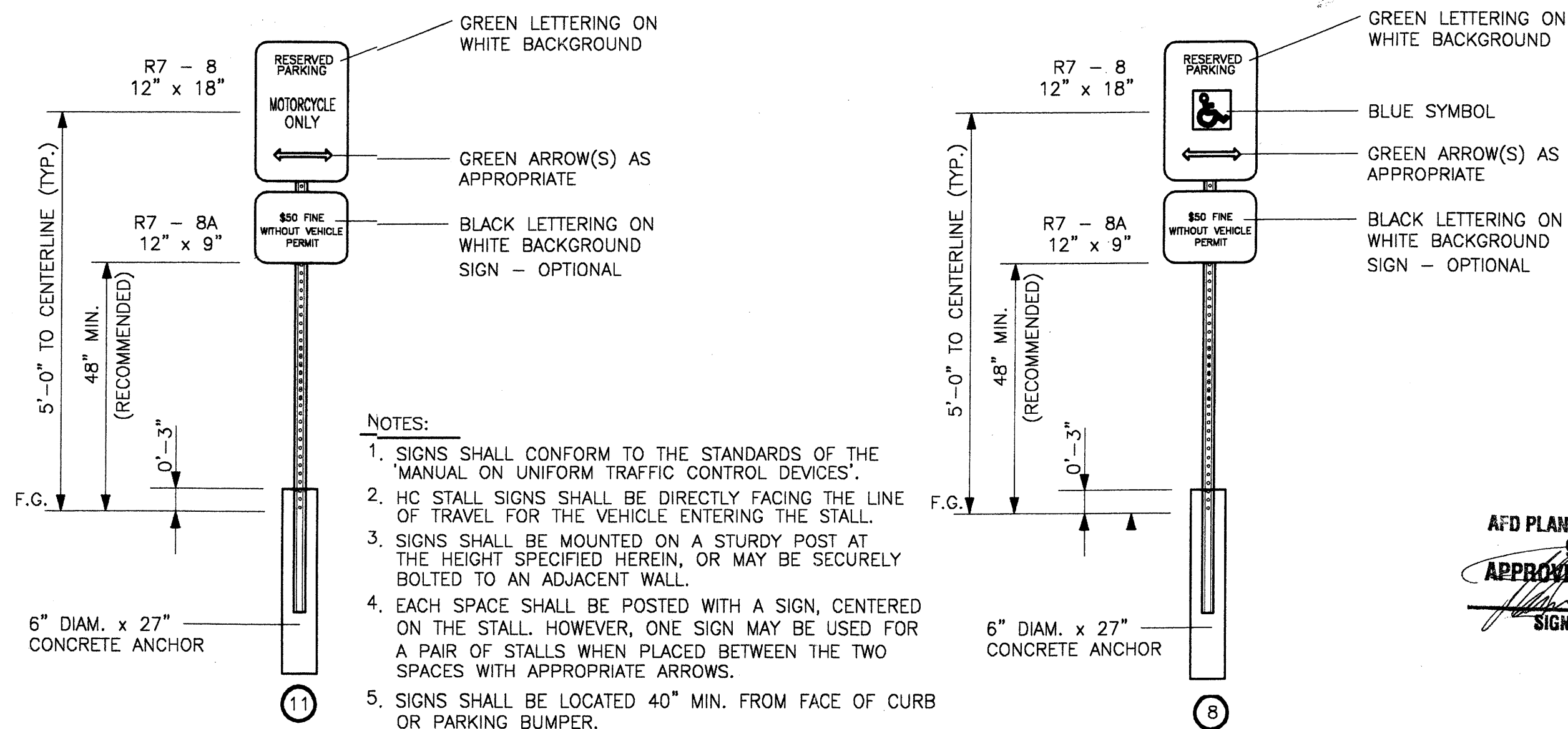
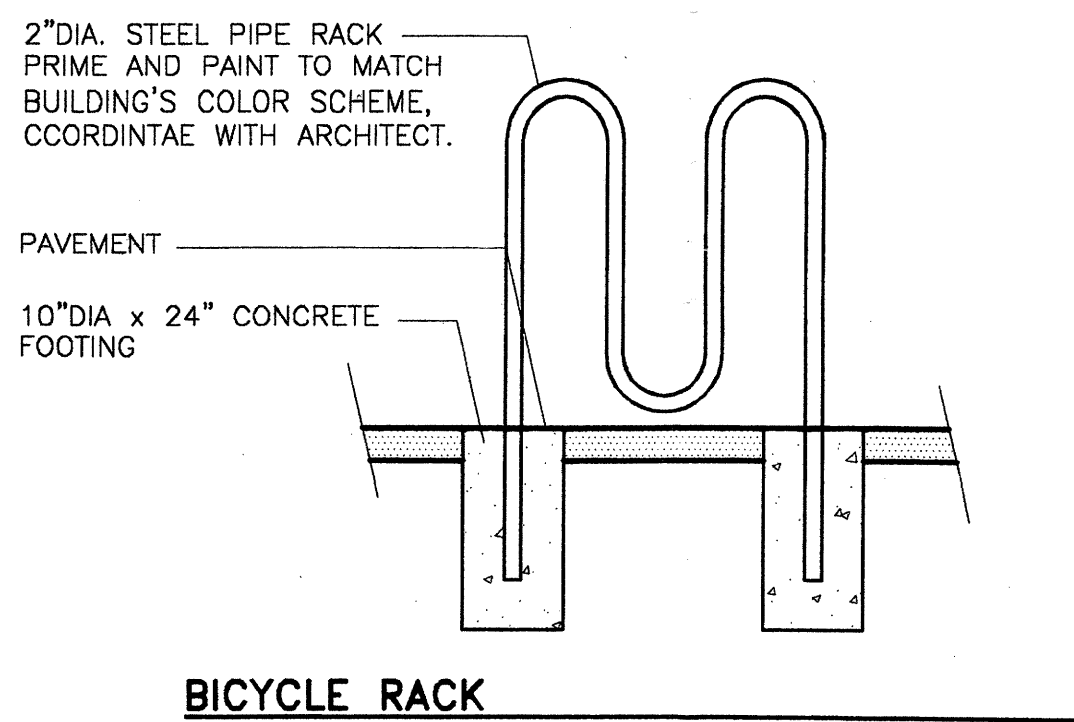
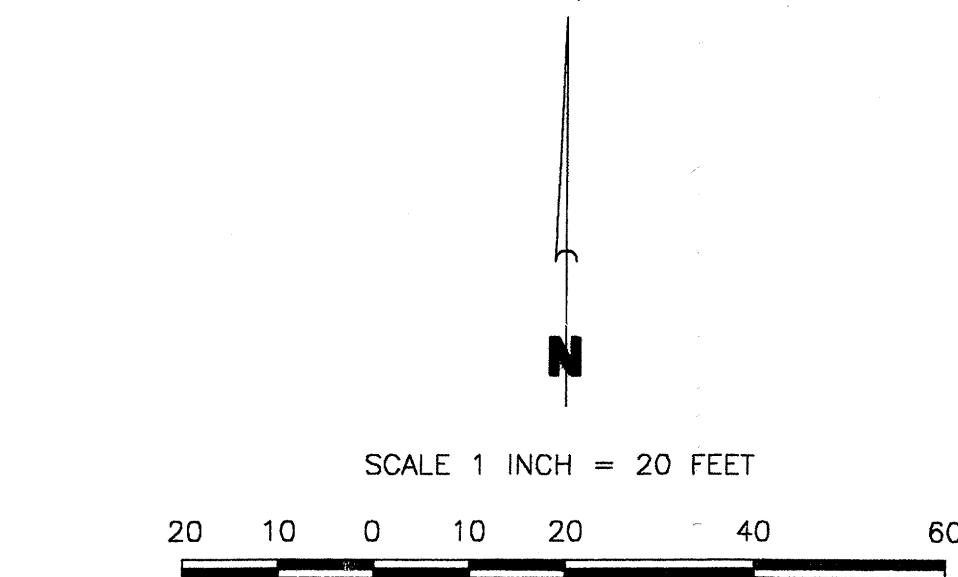
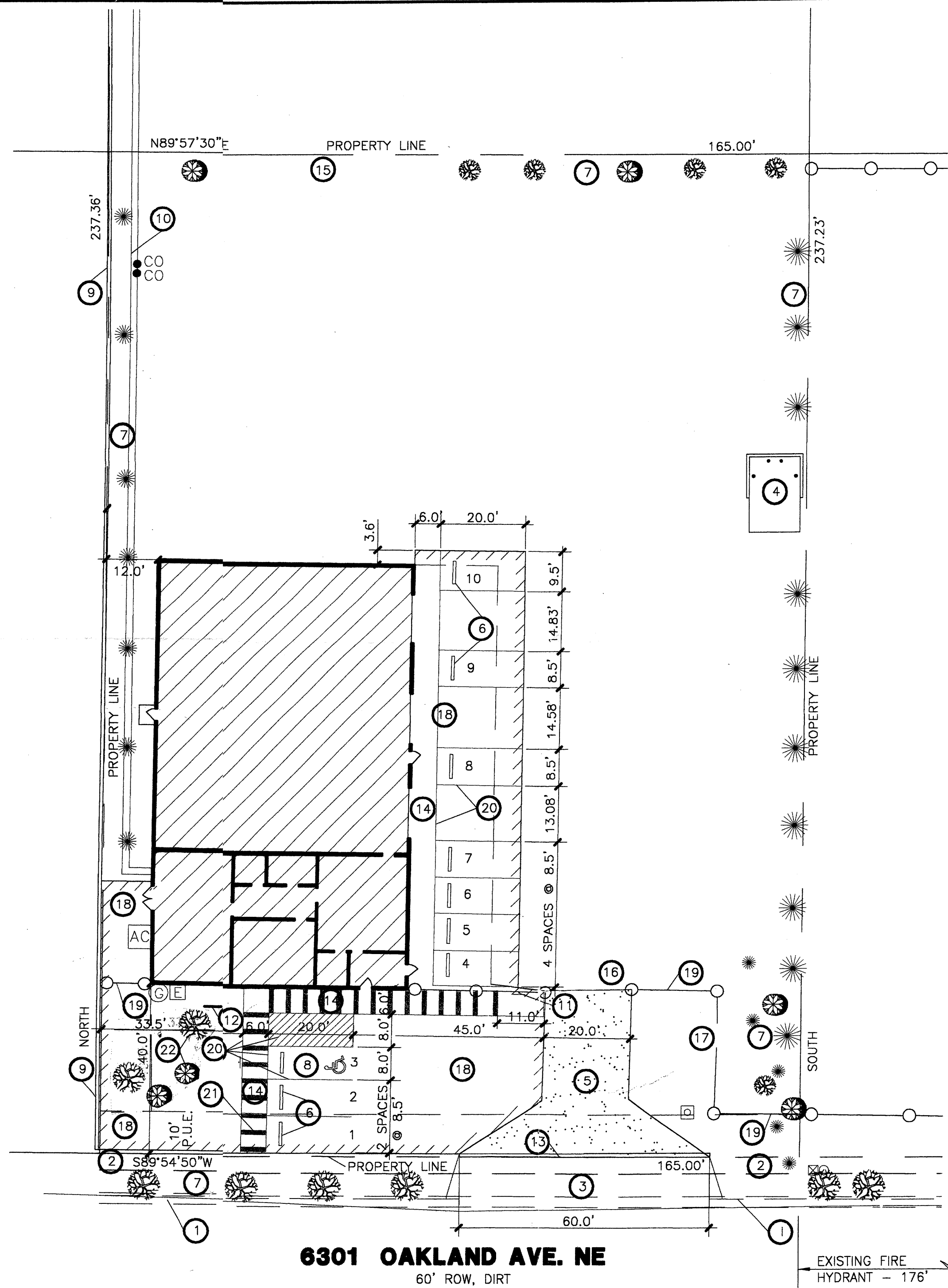




NOTES:

1. SIGNS SHALL CONFORM TO THE STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. HC STALL SIGNS SHALL BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL.
3. SIGNS SHALL BE MOUNTED ON A STURDY POST AT THE HEIGHT SPECIFIED HEREIN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
4. EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED FOR A PAIR OF STALLS WHEN PLACED BETWEEN THE TWO SPACES WITH APPROPRIATE ARROWS.
5. SIGNS SHALL BE LOCATED 40\"/>

SITE SIGNS

A&D PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE
8/24/10

KEYED NOTES

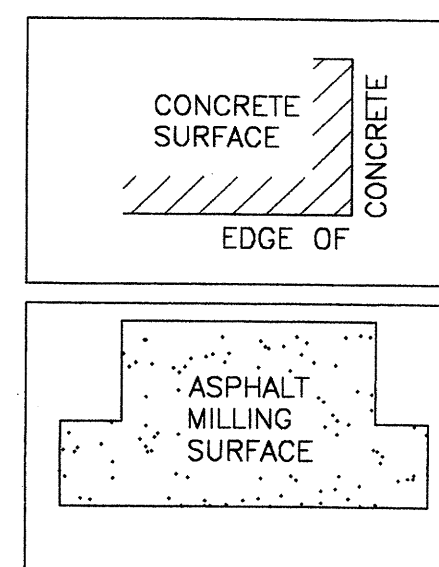
1. FUTURE CONCRETE STD. CURB & GUTTER PER COA STD. DWG. 2415A.
2. FUTURE 4' WIDE CONCRETE SIDEWALK ACROSS FRONTAGE PER COA STD. DWG. 2430.
3. PRESENT ASPHALT MILLINGS ACCESS POINT. FUTURE 60' WIDE CONCRETE DRIVEPAD PER COA STD. DWG. 2425.
4. REFUSE ENCLOSURE. STUCCO EAST SIDE OF EAST WALL. NOTE: OWNER IS REQUIRED TO REMOVE DUMPSTER FROM FENCED ENCLOSURE AND PLACE IT AT STREET SIDE ON CITY COLLECTION DAYS DUE TO CONTROLLED ACCESS INTO FENCED ENCLOSURE.
5. ENTRY DRIVEWAY. SURFACE WITH ASPHALT MILLINGS.
6. CONCRETE PARKING BUMPERS. ANCHOR TO CONCRETE SLAB.
7. LANDSCAPING IN COMPLIANCE WITH CITY ZONING ORDINANCE 14.16.3.10.
8. VAN ACCESSIBLE HC PARKING AND SIGN.
9. EXISTING 6' CMU WALL FENCE ON WEST PROPERTY LINE.
10. SAS AND WATER SERVICE LINES TO EXISTING MAINS IN EAGLE ROCK. AVE.
11. MOTORCYCLE PARKING.
12. BICYCLE RACK.
13. CUTOFF WALL PER COA STD. DWG. 2415B.
14. ALL CONCRETE WALKWAYS TO BE FLUSH WITH ADJACENT CONCRETE PAVEMENT.
15. 45' ROLLING GATE.
16. 20' ROLLING GATE.
17. WALK GATE.
18. CONCRETE PAVEMENT.
19. EXISTING 8' HIGH METAL FENCE AT FRONT OF LOT.
20. 4\"/>
21. 12\"/>
22. 5'x5' OPENINGS AT TREES & 3'x3' OPENINGS AT SHRUBS.

DRB AMMENDMENT APPROVAL

DRB PROJECT NO. : 1006760

Christina Sandoval	9/1/10
PARKS AND RECREATION DEPARTMENT	DATE
Bradley S. Bingham	9/1/10
CITY ENGINEER	DATE
Allan Pate	09/01/10
UTILITY DEVELOPMENT	DATE
TRANSPORTATION DEVELOPMENT	09-01-10
DATE	
Suzanne Busch	8/24/10
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
Sue Ba	8/24/2010
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON	9-14-10
	DATE

SYMBOLS



GENERAL INFORMATION

LEGAL DESCRIPTION: LOT 28A, BLOCK 27, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO

PROPOSED USE: VEHICLE IMPOUND LOT

CURRENT ZONING: SU-2/IP

STRUCTURE DATA: OFFICE AREA - 1891 S.F.
WAREHOUSE AREA - 4175 S.F.
TOTAL AREA - 6066 S.F.
SINGLE STORY - LESS THAN 26 FT. HIGH

PHASING: NO PHASING IS PROPOSED FOR THIS PROJECT.

PARKING CALCULATIONS

PARKING, REGULAR: REQUIRED PER COA CODE-- OFFICE: 1,538 SF NET LEASABLE SF = 7.7 SPACES
WAREHOUSE: 4,048 SF NET LEASABLE SF = 2.0 SPACES
9.7 REQUIRED

PROVIDED: 10 TOTAL SPACES

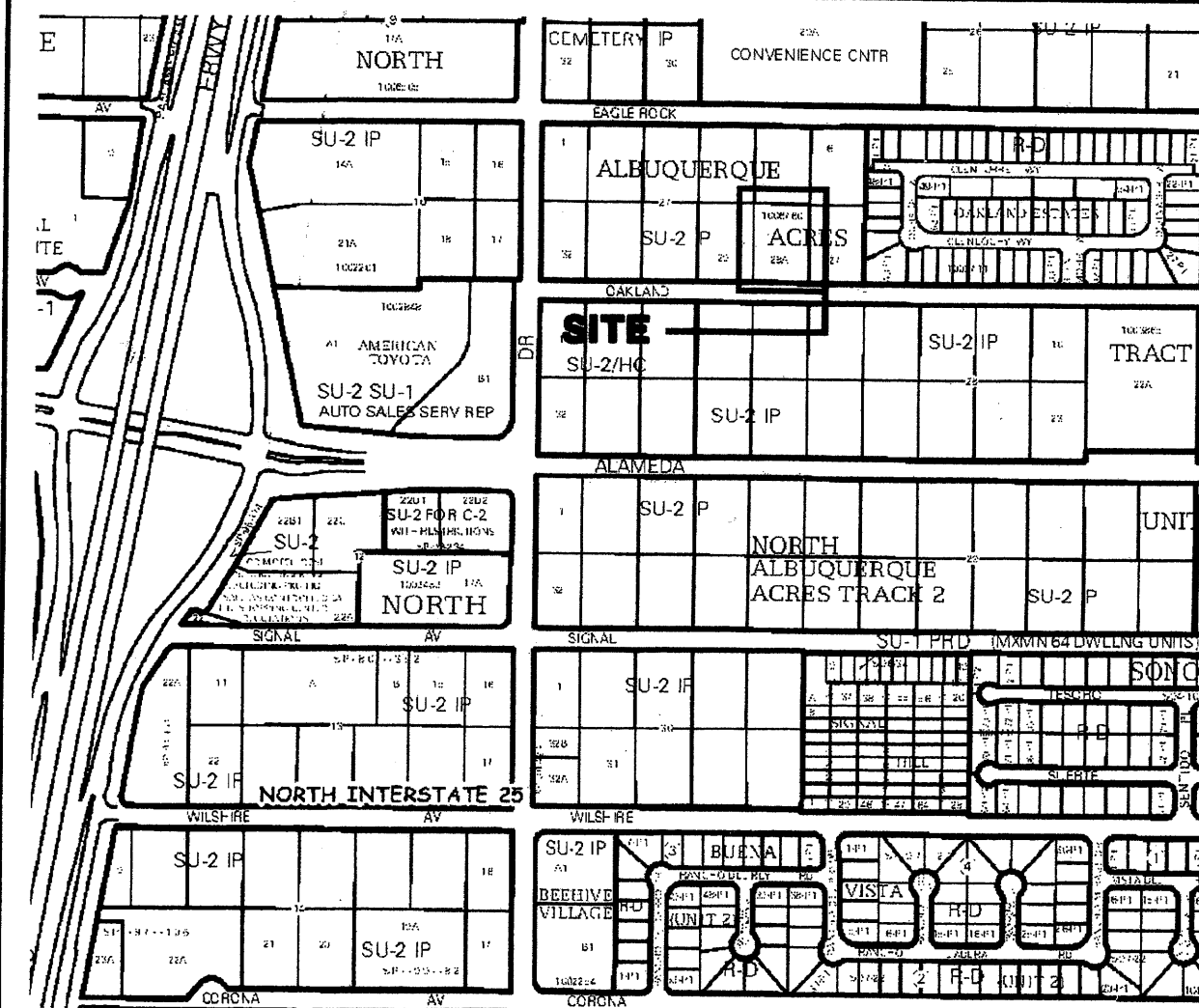
PARKING, HANDICAP: REQUIRED PER COA CODE: 1 SPACES (1 SPACE FOR 1-25 REGULAR SPACES)
PROVIDED: 1 VAN ACCESSIBLE

PARKING, MOTORCYCLE: REQUIRED PER COA CODE: 1 SPACE (1 SPACE PER 25 REGULAR SPACES)
PROVIDED: 1 SPACES

BICYCLE RACKS: REQUIRED PER COA CODE: 1 SPACE (1 SPACE PER 20 REGULAR SPACES)
PROVIDED: 1 SPACE

ADA NOTE: THERE ARE NO FIRE HYDRANTS, ELECTRIC-POLE OR OTHER OBSTRUCTIONS WHICH IN ADA PATHWAYS OR WOULD IMPEDE ADA PATHWAYS.

VICINITY MAP NO. C-18

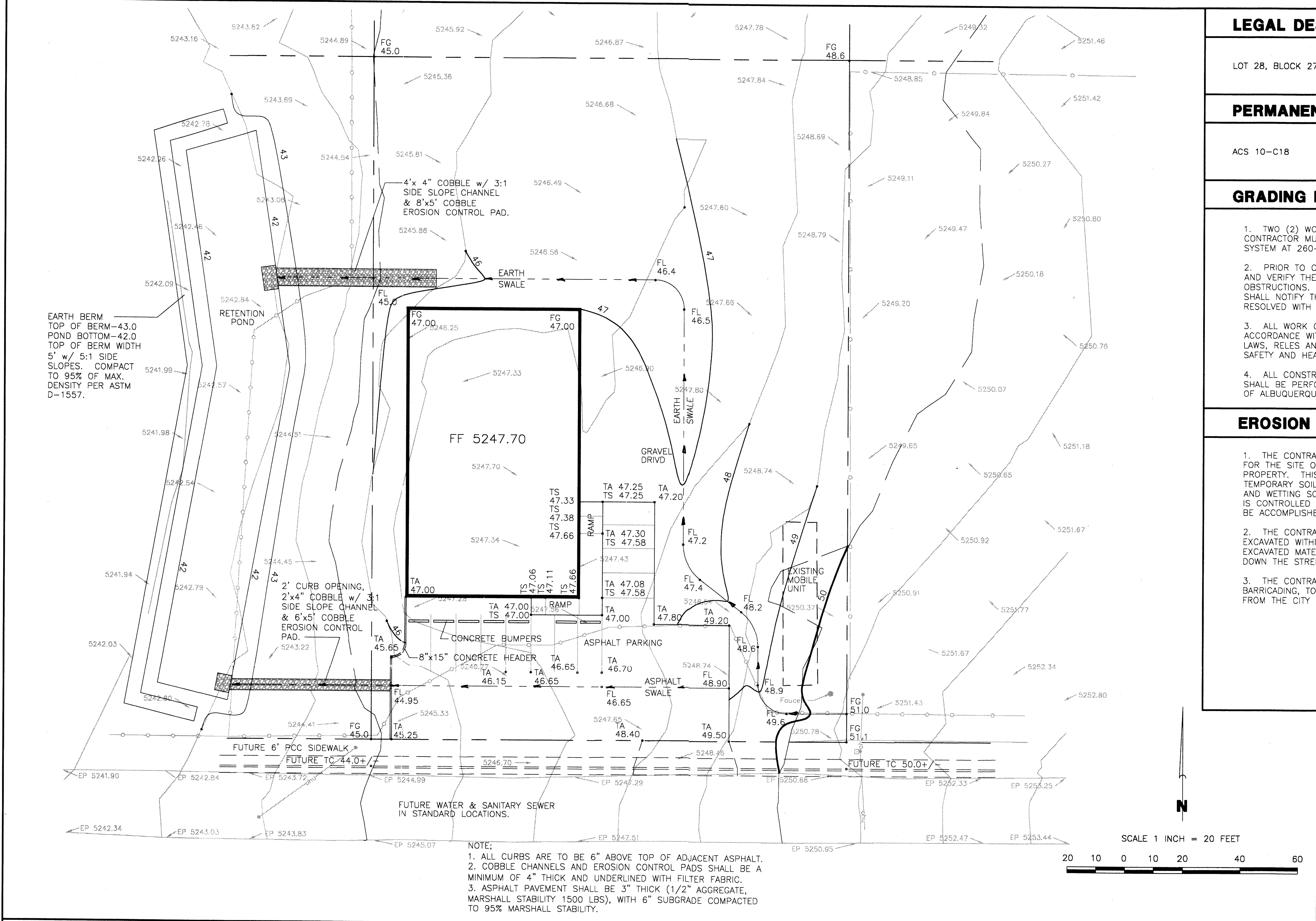


PLANT LEGEND

Quantity	Symbol	Plant	Planted Size	Mature H & W
Deciduous Shrubs (Drought Tolerant)				
		Syringa vulgaris Lilac	4.0'	15' by 10'
		Syringa chinensis Lilac	4.0'	9' by 7'
		Forsythia northern sun	4.0'	7' by 9'
Evergreen Trees (Drought Tolerant)				
		Ulmus parvifolia Lacebark Elm	8'-10'	70' by 35'
		Cupressus arizonica Arizona Cypress	6.0'	35' by 20'
		Pinus edulis Pison	6.0'	25' by 12'

DEC 20 2010

2		08/16/10	REVISE PARKING CALCULATIONS AND ORIENTATION	JJB
no.	date	remarks	by	
REVISIONS				
project title				
CORONADO				
6301 OAKLAND AVE NE				
ALBUQUERQUE, NM				
sheet title				
AMENDED SITE DEVELOPMENT PLAN				
sheet date		design by	project no.	
08/16/10		JJB	0710	
sheet				
of				
B BORDENAVE DESIGNS				
P.O. BOX 91194, ALBUQUERQUE, NM 87199				
(505)823-1344 FAX (505)821-9105				



OFFSITE DRAINAGE MAP

SCALE 1" = 200'

DRAINAGE DATA

CONDITION	B RETURN PERIOD S I N	STORM TYPE A T E	TREATMENT AREA (table 4)	TREATMENT AREA (table 4)	EXCESS PRECIPITATION (table 8)	PEAK RUNOFF (table 9)	RUNOFF VOLUME	RUNOFF RATE
			year	sq. ft.	in.	cfs/acre	cu. ft.	cfs
EXISTING	S I T E	A B C D TOTAL	10	A	0	0.19	0.58	0.00
				B	0	0.36	1.19	0.00
				C	39153	0.62	2	2023
				D	0	1.5	3.39	0.00
				TOTAL	39153		2023	1.80
		A B C D TOTAL	100	A	0	0.66	1.87	0.00
				B	0	0.92	2.6	0.00
				C	39153	1.29	3.45	4209
				D	0	2.36	5.02	0.00
				TOTAL	39153		4209	3.10
DEVELOPED	S I T E	A B C D TOTAL	10	A	0	0.19	0.58	0.00
				B	0	0.36	1.19	0.00
				C	26601	0.62	2	1374
				D	12552	1.5	3.39	1569
				TOTAL	39153		2943	2.20
		A B C D TOTAL	100	A	0	0.66	1.87	0.00
				B	0	0.92	2.6	0.00
				C	26601	1.29	3.45	2860
				D	12552	2.36	5.02	2409
				TOTAL	39153		5328	3.55

RETENTION POND

REQUIRED VOLUME (FROM DRAINAGE CALCULATIONS)

ACTUAL VOLUME
 $V_{10 \text{ day}} = 5328 + (12552)((4.90-2.60)/12) = 7734$
ALLOWED VOLUME
 $V_{10 \text{ day}} = 4209 + (0)((4.90-2.60)/12) = 4209$
3525 CF

PROVIDED VOLUME (FROM GRADING PLAN)

ELEVATION	AREA	VOLUME
42.0	4852	
43.0	7146	5999

LEGAL DESCRIPTION

LOT 28, BLOCK 27, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

PERMANENT BENCHMARK

ACS 10-C18 ELEVATION 5222.09 (NAD 88)

GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RELES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

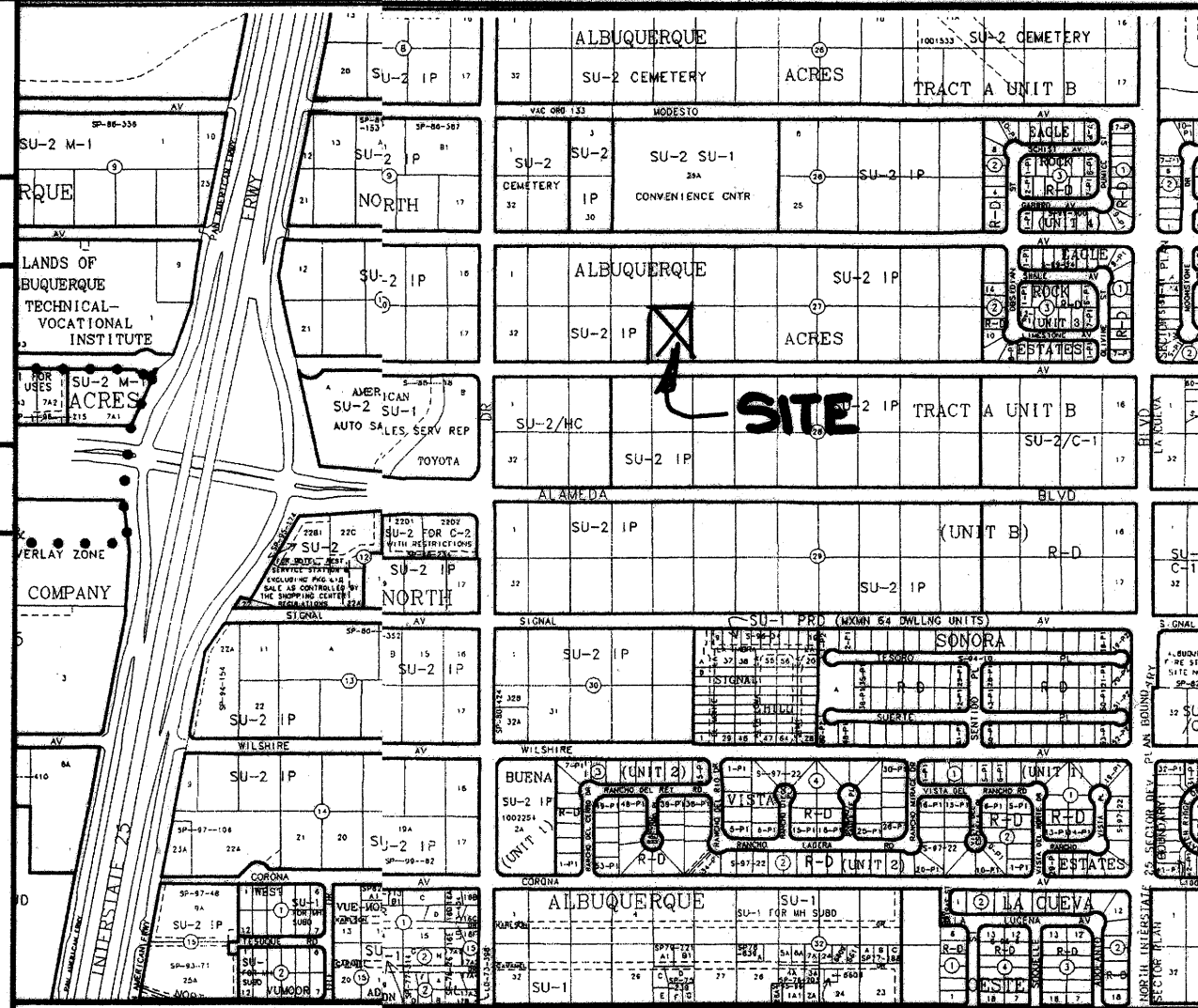
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

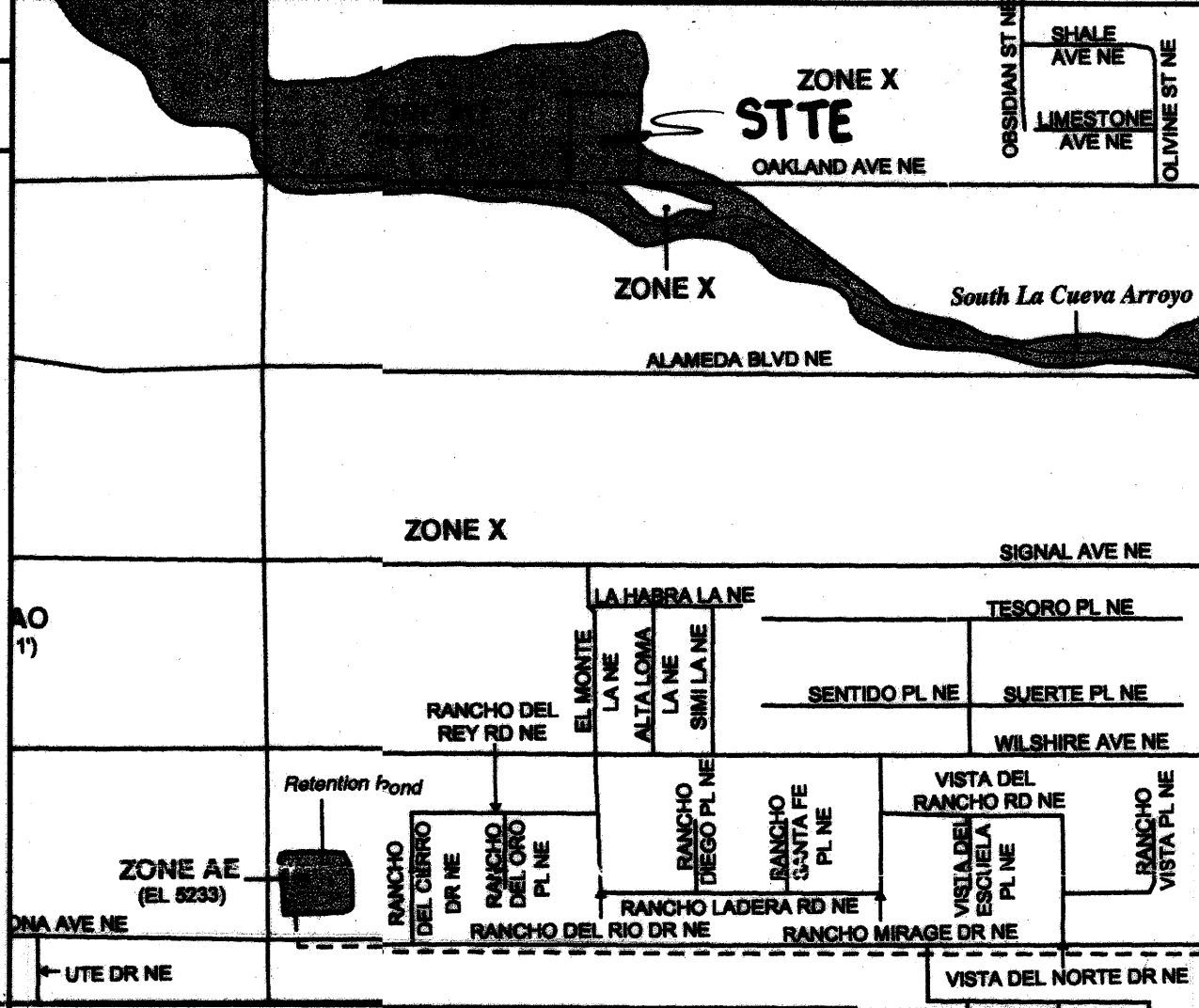
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

- FEMA FLOODPLAIN BOUNDARY
- DRAINAGE BASIN BOUNDARY
- EROSION SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- RECORD SPOT ELEVATION

VICINITY MAP NO. C-18

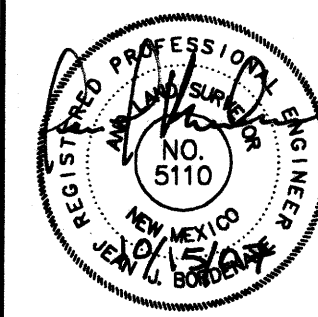


FEMA FIRM PANEL NO. 137



GENERAL NOTES

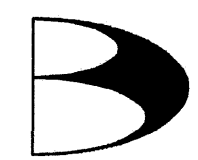
- THE SITE HAS BEEN USED FOR AN AUTO WRECKING YARD FOR A NUMBER OF YEARS AND IS DEVOID OF VEGETATION AND THERE ARE NO DEFINED FLOW PATHS. DRAINAGE ENTERING THE SITE IS IN A SHEET FLOW CONDITION AND IS LIMITED TO THE ABUTTING NORTH AND EAST LOTS. THE AREAS NORTH AND EAST OF THAT ARE ROUTED TO AN EXISTING STORM DRAIN SYSTEM.
- A MASTER DRAINAGE PLAN WAS PREPARED FOR THE AREA BY RESOURCE TECHNOLOGIES, INC. IN OCTOBER, 1998. THAT PLAN WAS REVISED IN THE AREA OF THE SUBJECT SITE MARK GOODWIN AND ASSOC. IN APRIL, 2004 UNDER THE TITLE "EAGLE ROCK STORM DRAIN ALLOCATION PLAN". THE ALLOCATION PLAN MOVED THE PROPOSED STORM DRAIN OAKLAND AVE. TO EAGLE ROCK AVE. AND ALLOCATED CONSTRUCTION COSTS OF THE SYSTEM TO AFFECTED PROPERTIES. THE ALLOCATED COST FOR THE SUBJECT PROPERTY IS \$9008.65.
- THE SUBJECT PROPERTY WILL BE A DEVELOPED ?ISLAND? SURROUNDED BY UNDEVELOPED PROPERTIES. IT IS PROPOSED THAT A SUBDIVISION IMPROVEMENT AGREEMENT BE USED TO GUARANTEE FINANCING OF FUTURE CONSTRUCTION OF INFRASTRUCTURE IN OAKLAND AVE. IN THE MEANTIME A RETENTION POND WILL BE CONSTRUCTED ON THE LOT ADJACENT TO THE SUBJECT LOT. THE POND WILL BE SIZED TO RETAIN THE RUNOFF INCREASE FROM EXISTING CONDITIONS FOR THE 100 YEAR, 10 DAY STORM. THE POND WILL BE ELIMINATED AND RUNOFF ROUTED TO THE STREET, WHEN OAKLAND AVE. IS PAVED, AT THE SUBJECT LOT OWNER'S EXPENSE.
- THERE IS A FLOW INCREASE OF 0.40 AND 0.45 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY DUE TO DEVELOPMENT. THE 6 HOUR RUNOFF VOLUMES FOR THE TWO STORMS INCREASE BY 920 AND 1117 CUBIC FEET, RESPECTIVELY. THE REQUIRED RETENTION POND IS 3525 C.F. AND THE PROVIDED POND HAS A MAXIMUM CAPACITY OF 5999 C.F.
- THE SITE IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA (ZONE AO) PER FEMA FIRM PANEL NO. 137, DATED NOVEMBER, 2003. THE MAP IS BEING UPDATED BASED ON CONSTRUCTION DISCUSSED IN ITEM 2.
- TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED HALL CARTESIAN SURVEYS, INC., DATED SEPTEMBER, 2007.



project title
**CORONADO
6301 OAKLAND AVE NE
ALBUQUERQUE, NM**

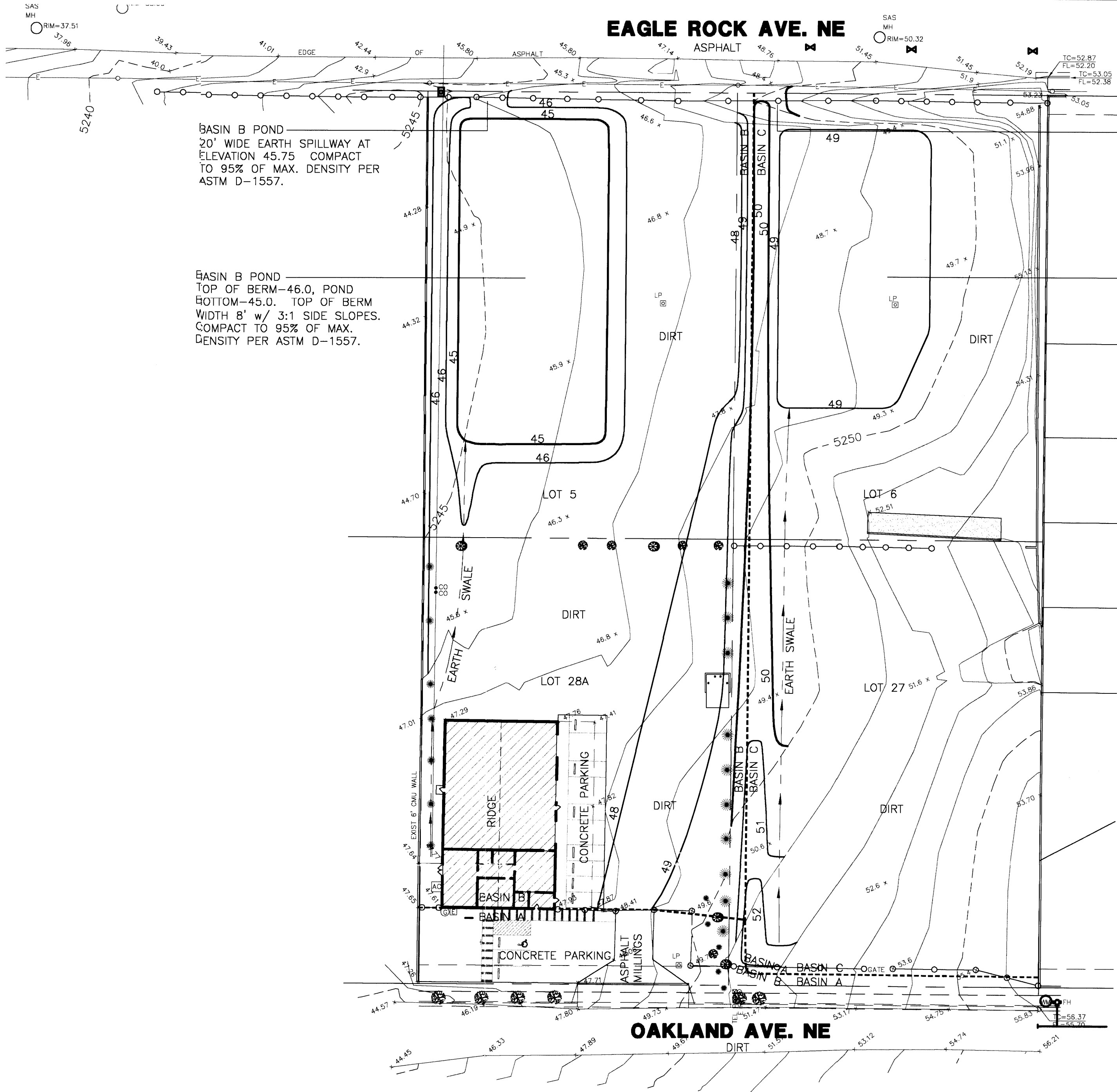
sheet title
GRADING & DRAINAGE PLAN

sheet date 09/27/07 design by JJB project no. 0710



BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

sheet
of



LEGAL DESCRIPTION

LOTS 5, 6, 27 & 28A, BLOCK 27, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

PERMANENT BENCHMARK

ACS 10-C18 ELEVATION 5222.090 (NAVD 88)

GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
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EROSION CONTROL NOTES

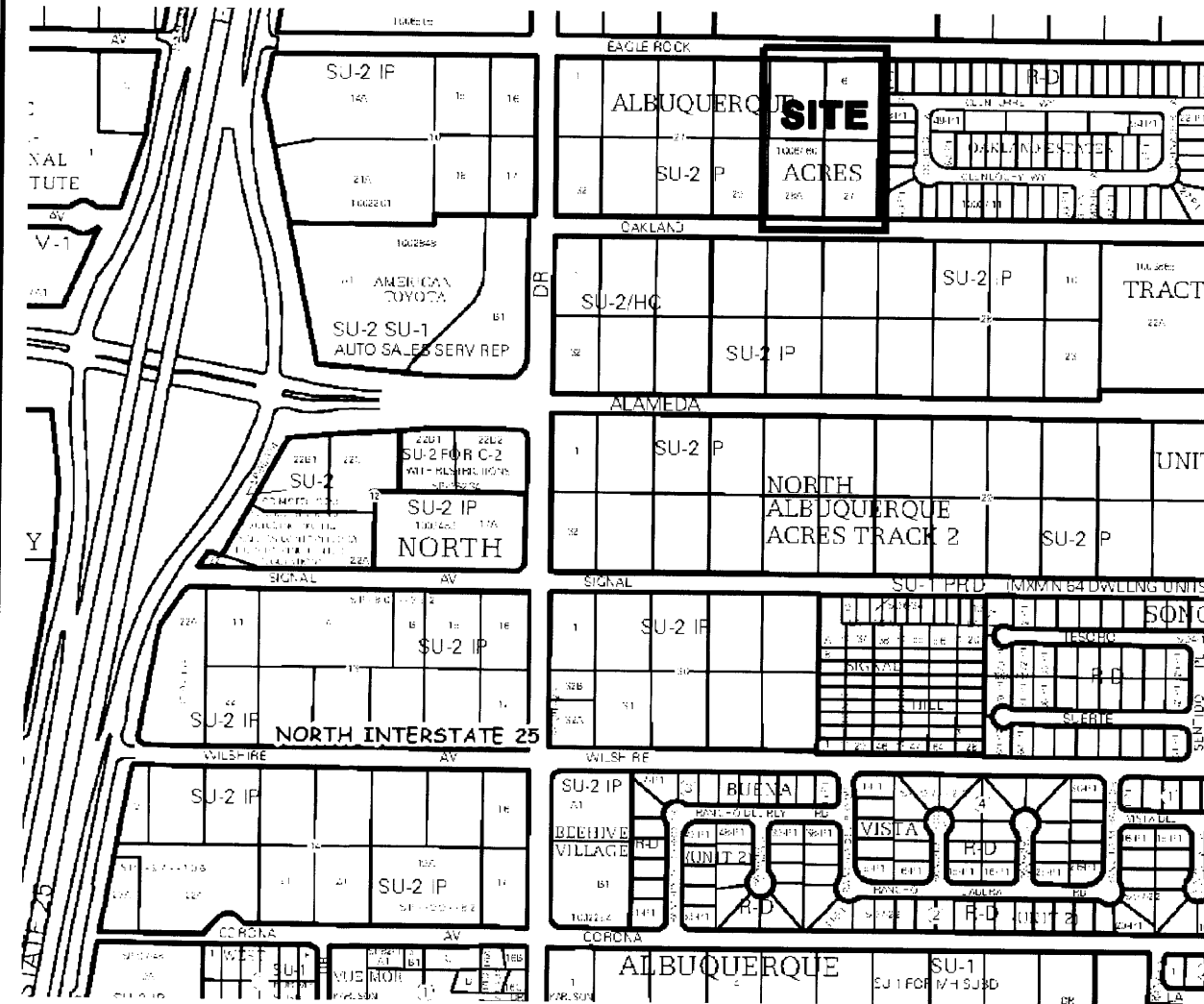
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UM ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

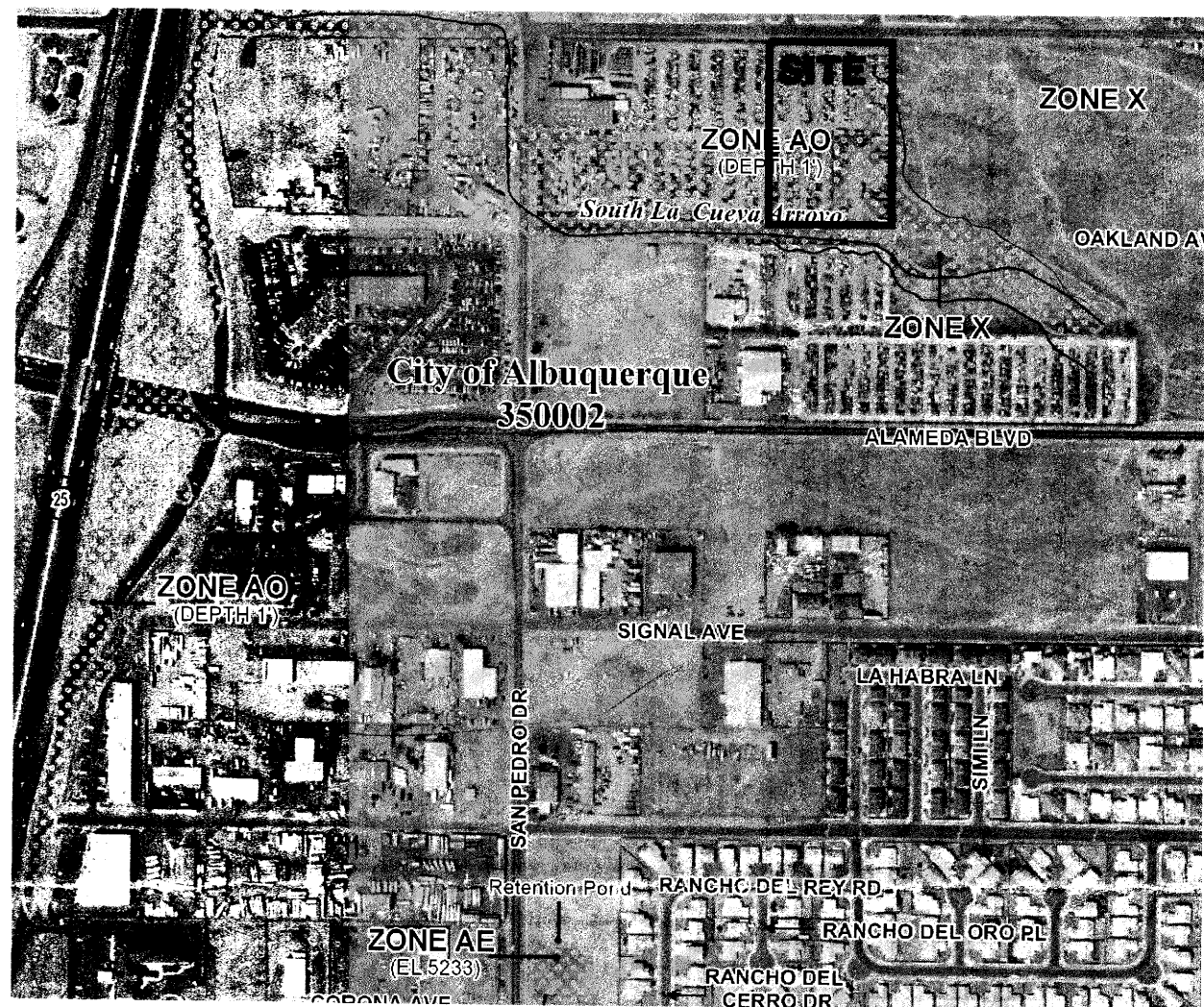
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WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS MATER
GV	GAS VALVE
LP	LIGHT POLE
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GW	GUY WIRE
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RD	ROOF DRAINAGE POINT

- FEMA FLOODPLAIN BOUNDARY
- DRAINAGE BASIN BOUNDARY
- EROSION SETBACK LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- RECORD SPOT ELEVATION

VICINITY MAP NO. C-18



FEMA FIRM PANEL NO. 137



GENERAL NOTES

- THIS SHEET SHOWS THE AS-BUILT CONDITIONS OF THE BUILDING, PAVING AND MASS GRADING AS OF JULY 16, 2010 AS WELL AS ADDITIONAL PROPOSED CONSTRUCTION.
- A MASTER DRAINAGE PLAN WAS PREPARED FOR THE AREA BY RESOURCE TECHNOLOGIES, INC. IN OCTOBER, 1998. THAT PLAN WAS REVISED IN THE AREA OF THE SUBJECT SITE BY MARK GOODWIN AND ASSOC. IN APRIL, 2004 UNDER THE TITLE "EAGLE ROCK STORM DRAIN ALLOCATION PLAN". THE ALLOCATION PLAN MOVED THE PROPOSED STORM DRAIN FROM OAKLAND AVE. TO EAGLE ROCK AVE. AND ALLOCATED CONSTRUCTION COSTS OF THE SYSTEM TO AFFECTED PROPERTIES.
- THE STREETSIDE PARKING LOT ON LOT 28A AND A SMALL STRIP ALONG THE STREET ON LOT 27 WILL DIRECT DISCHARGE TO OAKLAND AVE.

THE BALANCE OF LOTS 27A AND 28 AND ALL OF LOTS 4 AND 5 WILL BE DIRECTED TO TEMPORARY RETENTION PONDS. THE RETENTION PONDS WILL BE CONSTRUCTED ON LOTS 4 & 5 AND WILL OVERFLOW TO EAGLE ROCK. THE PONDS WILL BE SIZED TO RETAIN THE ENTIRE 100 YR., 10 DAY RUNOFF VOLUME GENERATED BY THE PROPOSED DEVELOPMENT EXCEPTING THAT PREVIOUSLY DESCRIBED AREA THAT DRAINS TO OAKLAND AVE. THE PONDS WILL BE ELIMINATED AND RUNOFF ROUTED TO THE STREET, AT THE LOT OWNERS EXPENSE, WHEN EAGLE ROCK IS COMPLETED.

THERE ARE NO FLOWS ENTERING THE SITE FROM OFFSITE.
- THERE IS A FLOW INCREASE OF 0.40 AND 0.45 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY DUE TO DEVELOPMENT. THE 6 HOUR RUNOFF VOLUMES FOR THE TWO STORMS INCREASE BY 920 AND 1117 CUBIC FEET, RESPECTIVELY. THE REQUIRED RETENTION POND IS 3525 C.F. AND THE PROVIDED POND HAS A MAXIMUM CAPACITY OF 5999 C.F.
- THE SITE IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA (ZONE AO) PER FEMA FIRM PANEL NO. 137, DATED NOVEMBER, 2003. THE MAP IS BEING UPDATED BASED ON CONSTRUCTION DISCUSSED IN ITEM 2 AND A RECENTLY CONSTRUCTED SINGLE FAMILY SUBDIVISION IMMEDIATELY EAST OF THE PROPOSED DEVELOPMENT.
- TOPOGRAPHY SHOWN ON THIS SHEET WAS OBTAINED BY ALDRICH SURVEYING, INC., DATED JULY, 2010.

RECEIVED
AUG 23 2010

HYDROLOGY
SECTION



project title
**CORONADO
6301 OAKLAND AVE NE
ALBUQUERQUE, NM**

sheet title
GRADING & DRAINAGE PLAN

sheet date 08/18/10 design by JJB project no. 0710



BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

sheet of 1006760

OFFSITE DRAINAGE MAP

SCALE 1" = 200'

THERE IS NO OFFSITE DRAINAGE

DRAINAGE DATA

EXISTING	PERIOD	IN	year	(table 4)		(table 8)		(table 9)		cu. ft.	cfs
				A	sq. ft.	B	in.	C	cfs/acre		
EXISTING	S	10	A	0	0.19	0.58	0	0.00	0	0.00	0.00
			B	0	0.36	1.19	0	0.00	0	0.00	0.00
			C	156510	0.62	2	8086	7.19	0	0.00	0.00
			D	0	1.5	3.39	0	0.00	0	0.00	0.00
DEVELOPED	A	100	A	0	0.66	1.87	0	0.00	0	0.00	0.00
			B	0	0.92	2.6	0	0.00	0	0.00	0.00
			C	156510	1.29	3.45	16825	12.40	0	0.00	0.00
			D	0	2.36	5.02	0	0.00	0	0.00	0.00
B	10	100	A	0	0.66	1.87	0	0.00	0	0.00	0.00
			B	0	0.92	2.6	0	0.00	0	0.00	0.00
			C	2610	1.29	3.45	281	0.21	0	0.00	0.00
			D	5155	2.36	5.02	1014	0.59	0	0.00	0.00
C	10	100	A	0	0.66	1.87	0	0.00	0	0.00	0.00
			B	0	0.92	2.6	0	0.00	0	0.00	0.00
			C	66270	1.29	3.45	7124	5.25	0	0.00	0.00
			D	9255	2.36	5.02	1820	1.07	0	0.00	0.00
D	10	100	A	0	0.66	1.87	0	0.00	0	0.00	0.00
			B	0	0.92	2.6	0	0.00	0	0.00	0.00
			C	72400	1.29	3.45	7783	5.73	0	0.00	0.00
			D	820	2.36	5.02	161	0.09	0	0.00	0.00

RETENTION PONDS

BASIN B POND

VOLUME
REQUIRED POND VOLUME (FROM DRAINAGE CALCULATIONS)
10 DAY RUNOFF VOLUME
 $V_{10 \text{ day}} = 8944 + (9255)((4.90 - 2.60)/12) = 10718 \text{ CF}$

PROVIDED POND VOLUME (FROM GRADING PLAN)

ELEVATION	AREA	VOLUME
45.0	13695	
45.75	16669	11386 CF

SPILLWAY
BROAD CRESTED WEIR
100 YR, 6 HR PEAK FLOW FROM TABLE = 6.32 CFS
 $Q = CLH^{3/2} w/ C = 2.6, L = 20'$
REQUIRED H = 0.25', PROVIDED H = 0.25'

BASIN C POND

VOLUME
REQUIRED POND VOLUME (FROM DRAINAGE CALCULATIONS)
10 DAY RUNOFF VOLUME
 $V_{10 \text{ day}} = 7944 + (820)((4.90 - 2.60)/12) = 8101 \text{ CF}$

PROVIDED POND VOLUME (FROM GRADING PLAN)

ELEVATION	AREA	VOLUME
49.0	11540	
49.6	16890	8529 CF

SPILLWAY
BROAD CRESTED WEIR
100 YR, 6 HR PEAK FLOW FROM TABLE = 5.83 CFS
 $Q = CLH^{3/2} w/ C = 2.6, L = 10'$
REQUIRED H = 0.37', PROVIDED H = 0.40'

