQUIRED	= 9 (# OF BIKES)	
BIKE SPACE PROVIDED	= 10 (1 RACK WITH 10 BIKE CAPACITY)	

LEGEND

- NEW CONCRETE PER CIVIL
- ASPHALT
- LANDSCAPED AREA
- FULL CUT-OFF LIGHT POLE 15'-0" HIGH WITH 250 WATT METAL HALIDE BULB TYP.
- PROPOSED OFFICE AREA

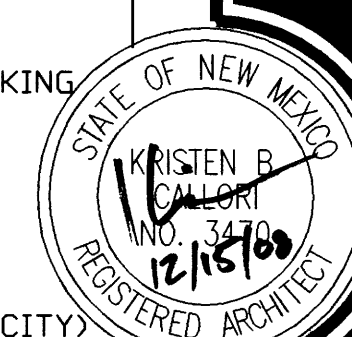


EDINYN VNC IARMOINCS ENTAL

142 TRUMAN STREET NE
ALBUQUERQUE, NM 87108
TEL: 505.242.2851 FAX: 505.242.2852

EAGLE ROCK BUSINESS CENTER

6401 EAGLE ROCK AVE. NW
ALBUQUERQUE NM, 87113



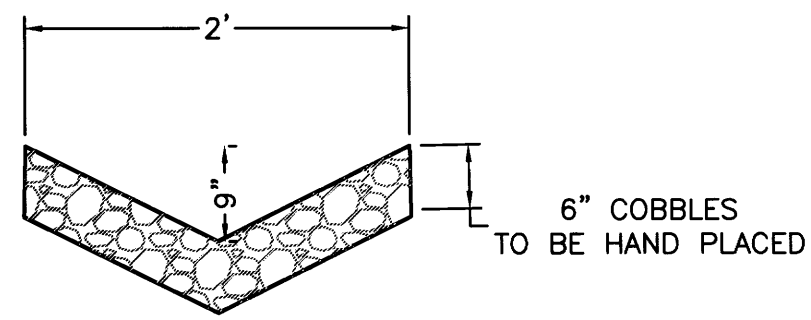
ISSUE:
BUILDING PERMIT SET

DRAWN: DMK
CHECKED: KC
DATE: 09.08.07

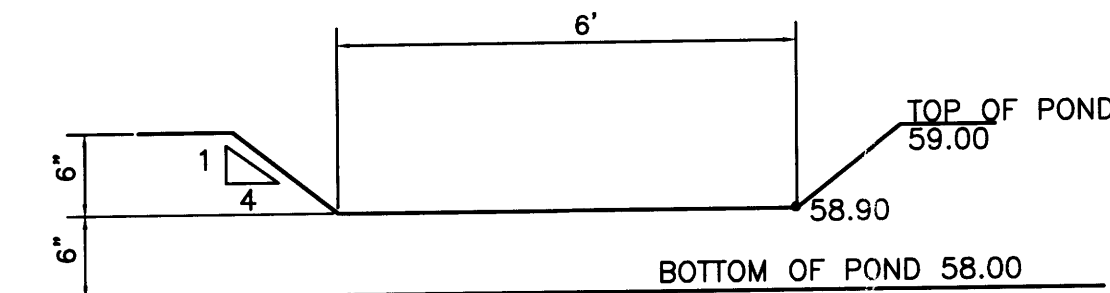
REVISIONS
AS BUILT REV.
12/11/08

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

0720
AS101
OF XX



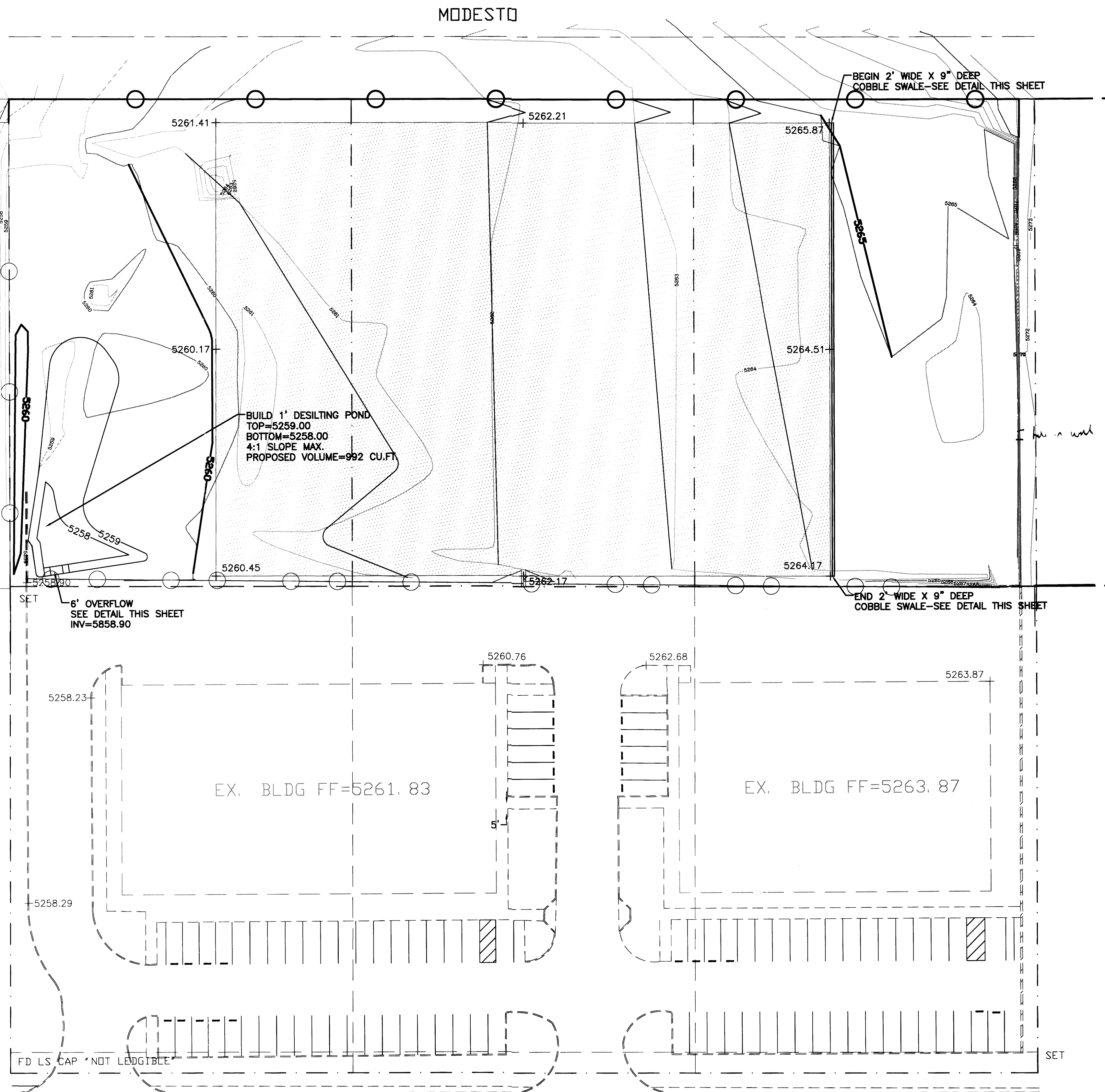
COBBLE SWALE DETAIL
NTS



6' OVERFLOW DETAIL
NTS

ACS CONTROL STATION
"9-C18"
N 1524797.624
E 1542501.428
Z 5232.470
NAD 1983 NAVD 1988
G-G 0.999664563

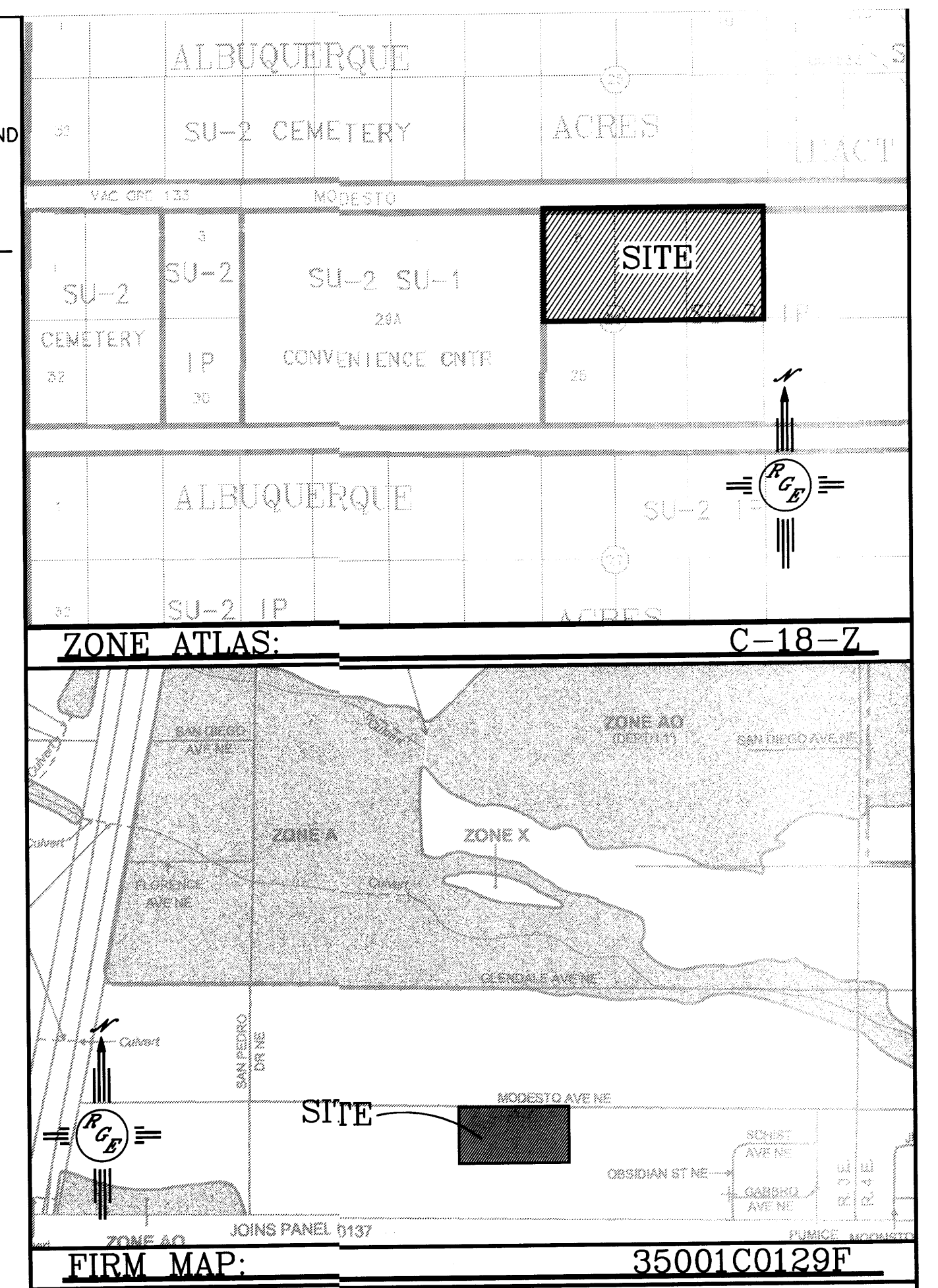
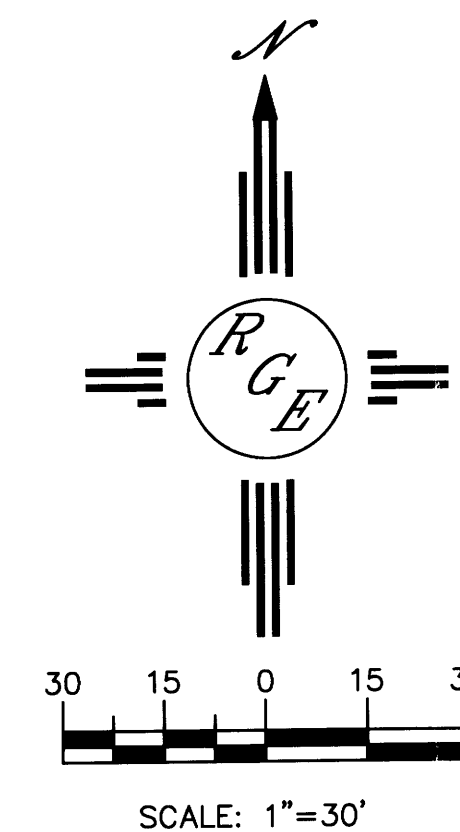
EAGLE ROCK CONVENIENCE CENTER



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3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

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NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



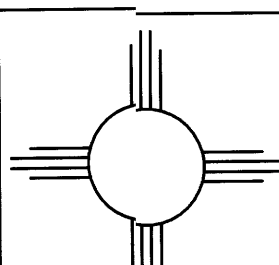
LEGAL DESCRIPTION:
LT 8,9,10, TRACT A, UNIT B, NORTH ALB ACRES

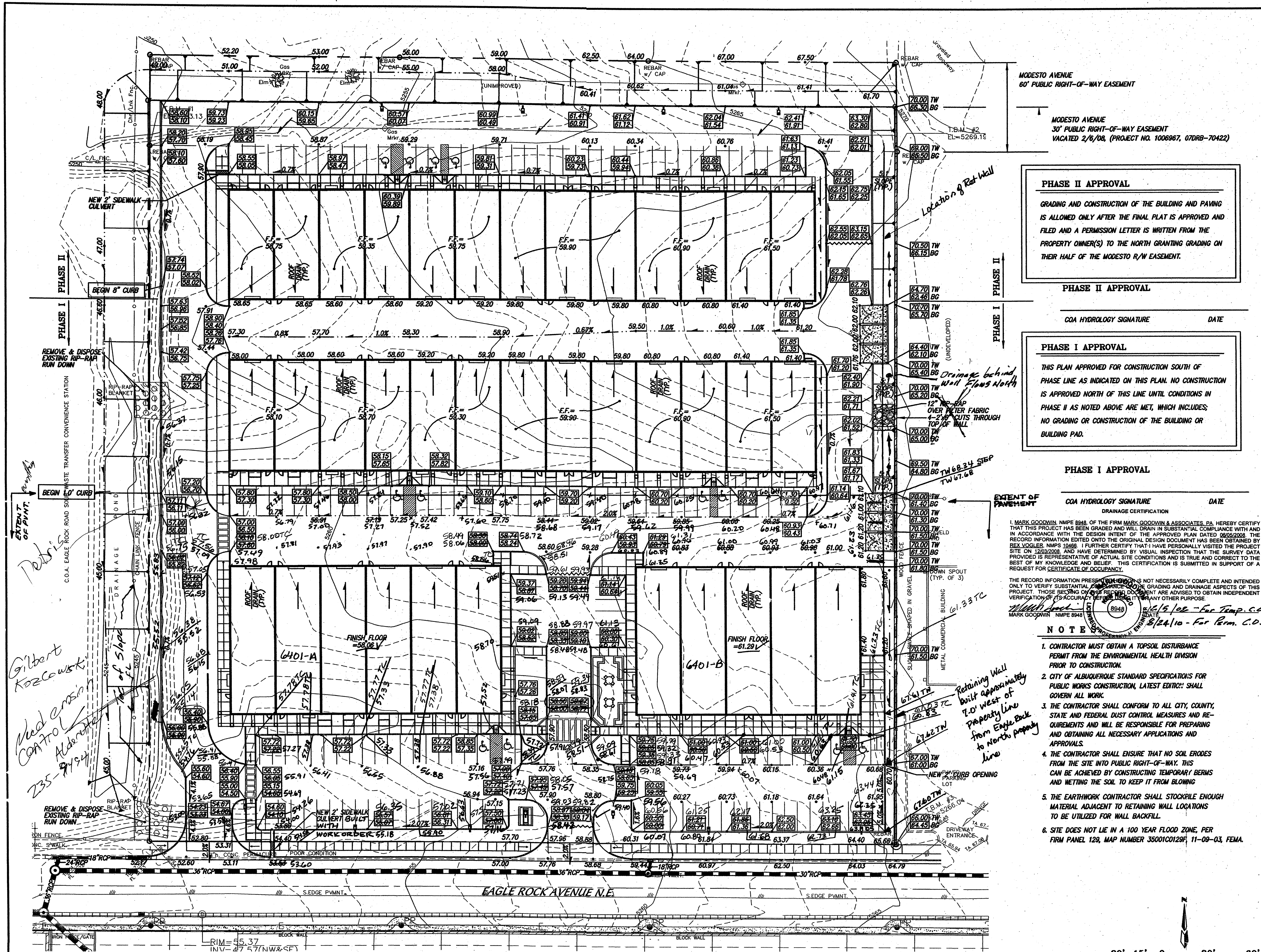
NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND	
5414	EXISTING CONTOUR
5415	EXISTING INDEX CONTOUR
5414	PROPOSED CONTOUR
5415	PROPOSED INDEX CONTOUR
▶	SLOPE TIE
x 4048.25	EXISTING SPOT ELEVATION
x 4048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	LOT LINE
-----	EXISTING RETAINING WALL
-----	EXISTING EDGE OF ROAD
-----	EXISTING BUILDING
-----	FLOODPLAIN
-----	PROPOSED 2" AC PAVING OVER 12" SUBGRADE PREP

RECEIVED
FEB 27 2012
HYDROLOGY
SECTION

I DAVID SOULE, HAVE PERSONALLY INSPECTED THE PROPERTY ON 12-02-11.
NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH
THE TOPO SHOWN.

DAVID SOULE P.E. #14522		DATE	
ENGINEER'S SEAL	HARLEY DAVIDSON TEST TRACT	DRAWN BY WCVJ	
	GRADING AND DRAINAGE PLAN	DATE 12-12-11	
		21142-LAYOUT-12-12-11	
DAVID SOULE P.E. #14522	 <i>Rio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 2	
		JOB # 21142	



PHASE II APPROVAL

GRADING AND CONSTRUCTION OF THE BUILDING AND PAVING IS ALLOWED ONLY AFTER THE FINAL PLAT IS APPROVED AND FILED AND A PERMISSION LETTER IS WRITTEN FROM THE PROPERTY OWNER(S) TO THE NORTH GRANTING GRADING ON THEIR HALF OF THE MODESTO R/W EASEMENT.

PHASE I APPROVAL

THIS PLAN APPROVED FOR CONSTRUCTION SOUTH OF PHASE LINE AS INDICATED ON THIS PLAN. NO CONSTRUCTION IS APPROVED NORTH OF THIS LINE UNTIL CONDITIONS IN PHASE II AS NOTED ABOVE ARE MET, WHICH INCLUDES: NO GRADING OR CONSTRUCTION OF THE BUILDING OR BUILDING PAD.

PHASE I APPROVAL

COA HYDROLOGY SIGNATURE _____ DATE _____

NOTE

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

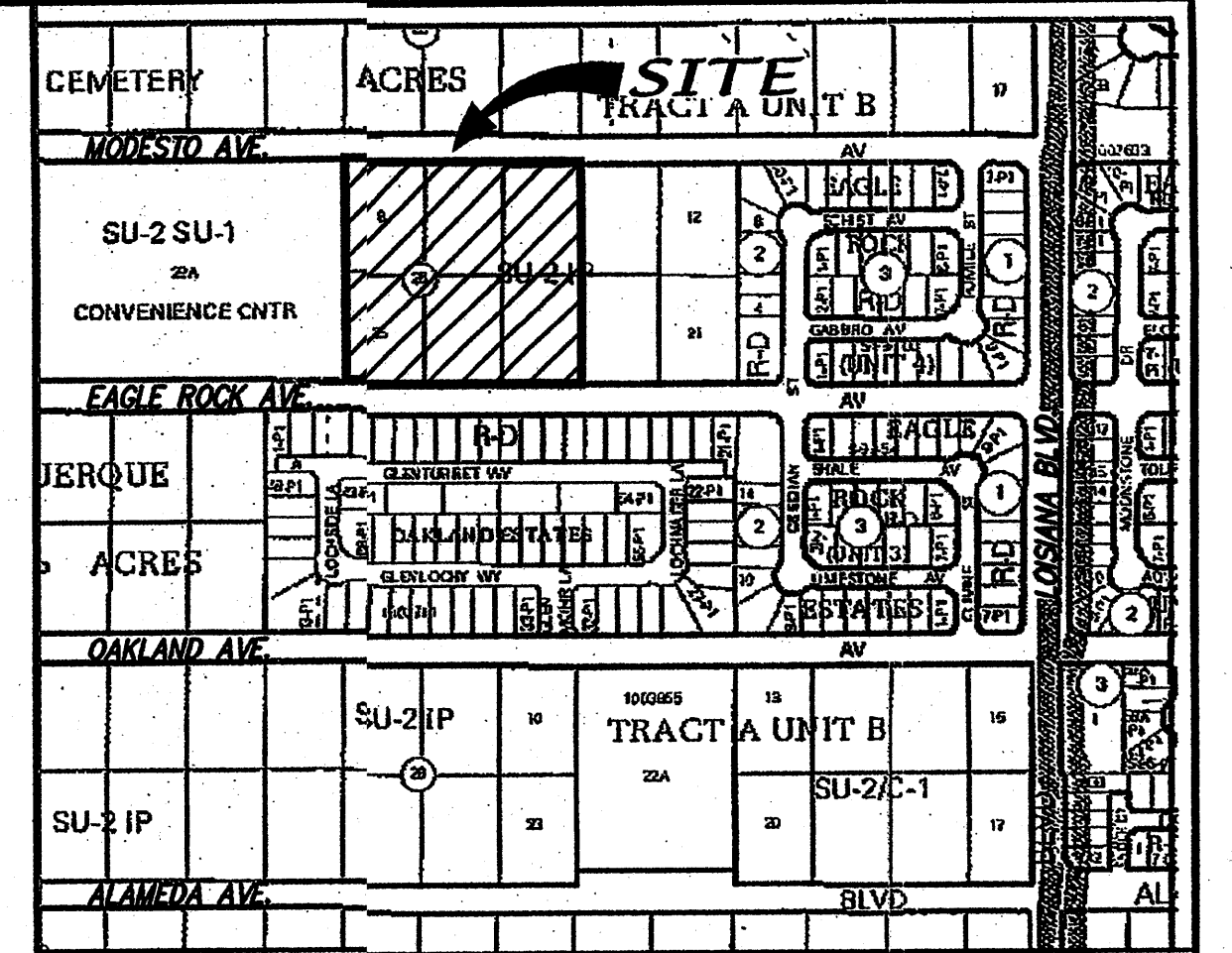
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION: SHALL GOVERN ALL WORK.

3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND MATTING THE SOIL TO KEEP IT FROM BLOWING.

5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE, PER FIRM PANEL 129, MAP NUMBER 35001C0129F, 11-09-03, FEMA.



VICINITY MAP ZONE MAP: C-18-Z

ACS BENCHMARK

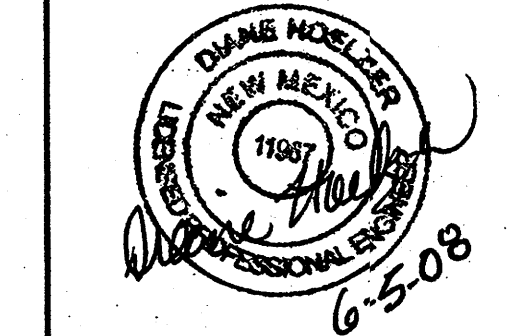
A.C.S. STA. "10-C18" AN ALUM. CAP FND. ON THE EAST SIDE OF SAN PEDRO, SOUTH OF MODESTO RD. ELEV. = 5219.41 (NGVD29)

LEGAL DESCRIPTION

LOTS 8-10 & LOTS 23-25, BLOCK 26, TRACT A, UNIT B OF NO. A9Q. ACRES.

ADDRESS: 6401 Eagle Rock Avenue NE
Bldg. A and Bldg. B

- LEGEND**
- 5255 — EXISTING CONTOUR (MAJOR)
 - — — — — EXISTING CONTOUR (MINOR)
 - — — — — EXISTING CURB
 - — — — — EXISTING EDGE OF PAVEMENT
 - — — — — EXISTING FENCE
 - — — — — EXISTING SPOTS
 - — — — — EXISTING WALL
 - — — — — NEW CURB & GUTTER
 - — — — — NEW SIDEWALK
 - — — — — NEW BUILDING
 - — — — — NEW PROPERTY LINE
 - — — — — NEW RETAINING WALL
 - — — — — NEW WATER BLOCK
 - — — — — NEW FLOW
- 69.50 TW 61.00 BW 61.00 • 61.00 NEW SPOT ELEVATION



RECEIVED

AUG 25 2010

HYDROLOGY SECTION

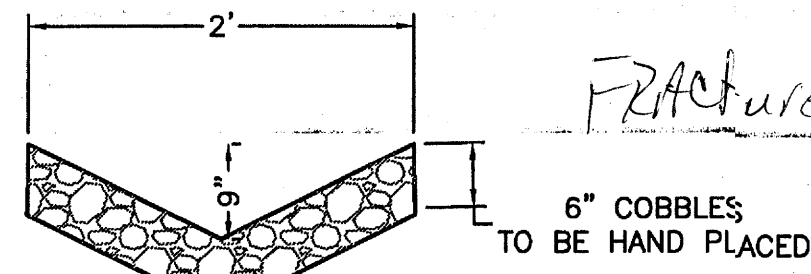
EAGLE ROCK BUSINESS CENTER

GRADING & DRAINAGE PLAN

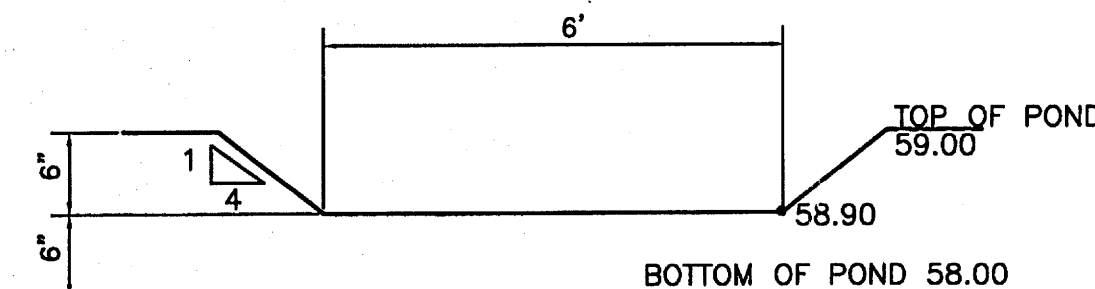
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DLH	Brown: ACI	Checked: DMG	Sheet: 1 of 1
Scale: 1" = 1'	Date: 05/01/08	Job: A08018	



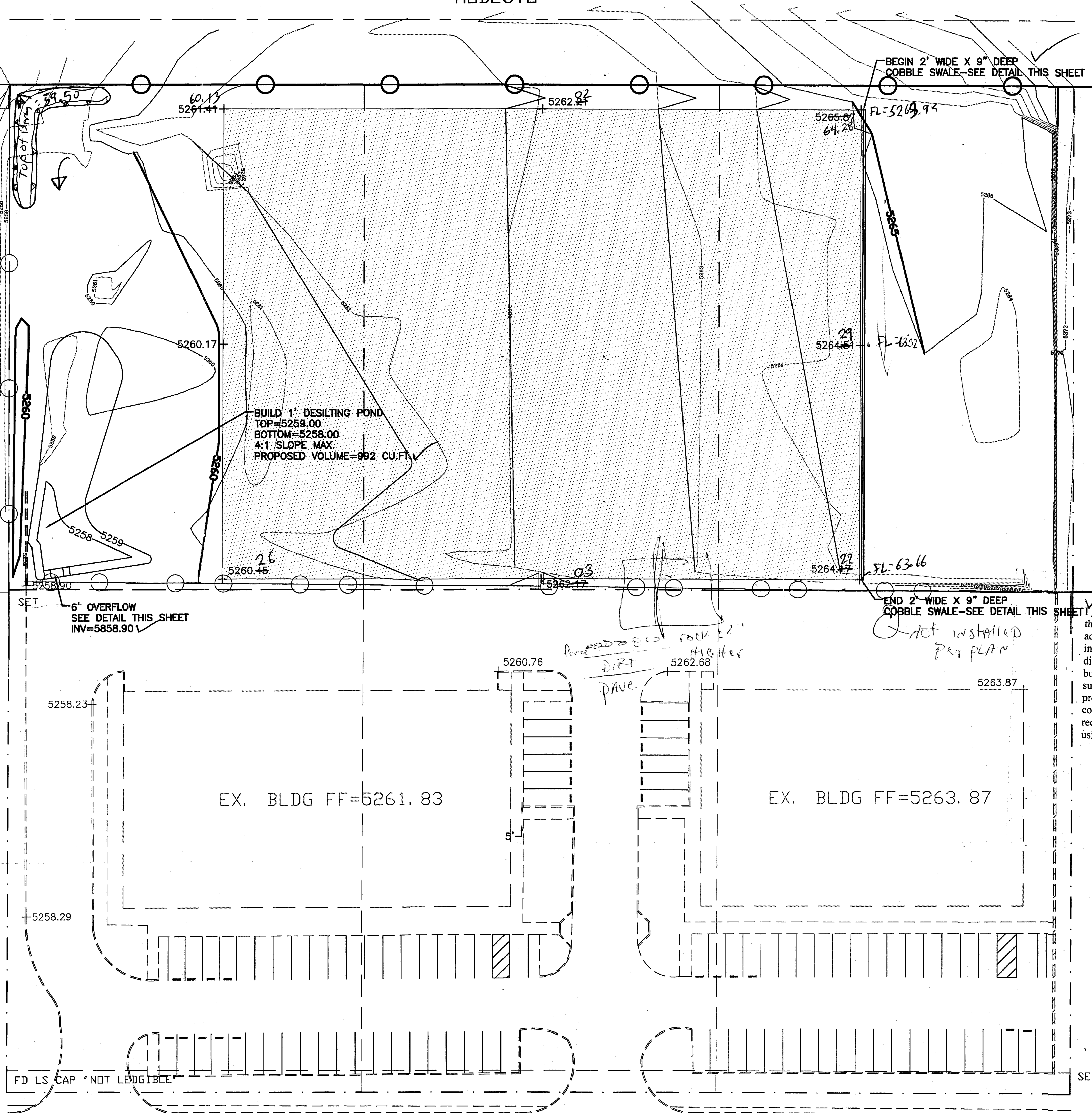
COBBLE SWALE DETAIL



6' OVERFLOW DETAIL

ACS CONTROL STATION
"9-C18"
N 1524797.624
E 1542501.428
Z 5232.470
NAD 1983 NAVD 1988
G-G 0.999664563

EAGLE ROCK CONVENIENCE CENTER



EX. BLDG FF=5261.83

EX. BLDG FF=5263.87

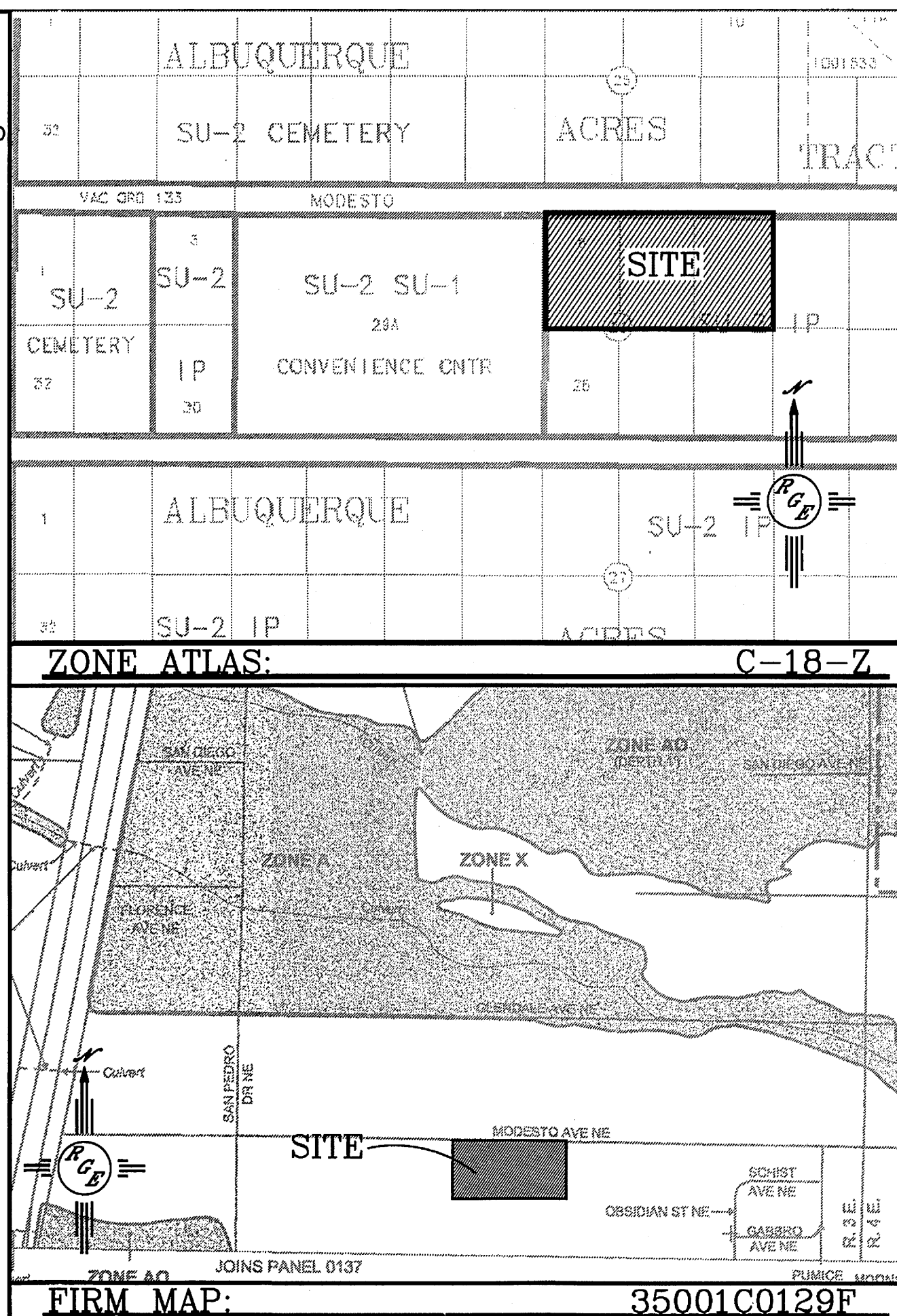
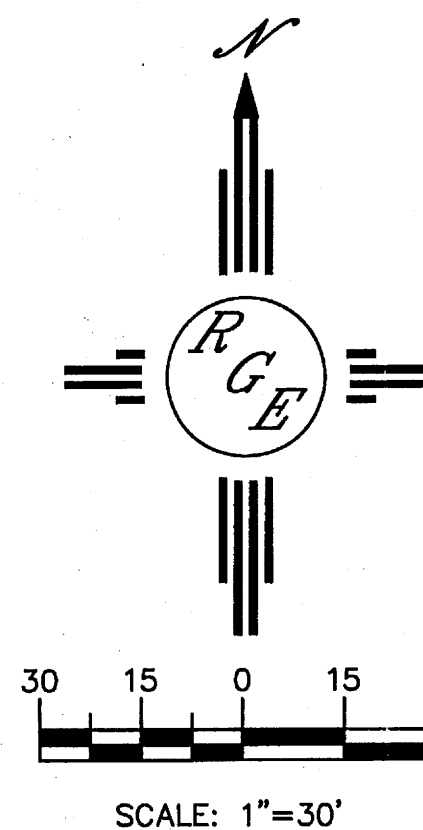
EAGLE ROCK AVE N.E.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



LEGAL DESCRIPTION:

LT 8,9,10, TRACT A, UNIT B, NORTH ALB ACRES

NOTES:

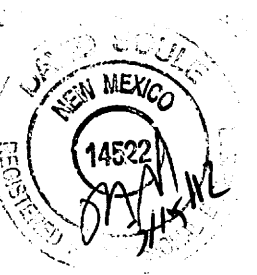
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LEGEND

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- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
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SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0899