

CITY OF ALBUQUERQUE



October 5, 2020

Joe Slagle
Slagle Architect Inc
413 2nd St SW.
Albuquerque, NM 87102

Re: Tin Can Alley
6200 Alameda NE
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 9-27-19 (AA)(C18D086)
Certification dated 9-30-20

Dear Mr. Slagle
Based upon the information provided in your submittal received 10-1-20,
Transportation Development has no objection to the issuance of a Permanent
Certificate of Occupancy. This letter serves as a "green tag" from Transportation
Development for a Permanent Certificate of Occupancy to be issued by the Building
and Safety Division.

PO Box 1293

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Albuquerque

Sincerely,

NM 87103

Jeanne Wolfenbarger

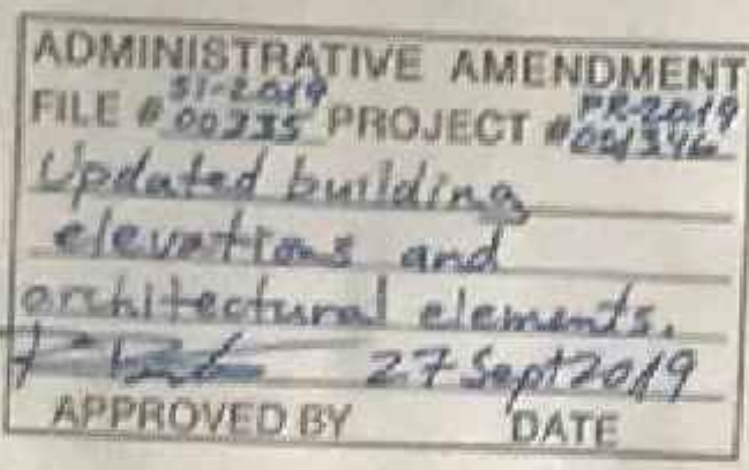
Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

BUILDINGS ONE, TWO, AND THREE WILL BE CONSTRUCTED AS A SINGLE PHASE. BUILDING FOUR WILL BE A SEPARATE PHASE UNLESS A USER IS DETERMINED PRIOR TO BEGINNING CONSTRUCTION OF THE OTHER BUILDINGS. THE PARKING, LANDSCAPING AND OTHER SITE IMPROVEMENTS FOR BUILDING 4 WILL BE PART OF THE FIRST PHASE WITH A PAD SITE PREPARED FOR THE BUILDING.



CONSTRUCTION TYPE:	SEE PLAN
BUILDING AREAS:	SEE PLAN
FIRE FLOW REQUIREMENT:	2375 GPM IFC TABLE 6105.1(2) 1500 X .25 = 375 GPM 2750 X .25 = 687.5 GPM 3500 X .25 = 875 GPM 1750 X .25 = 437.5 GPM
FIRE HYDRANTS REQUIRED:	3 FOR FIRE FLOW-3 FOR DISTANCE IFC TABLE C102.1
AVERAGE SPACING BTWN HYDRANTS:	450 FT IFC TABLE C102.1
FIRE HYDRANTS PROVIDED:	3 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT IFC 507.5.1

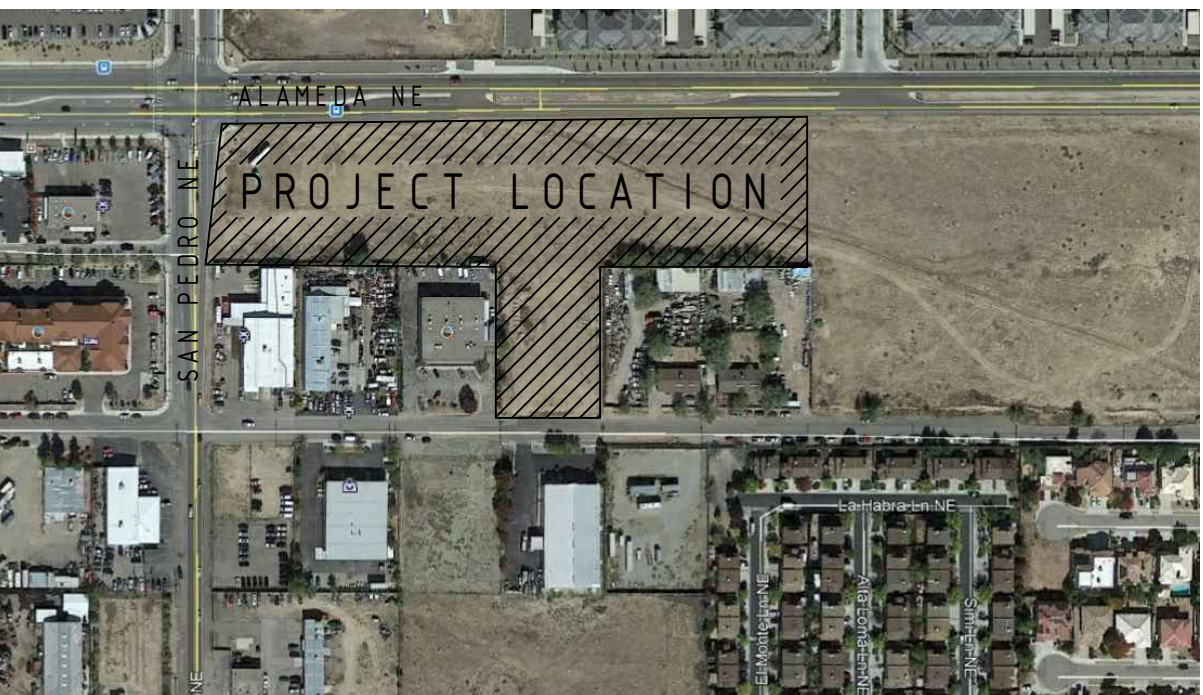
FIRE NOTES:

- ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
- FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE

SITE LOCATION	SE CORNER SAN PEDRO AND ALAMEDA NE ALBUQUERQUE, NM NORTH ALBUQUERQUE ACRES
LEGAL DESCRIPTION:	REPLATTED LOTS 1-A, 2-A, 4-A, 6-A
UPC NUMBER:	TBD PENDING REPLAT
ZONING:	NR-BP
ZONE ATLAS PAGE:	
PREVIOUS DRB APPROVAL:	NONE
TOTAL LOT AREA:	228,371.658 SF, (5.24 AC)
LOT 1-A	43,564.08 SF (1.0001 AC)
LOT 2-A	67,294.9 SF (1.5449 AC)
LOT 4-A	83,122.59 SF (1.9082 AC)
LOT 6-A	34,390.083 SF (0.7895 AC)
GROSS BUILDING AREA:	44,524 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	26,204 SF
BUILDING 4: PAD SITE	4500 SF
BUILDING FOOTPRINT AREA:	36,900 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	18,580 SF
BUILDING 4: PAD SITE	4500 SF

NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	191,471 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	19.5 %
PARKING CALCULATIONS:	TOTAL SPACES PROVIDED: 379
BUILDING 1: RESTAURANT: 8 PER 1000 SF 3000 SF= 24 SPACES REQUIRED	SPACES PROVIDED: 70
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM) RESTAURANT & TAPROOM: 8 PER 1000 SF REQ'D. 10,820 SF= 87 SPACES REQUIRED	SPACES PROVIDED: 121
BUILDING 3: CLIMBING GYM (HEALTH CLUB) 2.5 SP. PER 1000 SF. REQUIRED 26,204 SF = 66 SPACES REQUIRED	SPACES PROVIDED: 131
BUILDING 4: PAD SITE (RESTAURANT) 8 PER 1000 4500 SF = 36 SPACES REQUIRED	SPACES PROVIDED: 57
ELEC VEHICLE PARKING REQUIRED: 2% OF 386=8 SPACES	TOTAL SPACES PROVIDED: 8
ACCESSIBLE PARKING REQUIRED: 8 INCL. 2 VAN	TOTAL SPACES PROVIDED: 8
MOTORCYCLE PARKING REQUIRED: 6 SPACES	TOTAL SPACES PROVIDED: 8
BICYCLE PARKING REQUIRED: 10% OF PARKING REQ.=22	TOTAL SPACES PROVIDED: 30
* EXTEND CONDUIT TO THIS PARKING SPACE FOR FUTURE ELEC. CHARGING STATION. (E)	
NOTE: REFER TO SKETCH PLAT PROJECT NUMBER 1000682.	

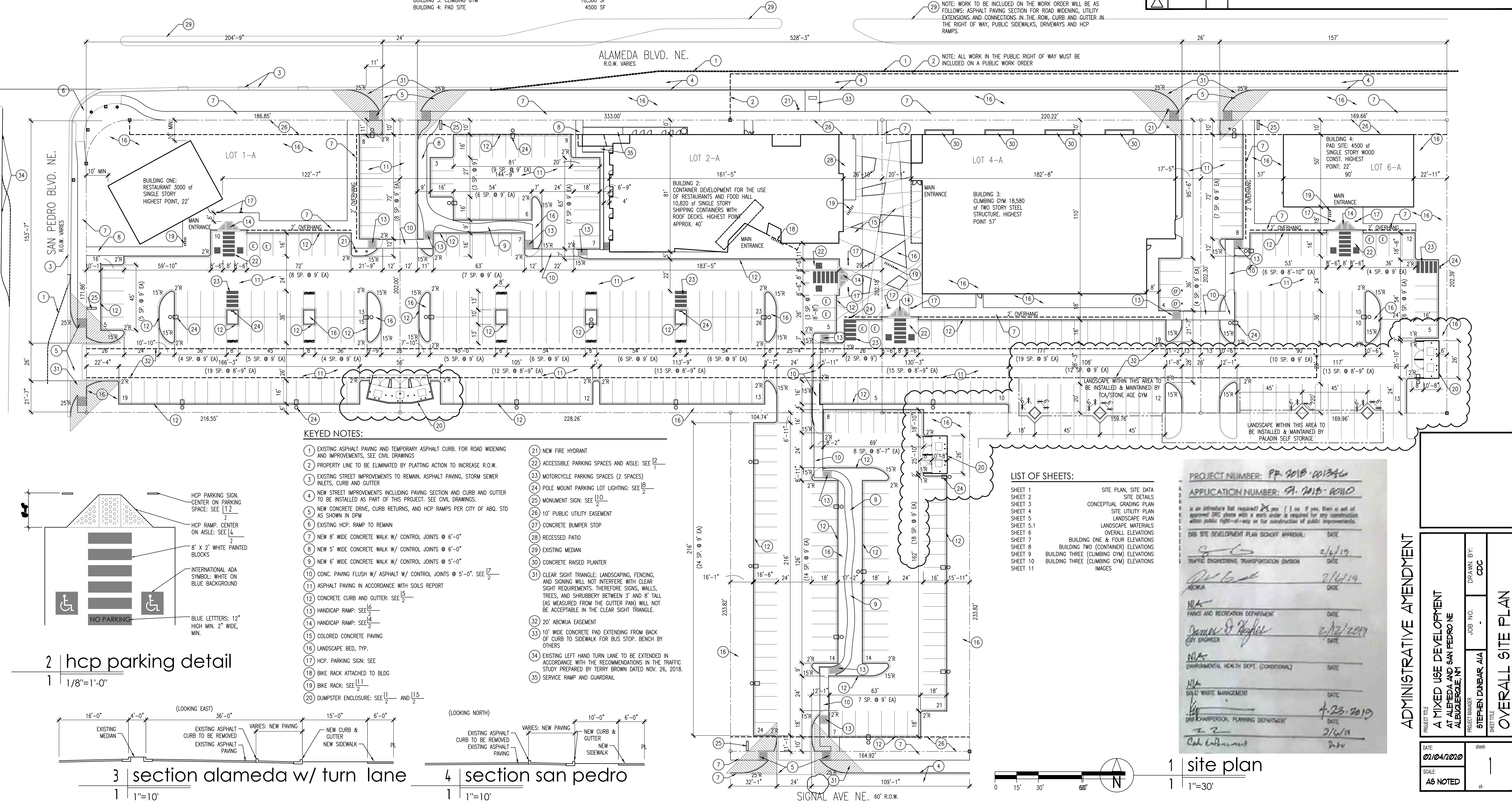
VICINITY MAP



MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

REV	DATE	BY	REVISION
△			
△			
△			
△			
△			
△			



September 30, 2020

**RE: STONE AGE CLIMING GYM PERMIT NUMBER BP-2019-33977
TRAFFIC CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
RESPONSES TO COMMENTS:**

Planning Department
Building and Safety Division
Plaza Del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

Responses to comments by Nilo Salgado Jeanne Wolfenbarger have been addressed as follows:

1. Two sets of handrails defining the accessible route between Stone Age Climbing Gym and Tin Can Alley have been installed. Signage has been added to both ends of the new ramp indicating the Accessible route.
2. The existing handicap signs at the two accessible spaces closest to Tin Can Alley have been moved to allow better clearance for the accessible route between Tin Can Alley and Stone Age Climbing Gym.
3. Van Accessible signage has been added as requested.
4. Warning signs have been added at the west driveway onto San Pedro.
5. Certification letter has been stamped and dated.

Having completed the requested revisions we are now requesting approval for permanent certificate of occupancy.

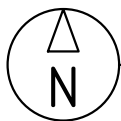
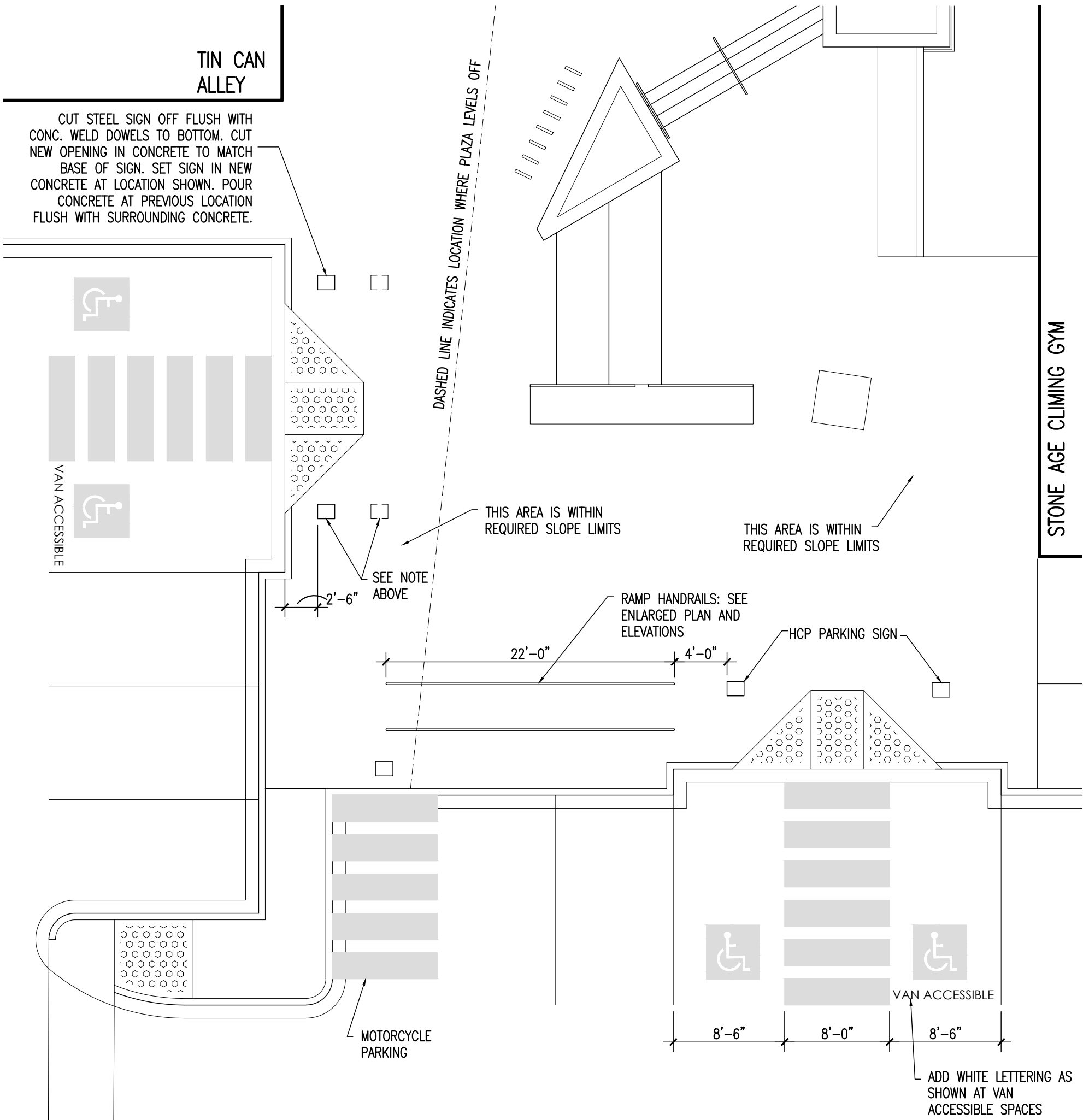
Respectfully,



Joe Slagle,
Slagle Architect Inc.



9-30-20



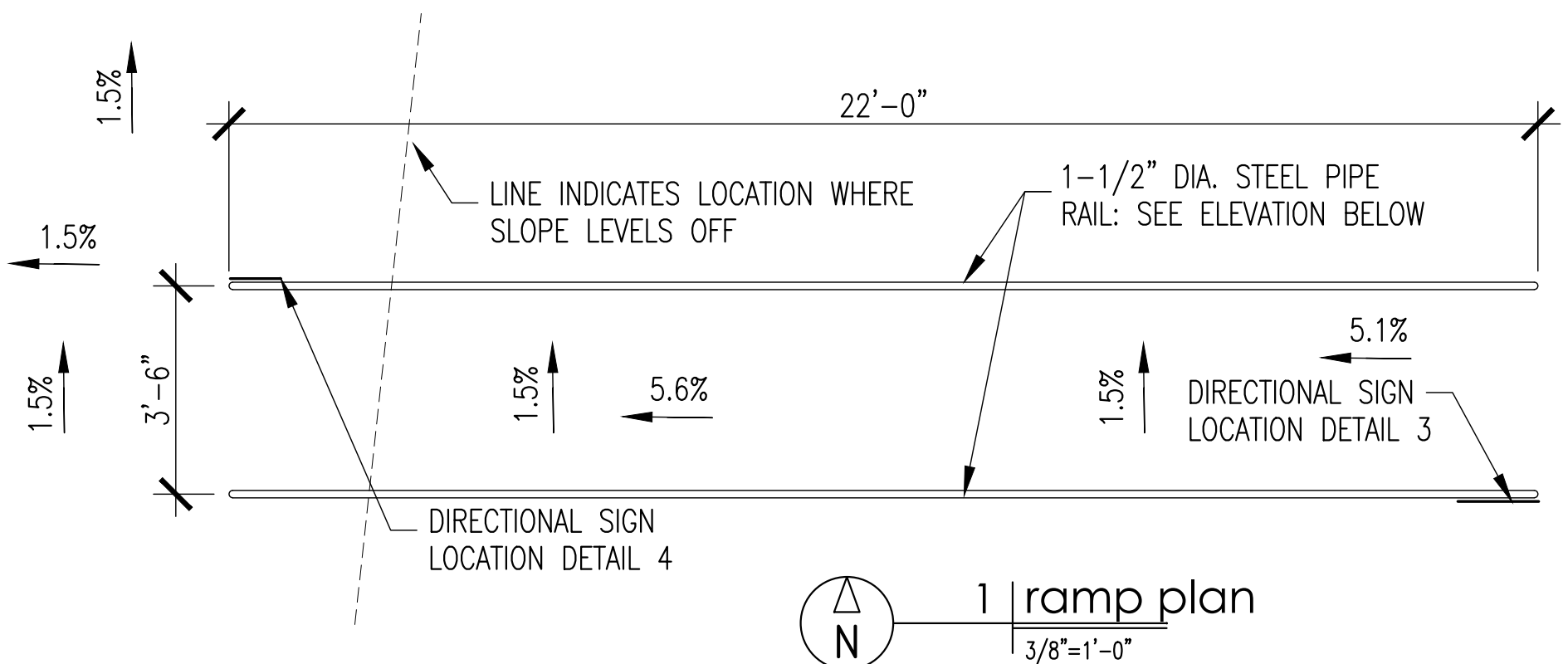
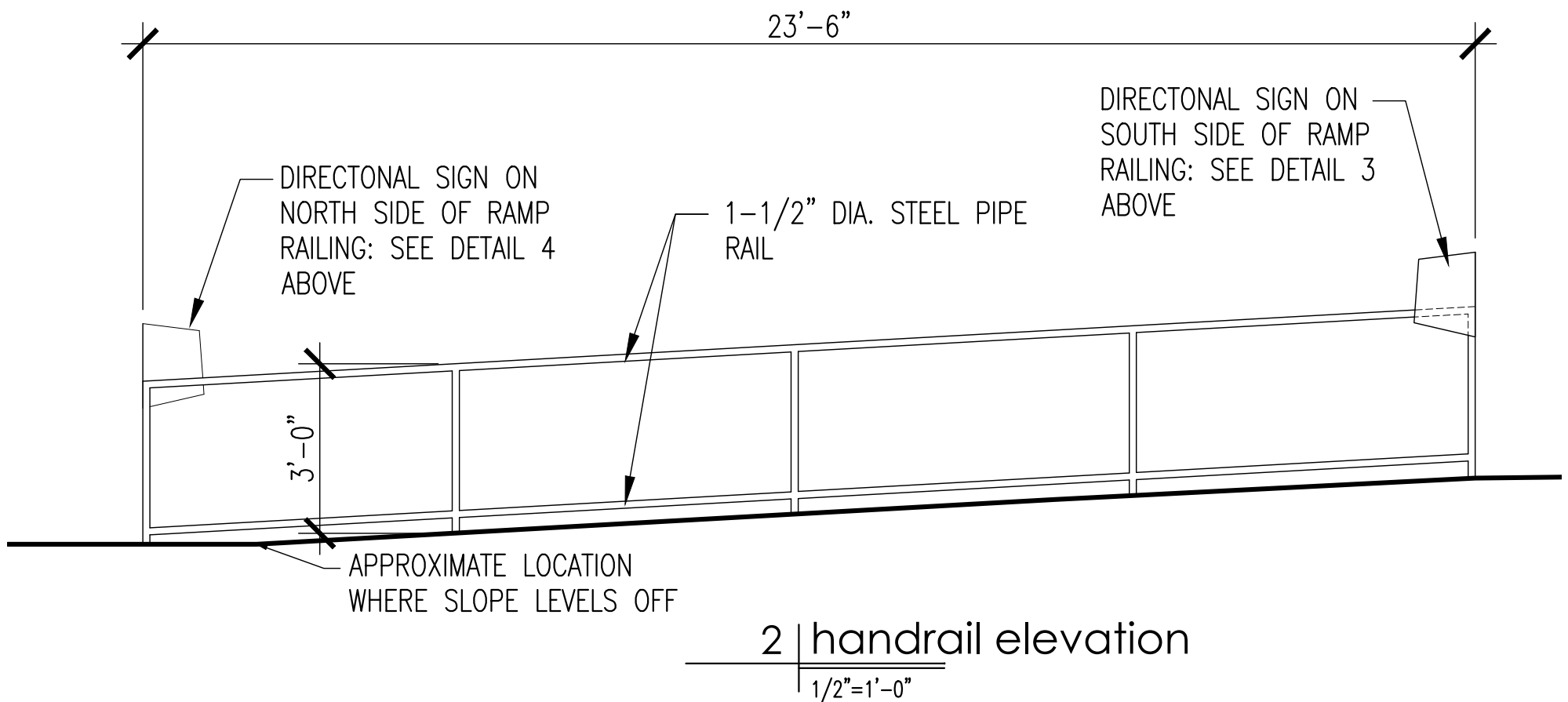
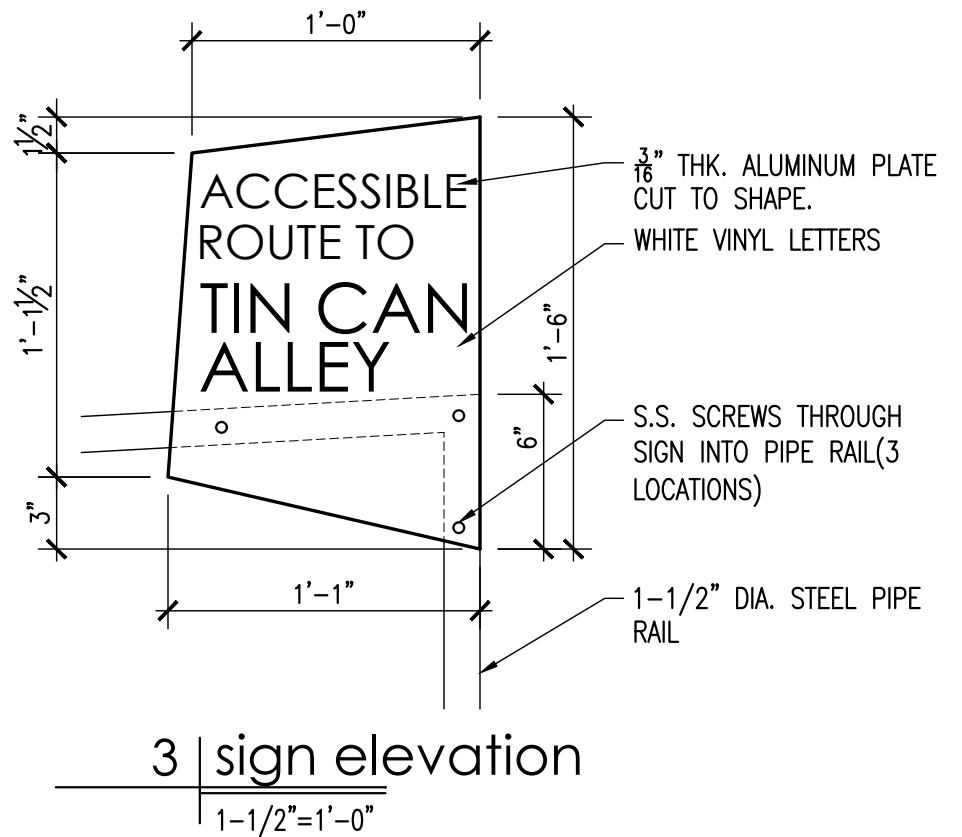
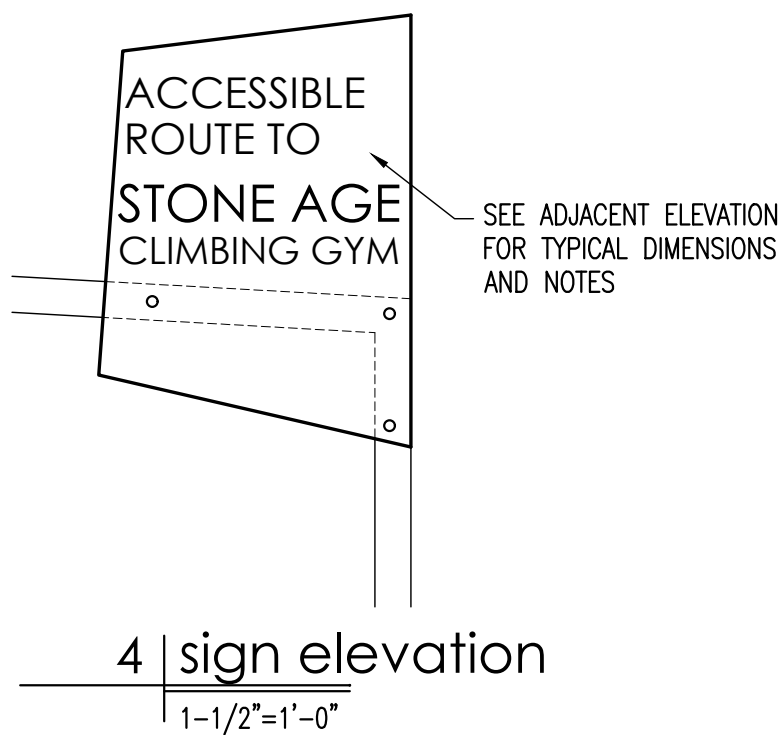
1 | partial courtyard plan
1/8" = 1'-0"

joe slagle architect

413 2nd st sw
abq nm 87102
505 246 0870

ACCESSIBLE PATH BETWEEN STONE AGE AND TIN CAN ALLEY

8-12-20



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ACCESSIBLE PATH BETWEEN
STONE AGE AND TIN CAN ALLEY

8-11-20

ACCESSIBLE
ROUTE TO

STONE AGE
CLIMBING GYM

ACCESSIBLE
ROUTE TO
TIN CAN
ALLEY





VAN
ACCESSIBLE
VIOLATORS ARE
SUBJECT TO A
FINE AND/OR
TOWING



VAN ACCESSIBLE





