

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

September 21, 2020

Jeremy Shell
RESPEC
5971 Jefferson St. NE Ste. 101
Albuquerque, NM 87113

RE: **Legacy Apartments 2**
San Pedro and Alameda NE
Permanent C.O. - Approved
Engineer's Certification Date: 8/31/20
Engineer's Stamp Date: 1/2/19
Hydrology File: C18D083

PO Box 1293

Dear Mr. Shell:

Albuquerque

Based on the certification received 9/15/20 and a site visit on 9/18/20, this certification is approved for Permanent Certificate of Occupancy.

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Legacy NAA Apartments 2 **Building Permit #:** _____ **Hydrology File #:** C18D083

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: San Pedro and Alameda, Albuquerque, NM

Applicant: RESPEC **Contact:** Jeremy Shell

Address: 5971 Jefferson St. NE, Suite 101, Albuquerque, NM 87109

Phone#: (505)253-9811 **Fax#:** _____ **E-mail:** jeremy.shell@respec.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

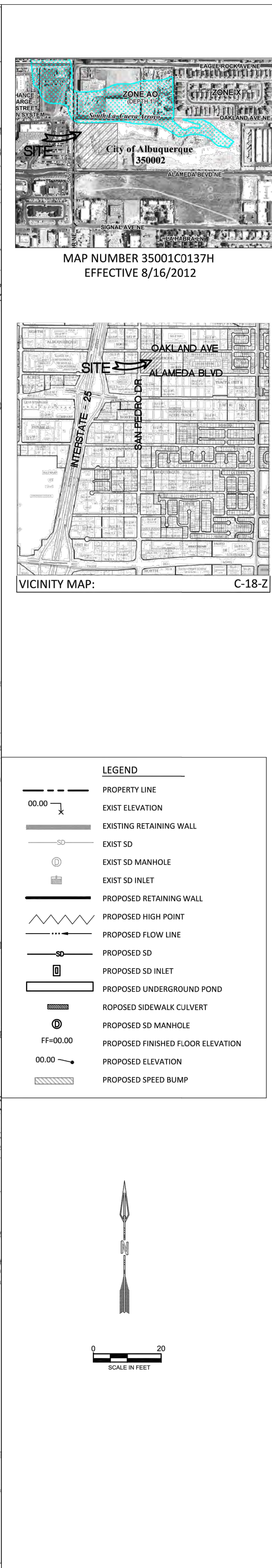
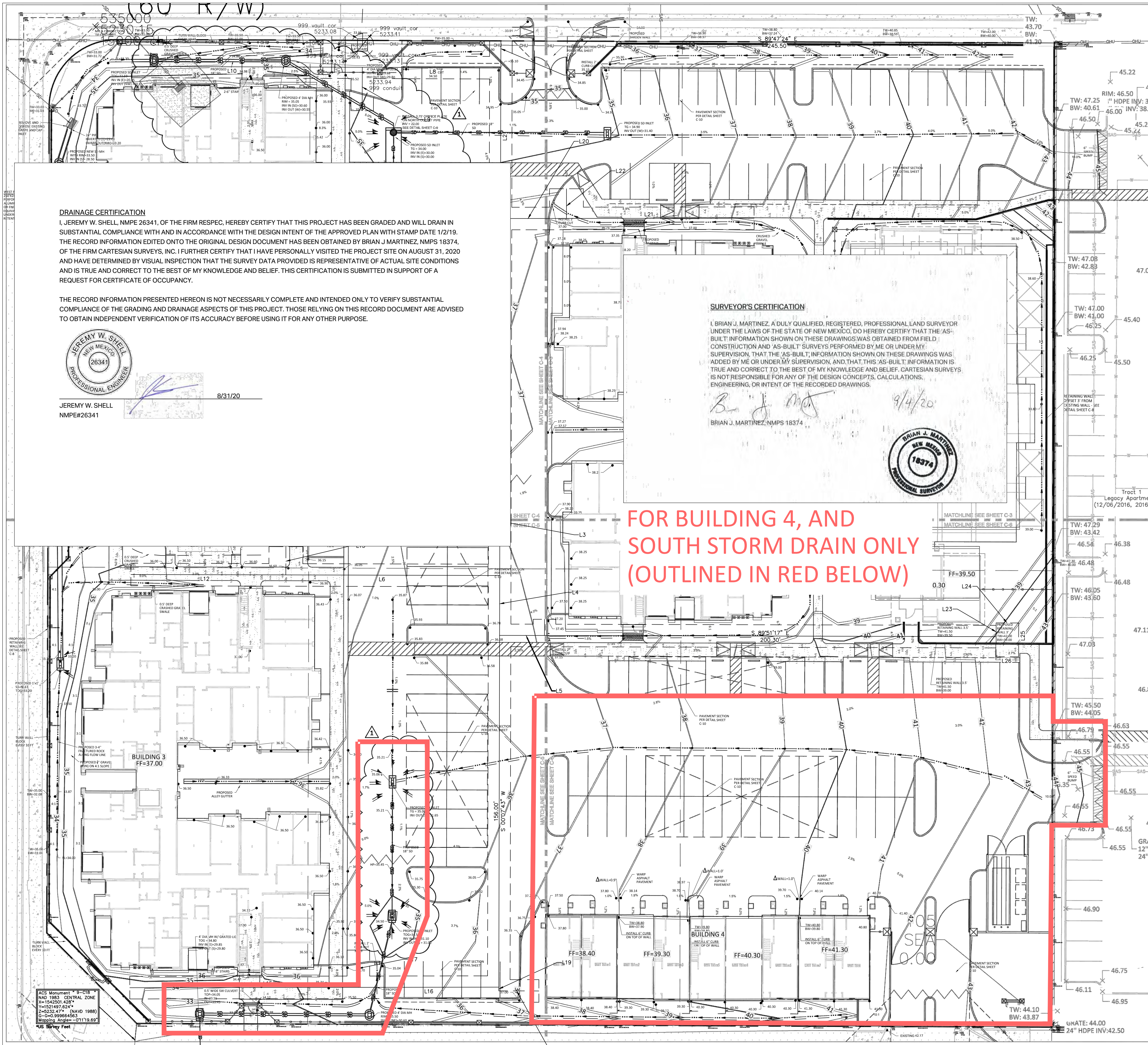
- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 9/2/20 **By:** Jeremy Shell

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



DRAINAGE CERTIFICATION

I, JEREMY W. SHELL, NMPE 26341, OF THE FIRM RESPEC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN WITH STAMP DATE 1/2/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN J MARTINEZ, NMPS 18374, OF THE FIRM CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AUGUST 31, 2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



JEREMY W. SHELL
NMPE#26341

8/31/20

SURVEYOR'S CERTIFICATION

I, BRIAN J. MARTINEZ, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORDED DRAWINGS.

BRIAN J. MARTINEZ, NMPS 18374



FOR BUILDING 4, AND
SOUTH STORM DRAIN ONLY
(OUTLINED IN RED BELOW)

LEGEND

- PROPERTY LINE
- EXIST ELEVATION
- EXISTING RETAINING WALL
- EXIST SD
- EXIST SD MANHOLE
- EXIST SD INLET
- PROPOSED RETAINING WALL
- PROPOSED HIGH POINT
- PROPOSED FLOW LINE
- PROPOSED SD
- PROPOSED SD INLET
- PROPOSED UNDERGROUND POND
- PROPOSED SIDEWALK CULVERT
- PROPOSED SD MANHOLE
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED ELEVATION
- PROPOSED SPEED BUMP

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

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REVISIONS

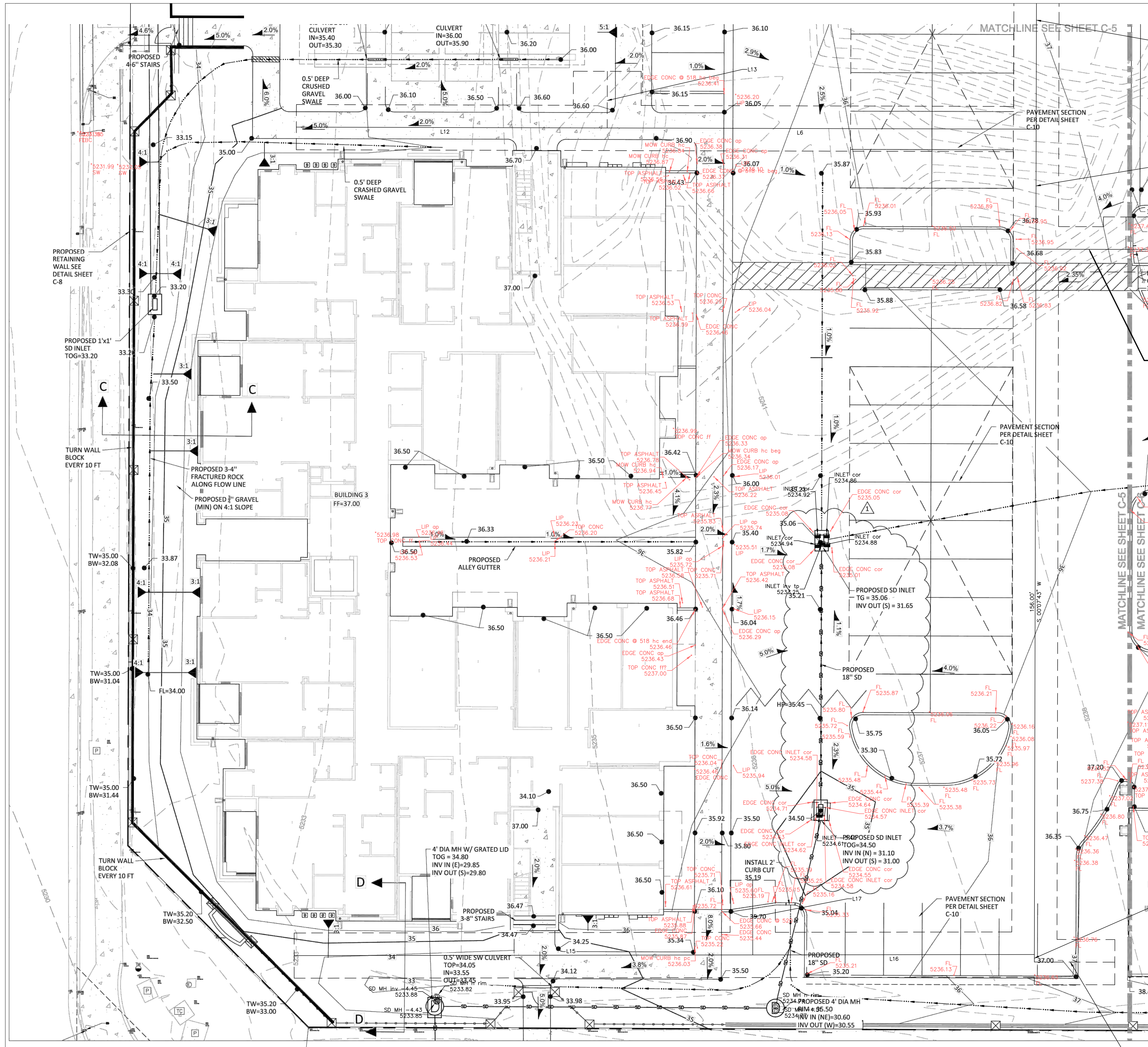
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|-----|--------|-----------------------|
| 1 | 1/2/19 | RESIZE UNDERGROUND SD |
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| | | |

FIRST CITY SUBMITTAL

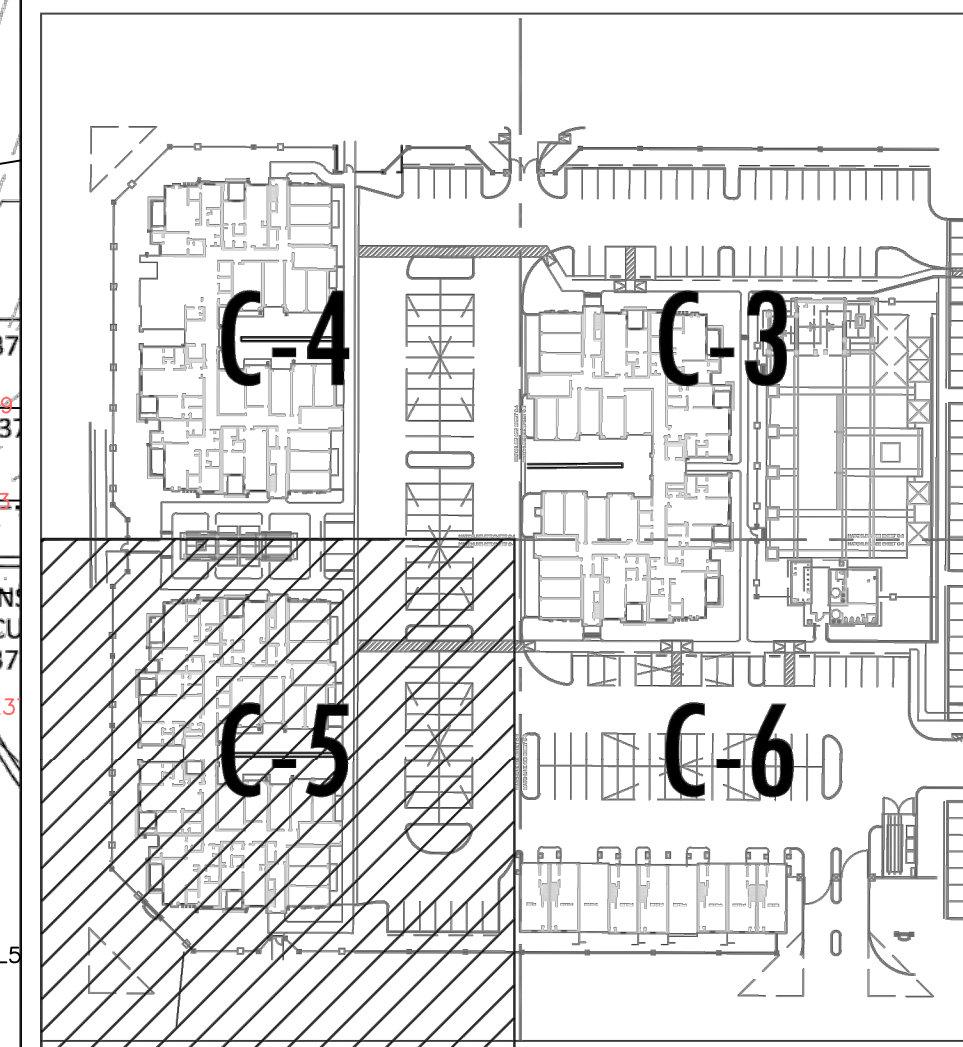
DATE: JANUARY 24, 2019 ORB # 17-219

C-2

SITE GRADING - OVERALL



NOTE: ALL PROPOSED SPOT ELEVATIONS
INDICATE FLOW LINE SPOT ELEVATIONS



		PROPERTY LINE
		EXIST ELEVATION
		EXISTING RETAINING WALL
		EXIST SD
		EXIST SD MANHOLE
		EXIST SD INLET
		PROPOSED RETAINING WALL
		PROPOSED HIGH POINT
		PROPOSED FLOW LINE
		PROPOSED SD
		PROPOSED SD INLET
		PROPOSED UNDERGROUND POND
		PROPOSED SIDEWALK CULVERT
		PROPOSED SD MANHOLE
		PROPOSED FIRST FLOOR ELEVATION
		PROPOSED ELEVATION
		PROPOSED SPEED BUMP

RESPEC

5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NEW MEXICO 87109
WATER & NATURAL RESOURCES
WWW.RESPEC.COM

**MARKANA
APARTMENTS - II**

SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com



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REVISIONS	
 1	1/2/19 RESIZE UNDERGROUND SD
	
	
	
	
	

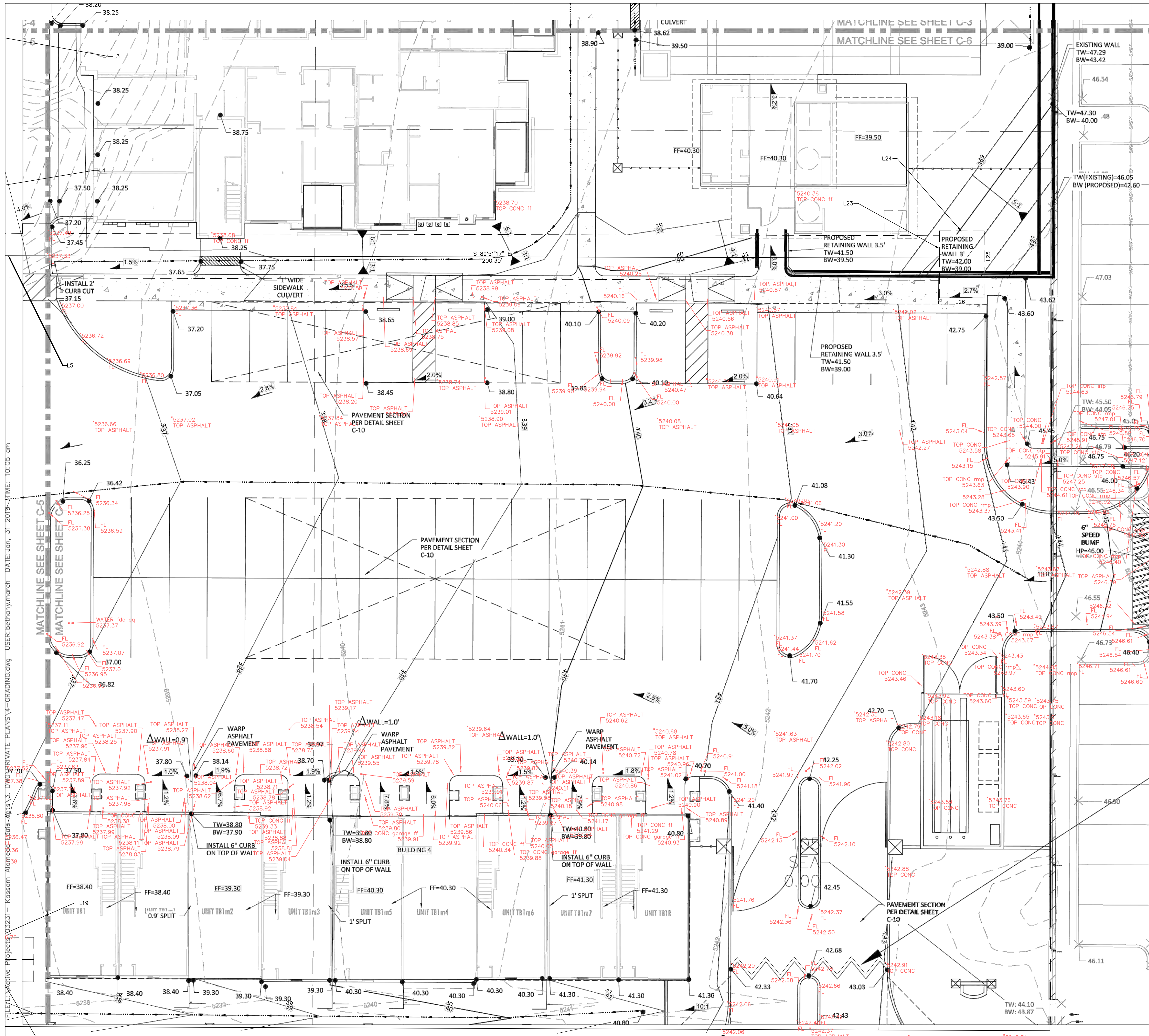
FIRST CITY SUBMITTAL

DATE: JANUARY 24, 2019 ORB # 17-219

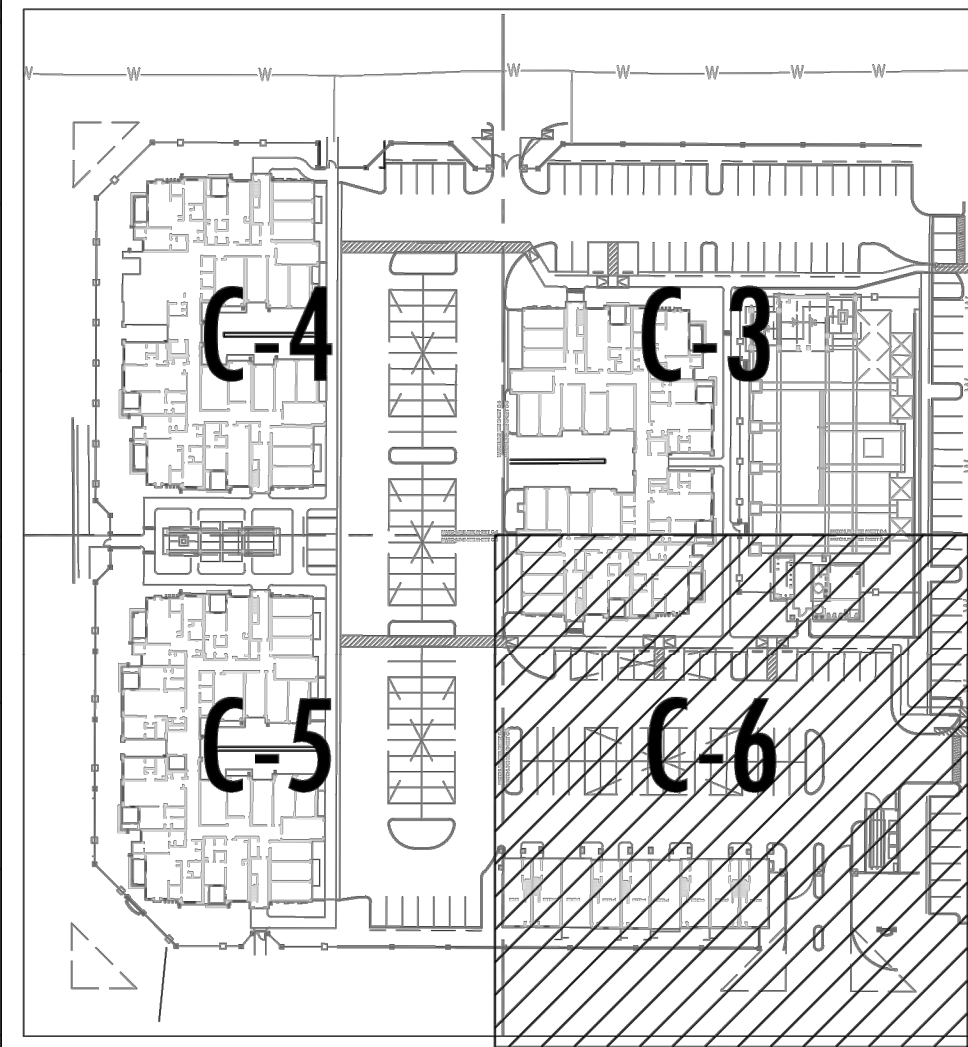
C-5

SITE GRADING

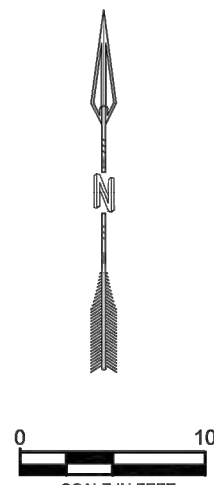
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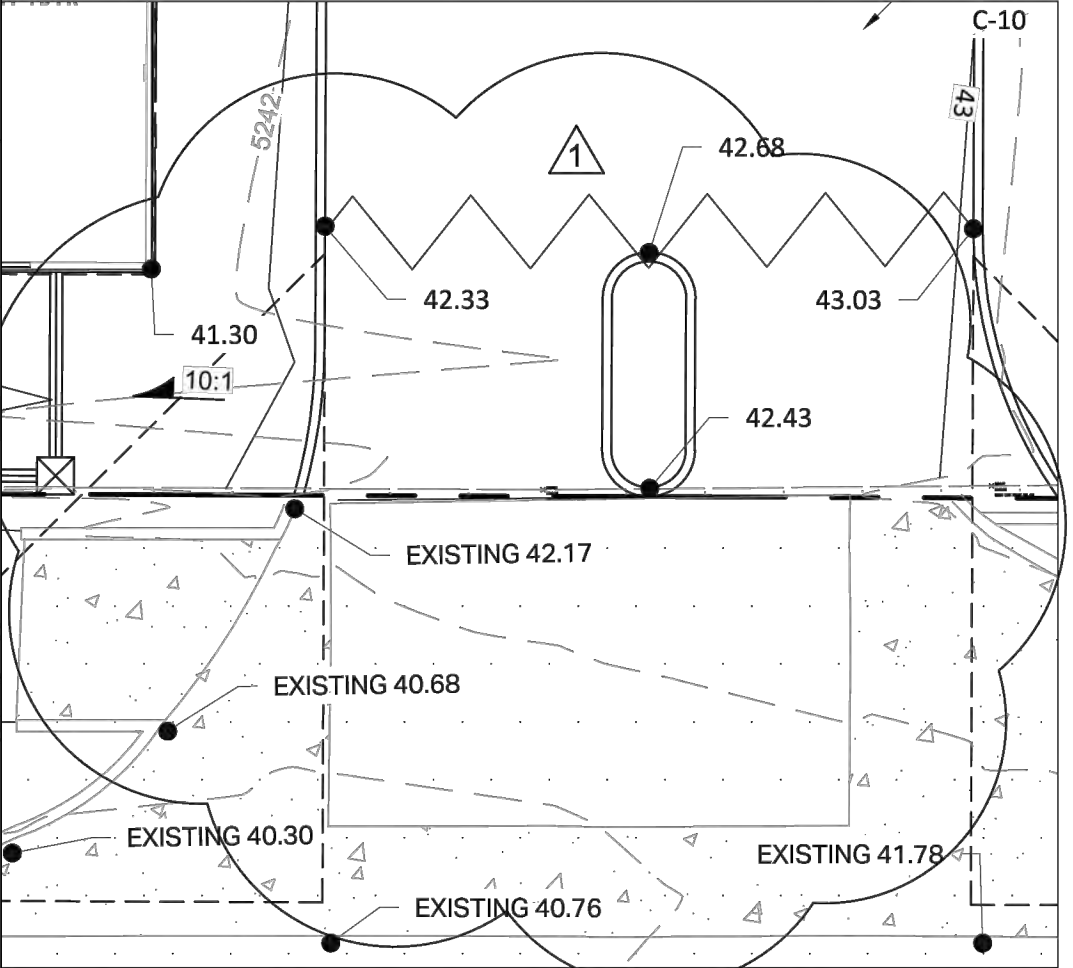
NOTE: ALL PROPOSED SPOT ELEVATIONS
INDICATE FLOW LINE SPOT ELEVATIONS



LEGEND	
	PROPERTY LINE
	EXIST ELEVATION
	EXISTING RETAINING WALL
	EXIST SD
	EXIST SD MANHOLE
	EXIST SD INLET
	PROPOSED RETAINING WALL
	PROPOSED HIGH POINT
	PROPOSED FLOW LINE
	PROPOSED SD
	PROPOSED SD INLET
	PROPOSED UNDERGROUND POND
	PROPOSED SIDEWALK CULVERT
	PROPOSED SD MANHOLE
	PROPOSED FINISHED FLOOR ELEVATION
	PROPOSED ELEVATION
	PROPOSED SPEED BUMP



SOUTH DRIVEWAY CONNECTION



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REVISIONS	
	Driveway modifications 12.14.18
FIRST CITY SUBMITTAL	

DATE: JANUARY 24, 2019 ORB# 17-219

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SITE GRADING