

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 25, 2021

Jeremy Shell
RESPEC
5971 Jefferson St. NE Suite 101
Albuquerque, NM 87109

**Re: Legacy NAA Apartments 2, Bldgs. 3,5&6, Pool & Ramada
Alameda & San Pedro
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 7-12-18 (C18D083)
Certification dated 1-11-21**

Dear Mr. Shell,

PO Box 1293

Based upon the information provided in your submittal with pictures received 1-25-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

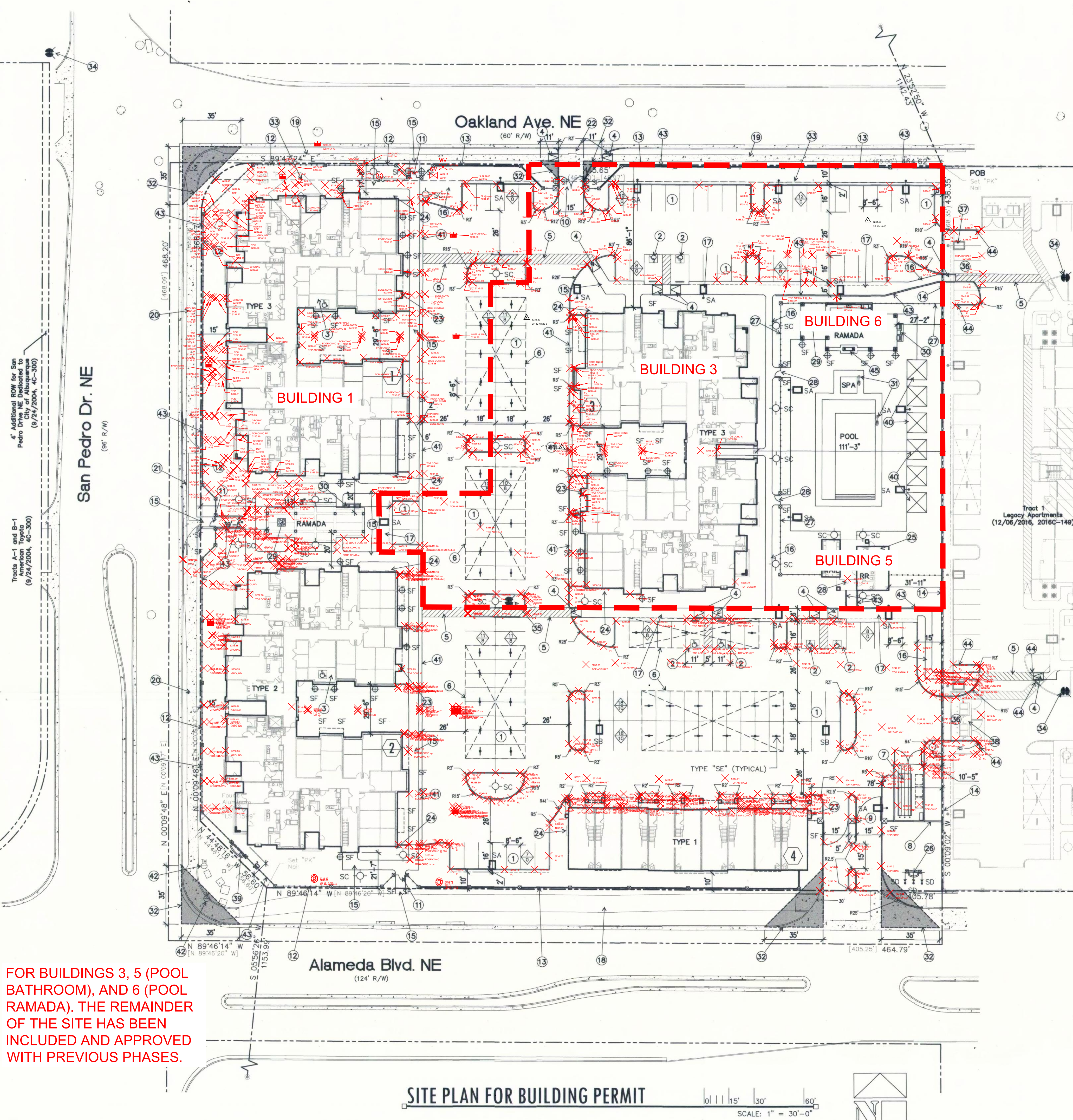
Jeanne Wolfenbarger

www.cabq.gov

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



FOR BUILDINGS 3, 5 (POOL BATHROOM), AND 6 (POOL RAMADA). THE REMAINDER OF THE SITE HAS BEEN INCLUDED AND APPROVED WITH PREVIOUS PHASES.

SITE PLAN FOR BUILDING PERMIT

SCALE: 1" = 30'-0"

KEYNOTES

- 8.5'x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL, SEE DETAIL 01/A1.20.
- 11'x18' ACCESSIBLE PARKING SPACE WITH 2' OVERHANG, SEE DETAIL 05/A1.20.
- ACCESSIBLE GARAGE SPACE.
- ACCESSIBLE CURB RAMP, SEE DETAIL 08/A1.20.
- ACCESSIBLE DRIVEWAY CROSSING WITH SCORED CONCRETE.
- INDICATES LOCATION OF CARPORT PARKING STRUCTURE, SEE DETAIL 06/A1.20.
- 39' CU. YDS. TRASH COMPACTOR ENCLOSURE SURROUNDED BY 8' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 13/A1.20.
- 8' H. CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 07/A1.20.
- RESIDENT ONLY REMOTE CONTROL ENTRY VEHICULAR GATE, SEE DETAIL 28/A1.21.
- EXIT ONLY VEHICULAR GATE, SEE DETAIL 44/A1.22.
- PEDESTRIAN ENTRY GATE, SEE DETAIL 23/A1.21.
- WROUGHT IRON PERIMETER VIEW FENCE, SEE DETAIL 18 & 19/A1.21.
- CMU/WROUGHT IRON COMBO PERIMETER FENCE, SEE DETAIL 17/A1.21.
- EXISTING CMU RETAINING WALL WITH WROUGHT IRON FENCE ON TOP, REMOVE AT NEW DRIVEWAYS AND SIDEWALK CONNECTIONS TO PHASE 1.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS AND CONNECTING BUILDINGS.
- 4' SIDEWALK, TYPICAL ON SITE.
- 8' SIDEWALK, TYPICAL AT PARKING, SEE DETAIL 09/A1.20.
- EXISTING 10' MULTI-USE ASPHALT TRAIL, 4' FROM STREET CURB AT ALAMEDA BLVD.
- EXISTING 6' SIDEWALK DETACH 6' FROM STREET CURB AT OAKLAND AVE.
- EXISTING 6' SIDEWALK DETACH 3' FROM STREET CURB AT SAN PEDRO DR.
- REMOVE EXISTING DRIVEWAY AND REPLACE WITH NEW CURB AND SIDEWALK TO MATCH EXISTING.
- NEW CURB CUT DRIVEWAY.
- FIRE RISER LOCATION, SEE BUILDING PLANS, ALL BUILDINGS SHALL HAVE PIV.
- ELECTRIC SERVICE LOCATION.
- POOL EQUIPMENT ROOM.
- MONUMENT SIGN NEXT TO ALAMEDA ENTRY DRIVE, SEE DETAIL 29/A1.21.
- WROUGHT IRON POOL FENCE, SEE DETAIL 18 & 19/A1.21.
- FIRE PIT, SEE DETAIL 32/A1.22.
- GAS GRILLS, SEE DETAIL 38/A1.22.
- POOL LIFT, SEE DETAIL 43/A1.22.
- SIGHT VISIBILITY: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- EXISTING 10' PNM EASEMENT (1/13/2017, DOC. NO. 201703527).
- EXISTING FIRE HYDRANT.
- NEW FIRE HYDRANT.
- DRIVEWAY CONNECTION TO EXISTING PHASE 1 PROJECT. REMOVE EXISTING CMU WALL AS NEEDED. RELOCATE EXISTING LIGHT POLE.
- REMOVE EXISTING TRASH ENCLOSURE.
- MONUMENT SIGN AT SWC, SEE DETAIL 30/A1.21.
- POOL CABANA, SEE DETAIL 35/A1.22.
- MOUNTABLE CURB "ESTATE TYPE" PER CITY DETAIL 2415A, SEE DETAIL 42/A1.22.
- EXISTING TRAFFIC MAST.
- NEW RETAINING WALL, PER GRADING PLANS.
- CONNECT TO EXISTING CURB ON PHASE 1.
- VENT-LESS 2-SIDED GAS FIREPLACE.

UNIT MIX

	UNIT TYPE												UNITS/BLDG	NO. BLDGS	TOTAL UNITS
	S1	A1	A2	A3	B2	B2m	B2H	B4	B5	TB1	TB1m	TB1m2			
LIVABLE	587	728	768	768	1,194	1,216	1,216	1,188	1,121	1,242	1,286	1,330			
STOR/GAR	23	13	26	26	22	22	22	21	15	501	517	533			
PAT/BAL	60	59	67	67	67	57	57	97	57	56	56	68			
BLDG TYPE 1													8	1	8
BLDG TYPE 2	6	6	4		4	3	4	1	8	6			42	1	42
BLDG TYPE 3	6	6	3	1	4	4	4		6	6			42	2	84
TOTAL	18	18	10	2	12	11	12	1	24	18	5	2	4	135	

NOTES:

- ALL UNITS IN BLDGS TYPE 2 & 3 ARE TO MEET ANSI TYPE 'B' UNIT REQUIREMENTS.
- 2% OF TOTAL UNITS ARE REQUIRED TO MEET ANSI TYPE 'A' (135x.02=2.7 PROVIDED: 3)
- UNIT IN BLDG TYPE 1 ARE MULTISTORY UNITS AND ARE EXEMPT FROM ANSI REQUIREMENTS.

LEGEND

- PROPERTY LINE
- BUILDING NUMBER
- TYPE 2 BUILDING TYPE
- No. OF PARKING SPACES
- No. OF COVERED SPACES
- ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- FIRE HYDRANT

LIGHTING LEGEND

- TYPE 'SA'. 18" TALL POLE LIGHT. TYPE III DISTRIBUTION. FULLY CUT-OFF
- TYPE 'SB'. 18" TALL POLE LIGHT. TYPE V DISTRIBUTION. FULLY CUT-OFF
- TYPE 'SC'. 7' TALL POLE LIGHT.
- TYPE 'SD'. WALL MOUNTED SIGN LED LIGHT WITH GLARE SHIELD AND 36" LONG STEM.
- TYPE 'SE'. CARPORT LIGHT. 4 FT. FLUORESCENT STRIP.
- TYPE 'SF'. WALL SCONCE AT 6'-6" B.O.F. ADA COMPLIANT.
- TYPE 'SG'. 18" TALL POLE LIGHT. TYPE III DISTRIBUTION. FULLY CUT-OFF.
- B.O.F. - HEIGHT IS MEASURED FROM BOTTOM OF FIXTURE OR FIXTURE LENS TO ABOVE FINISHED FLOOR.
- T.O.F. - HEIGHT MEASURED FROM TOP OF FIXTURE TO ABOVE FINISHED FLOOR.

PROJECT NUMBER:

Application Number:
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Randy [Signature] 7/18/18
Traffic Engineering, Transportation Division Date
Don [Signature] 7/18/18
ABCWA Date
Clanor [Signature] 7/18/18
Parks and Recreation Department Date
Janet [Signature] 7-25-2018
City Engineer Date
Cah [Signature] 7-13-18
Solid Waste Management Date
Code Enforcement 7/18/18 Date
RR [Signature] 25 July 2018 Date
DRB Chairperson, Planning Department

DEVELOPMENT DATA

SITE AREA:

4.4876 ACRES (195,479 S.F.)

ZONING:

CURRENT: R-MH

BUILDING HEIGHT:

ALLOWED: 45 FEET

PROPOSED: 45 FEET

DENSITY:

ALLOWED: 50.00 DU/ACRE

PROPOSED: 30.08 DU/ACRE

SETBACKS PROVIDED:

SIDE (N) FRONT (W) SIDE (S) REAR (E)
BUILDINGS 17'-8" 15'-0" 10'-0" 31'-11"
PARKING 10'-0" 113'-3" 10'-0" 5'-0"

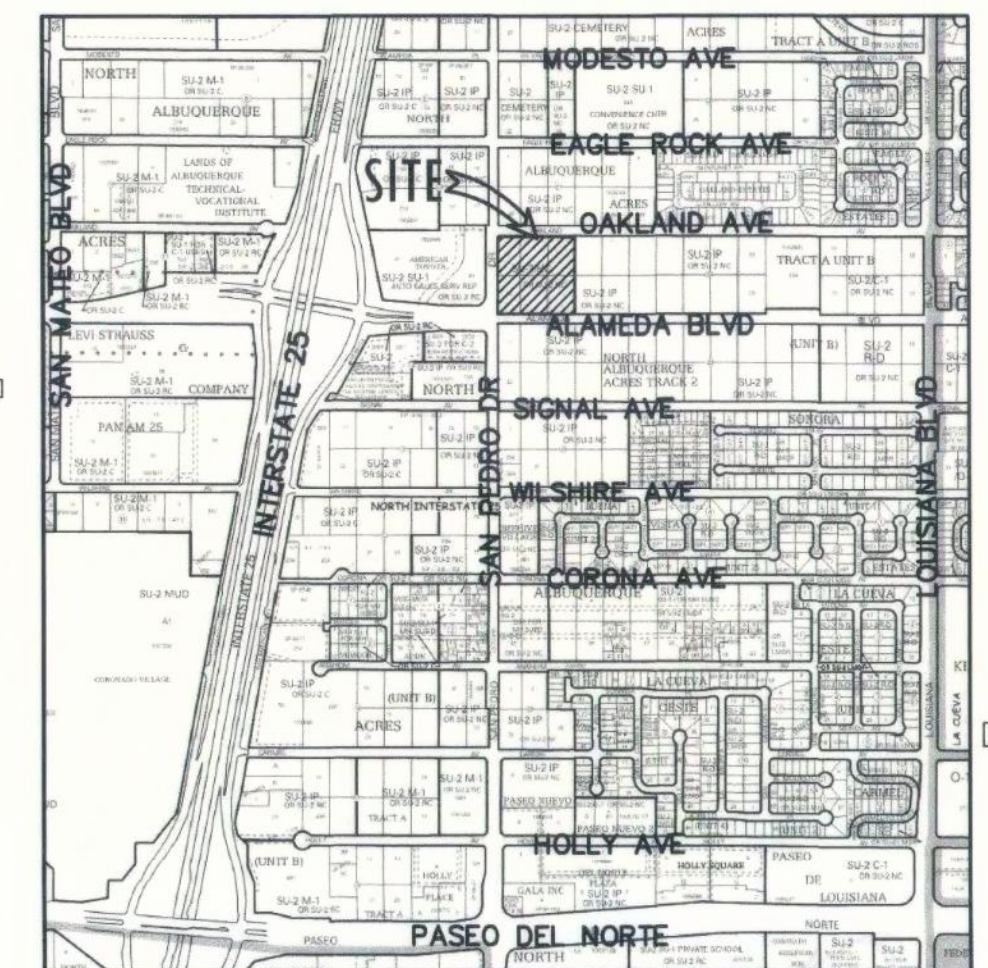
MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED			
	SF REQ. # OF PER DU	NO. PROVIDED	TOTAL SF PROVIDED
1 BEDROOM	200	60	12,000
2 BEDROOM	250	75	18,750
PROVIDED SITE OPEN SPACE			67,433
PROVIDED BALCONY PRIVATE OPEN SPACE			9,000
TOTAL (excess of 45,683 SF)	135	30,750	76,433

GENERAL NOTES:

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT PER C.O.A. STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.

PARKING SPACE REQUIREMENTS

	PARKING RATIO REQUIRED	PARKING SPACES
1.5 PARKING SPACES PER DWELLING UNIT	1.5	203
PHASE 1 PARKING LOST		6
Total Parking Spaces Required		209
OPEN PARKING PROVIDED		93
CARPORT PARKING PROVIDED		76
GARAGE PARKING PROVIDED		69
Total Parking Provided		238
Accessible Parking Required		8
OPEN ACCESSIBLE PARKING PROVIDED		4
CARPORT ACCESSIBLE PARKING PROVIDED		2
GARAGE ACCESSIBLE PARKING PROVIDED		2
Total Accessible Parking Provided		8
Bicycle Parking Required (10% OF REQUIRED OFF-STREET PARKING SPACES)		21
GARAGE		60
Total Bicycle Parking Provided		60



VICINITY MAP
NOT TO SCALE

DATE: JULY 12, 2018 ORB # 17-219

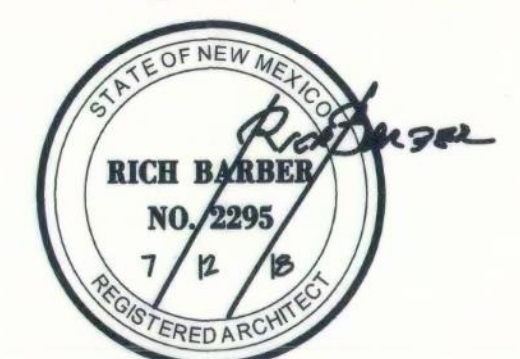
A1.10

SITE PLAN
FOR BUILDING PERMIT

MARKANA
APARTMENTS - II
SAN PEDRO AND ALAMEDA
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com

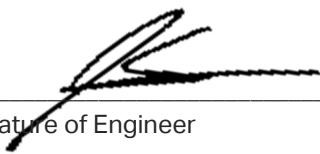




TRAFFIC CERTIFICATION

I, JEREMY W. SHELL, NMPE 26341, OF THE FIRM RESPEC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JULY 25, 2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN J. MARTINEZ OF THE FIRM CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JANUARY 4, 2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer

1/11/2021
Date



5971 JEFFERSON ST., NE
SUITE 101
ALBUQUERQUE, NM 87109
505.268.2661