

July 28, 2020

Joe Slagle, R.A
Joe Slagle
413 Second Street SW
Albuquerque, NM 87102

**Re: Stone Age Climbing Gym
6110 Alameda NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 4-23-19(DRB) (C18D086A)
Certification dated 7-15-20**

Dear Mr. Slagle,

Based upon the information provided in your submittal received 7-22-20, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- ADA ramp landings need to be 2.0% in all directions. Please correct. (See attached plan for location)
- Please complete Curb and Gutter (See attached plan for location)
- Cross over from Tin Can Alley ADA stalls to Stone Age not ADA compliant. Please add something to inform customers cross over not ADA compliant. (See attached plan for location).
- Please stamp and date certification letter.

1. The approved and stamped Administrative Amendment, or Site Plan for Building Permit with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

CITY OF ALBUQUERQUE



If you have any questions, please contact me at (505) 924-3981.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ernie Gomez', is written over a faint, large watermark of the city seal.

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

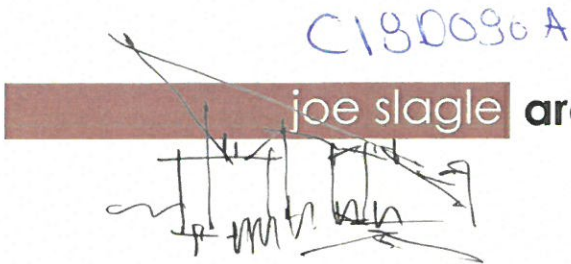
EG **via: email**
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



joe slagle architect

413 2nd st sw
abq nm 87102
505 246 0870

July 15, 2020

**RE: STONE AGE CLIMING GYM PERMIT NUMBER BP-2019-33977
TRAFFIC CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY**

Planning Department
Building and Safety Division
Plaza Del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

I, Joe Slagle, NMRA 2284 as architect of record, hereby certify that this project is in substantial compliance with and in accordance with the design intent of DRB project no 2019-001346 and AA file no. SI-2019 00335. I certify that I have personally visited the project site on 7-13-20 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This submittal is for Permanent Certificate of Occupancy for Stone Age Climbing Gym. NOTE: This certification only applies to the areas indicated on the site plan dated 8-23-19.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Respectfully,

Joe Slagle,
Slagle Architect Inc.

PROJECT PHASING:

PHASE ONE:
THIS PHASE INCLUDES BUILDING 2 (TIN CAN ALLEY) PLUS THE SITE WORK SHOWN ON THIS SHEET THAT IS SHOWN SHADED. THIS PHASE IS CURRENTLY PERMITTED UNDER PERMIT NUMBER BP-2018-001346. ALSO INCLUDED WITH THIS PHASE ARE THE OFFSITE IMPROVEMENTS PER THE APPROVED INFRASTRUCTURE LIST AS WELL AS ALL REQUIRED CONSTRUCTION AS DESCRIBED IN THE APPROVED GRADING AND DRAINAGE PLAN.

PHASE TWO: (THIS PERMIT) BUILDING 3 (STONE AGE CLIMBING GYM) PLUS ALL ASSOCIATED SITEWORK WITHIN THE BOUNDS OF THAT PROPERTY AS WELL AS THE PARKING AND LANDSCAPE AREAS NOT SHOWN AT THE EASTERN PORTION OF THE DEVELOPMENT.

PHASE THREE: CONSTRUCTION OF BUILDING ONE PLUS ASSOCIATED SITEWORK WITHIN THE BOUNDS OF THE HATCHED AREA ON LOT 1-A.

PHASE FOUR: CONSTRUCTION OF BUILDING FOUR PLUS ASSOCIATED SITEWORK WITHIN THE BOUNDS OF THE HATCHED AREA ON LOT 6-A.

PORTIONS OF DEVELOPMENT BEING CONSTRUCTED UNDER PERMIT NO. BP-2018-001346.

PHASES 3 AND 4 AS DESCRIBED ABOVE

FIRE DATA:

CONSTRUCTION TYPE:	2B SPRINKLED
BUILDING AREAS:	SEE PLAN
FIRE FLOW REQUIREMENT:	2375 GPM
	IFC TABLE B105.1(2)
BUILDING 1	1500 X .25 = 375 GPM
BUILDING 2	2750 X .25 = 687.5 GPM
BUILDING 3	3000 X .25 = 750 GPM
BUILDING 4	1750 X .25 = 437.5 GPM
FIRE HYDRANTS REQUIRED:	3 FOR FIRE FLOW-3 FOR DISTANCE
	IFC TABLE C102.1
AVERAGE SPACING BETWEEN HYDRANTS:	450 FT
	IFC TABLE C102.1
FIRE HYDRANTS PROVIDED:	3 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT
	IFC 507.5.1

FIRE NOTES:

1. ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
2. FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

SITE DATA:

SITE LOCATION:	SE CORNER SAN PEDRO AND ALAMEDA NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	REPLATED LOTS 1-A, 2-A, 4-A, 6-A NORTH ALBUQUERQUE ACRES
UPC NUMBER:	TRD PENDING REPLAT
ZONING:	NR-BP
ZONE ATLAS PAGE:	
PREVIOUS DRB APPROVAL:	NONE
TOTAL LOT AREA:	228,371.658 SF (5.24 AC)
LOT 1-A:	43,564.08 SF (1.0001 AC)
LOT 2-A:	67,294.9 SF (1.5449 AC)
LOT 4-A:	83,122.59 SF (1.9082 AC)
LOT 6-A:	34,360.083 SF (0.7895 AC)
GROSS BUILDING AREA:	44,524 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	26,204 SF
BUILDING 4: PAD SITE	4500 SF
BUILDING FOOTPRINT AREA:	36,900 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	18,745 SF
BUILDING 4: PAD SITE	4500 SF

NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	191,471 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	19.5 %
PARKING CALCULATIONS:	TOTAL SPACES PROVIDED: 386
BUILDING 1: RESTAURANT: 8 PER 1000 SF	SPACES PROVIDED: 70
3000 SF = 24 SPACES REQUIRED	
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM)	
RESTAURANT & TAPROOM: 8 PER 1000 SF REQ'D.	SPACES PROVIDED: 121
10,820 SF = 87 SPACES REQUIRED	
BUILDING 3: CLIMBING GYM (HEALTH CLUB) 2.5 SP. PER 1000 SF. REQUIRED	SPACES PROVIDED: 134
26,204 SF = 66 SPACES REQUIRED	
BUILDING 4: PAD SITE (RESTAURANT) 8 PER 1000	SPACES PROVIDED: 81
4500 SF = 36 SPACES REQUIRED	
ELEC VEHICLE PARKING REQUIRED: 2% OF 386-8 SPACES	TOTAL SPACES PROVIDED: 8
ACCESSIBLE PARKING REQUIRED: 8 INCL. 2 VAN	TOTAL SPACES PROVIDED: 8
MOTORCYCLE PARKING REQUIRED: 6 SPACES	TOTAL SPACES PROVIDED: 6
BICYCLE PARKING REQUIRED: 10% OF PARKING REQ'D-22	TOTAL SPACES PROVIDED: 30
NOTE: REFER TO SKETCH PLAT PROJECT NUMBER 1000682.	

VICINITY MAP



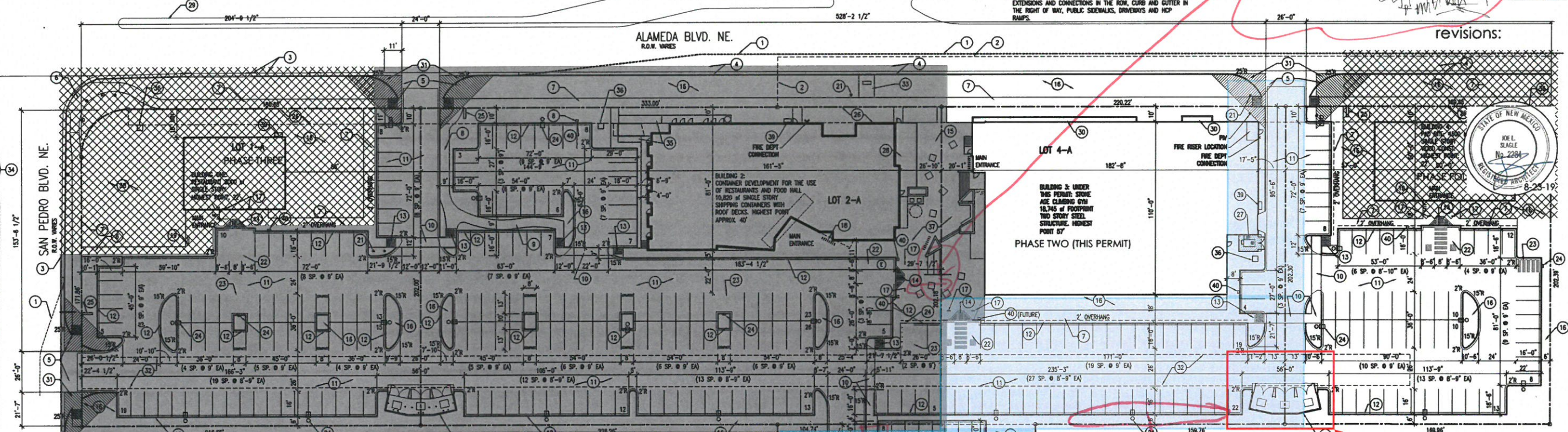
CROSS OVER FROM TIN CAN TO STONE AGE NOT ADA COMPLIANT

joe slagle architect

13 2nd St SW
Albuquerque NM 87102
505 246 0870

NOTE: WORK TO BE INCLUDED ON THE WORK ORDER WILL BE AS FOLLOWS: ASPHALT PAVING SECTION FOR ROAD WIDENING, UTILITY EXTENSIONS AND CONNECTIONS IN THE ROW, CURB AND GUTTER IN THE RIGHT OF WAY, PUBLIC SIDEWALKS, DRIVEWAYS AND HCP RAMPS.

revisions:



KEYED NOTES:

- 1 EXISTING ASPHALT PAVING AND TEMPORARY ASPHALT CURB FOR ROAD WIDENING AND IMPROVEMENTS. SEE CIVIL DRAWINGS.
- 2 PROPERTY LINE TO BE ELIMINATED BY PLANTING ACTION TO INCREASE R.O.W.
- 3 EXISTING STREET IMPROVEMENTS TO REMAIN. ASPHALT PAVING, STORM SEWER INLETS, CURB AND GUTTER.
- 4 NEW STREET IMPROVEMENTS INCLUDING PAVING SECTION AND CURB AND GUTTER TO BE INSTALLED AS PART OF THIS PROJECT. SEE CIVIL DRAWINGS.
- 5 NEW CONCRETE DRIVE, CURB RETURNS, AND HCP RAMPS PER CITY OF ALO STD AS SHOWN IN DPM.
- 6 EXISTING HCP RAMP TO REMAIN.
- 7 NEW 6' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 6'-6".
- 8 NEW 5' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 6'-6".
- 9 NEW 6' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-6".
- 10 CONC. PAVING FLUSH W/ ASPHALT W/ CONTROL JOINTS @ 5'-6". SEE A002.
- 11 ASPHALT PAVING IN ACCORDANCE WITH SOILS REPORT A002.
- 12 CONCRETE CURB AND GUTTER: SEE 2.
- 13 HANDICAP RAMP: SEE 16 A002.
- 14 HANDICAP RAMP: SEE 16 A002.
- 15 COLORED CONCRETE PAVING.
- 16 LANDSCAPE BED, TYP.
- 17 HCP PARKING SIGN: SEE 12.
- 18 BIKE RACK ATTACHED TO BLDG.
- 19 BIKE RACK: SEE 11 A002.
- 20 DUMPSTER ENCLOSURE: SEE 11 A002.
- 21 NEW FIRE HYDRANT.
- 22 ACCESSIBLE PARKING SPACES AND AISLE: SEE 12 A001.
- 23 MOTORCYCLE PARKING SPACES (2 SPACES).
- 24 POLE MOUNT PARKING LOT LIGHTING: POLES ARE DIRECT BURIAL AND SHALL BE LOCATED 3' MINIMUM FROM BACK OF CURB AND 4' WHERE POSSIBLE.
- 25 MONUMENT SIGN: SEE 110 A002.
- 26 10' PUBLIC UTILITY EASEMENT.
- 27 GROUND MOUNTED MECH. UNIT WITH SCREEN FENCE.
- 28 RECESSED PAVO.
- 29 EXISTING MEDIAN.
- 30 CONCRETE RAISED PLANTER.
- 31 CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SICKS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 6' TALL (AS MEASURED FROM THE GUTTER PAV) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 32 20' ABSORBA EASEMENT.
- 33 10' WIDE CONCRETE PAD EXTENDING FROM BACK OF CURB TO SIDEWALK FOR BUS STOP. BENCH BY OTHERS.
- 34 EXISTING LEFT HAND TURN LANE TO BE EXTENDED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE TRAFFIC STUDY PREPARED BY TERRY BROWN DATED NOV. 26, 2018.
- 35 SERVICE RAMP AND GUARDRAIL.
- 36 TRANSFORMER BY PHM: SEE ELECTRICAL SITE PLAN.
- 37 FOR ENLARGED COURTYARD PLAN SEE 11 A003.
- 38 DRAINAGE RETENTION POND: SEE CIVIL.
- 39 GAS METER LOCATION.
- 40 EV CHARGING STATION: SEE ELECTRICAL SITE PLAN.

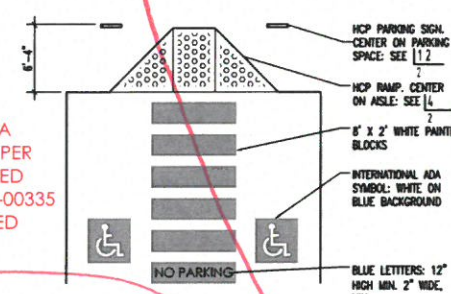
NOTE: THIS CERTIFICATION INCLUDES ONLY THE AREA SHOWN SHADED BLUE WHICH IS THE EXTEND OF THE STONE AGE BUILDING PERMIT.

THIS AREA REVISED PER APPROVED AA 2019-00335 ATTACHED

THIS AREA REVISED PER APPROVED AA 2019-00335 ATTACHED

LANDINGS 2.0% IN ALL DIRECTIONS

MISSING CURB/GUTTER

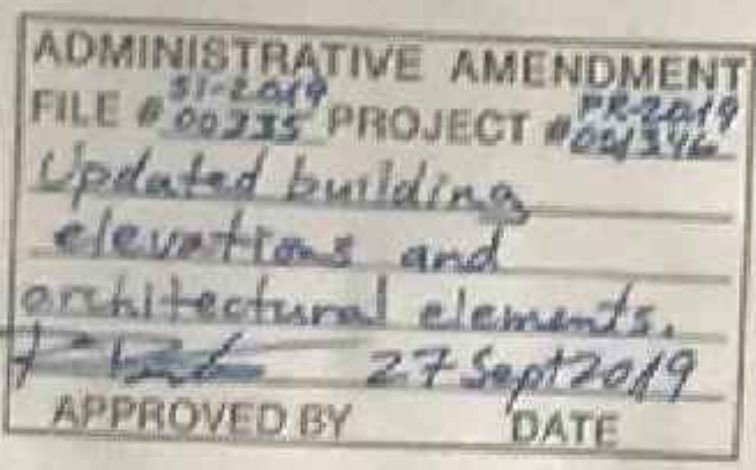


STONE AGE CLIMBING GYM
6200 ALAMEDA BOULEVARD NE
ALBUQUERQUE, NM

Overall Site Plan

date:
8-23-19
sheet:
A001

BUILDINGS ONE, TWO, AND THREE WILL BE CONSTRUCTED AS A SINGLE PHASE. BUILDING FOUR WILL BE A SEPARATE PHASE UNLESS A USER IS DETERMINED PRIOR TO BEGINNING CONSTRUCTION OF THE OTHER BUILDINGS. THE PARKING, LANDSCAPING AND OTHER SITE IMPROVEMENTS FOR BUILDING 4 WILL BE PART OF THE FIRST PHASE WITH A PAD SITE PREPARED FOR THE BUILDING.



CONSTRUCTION TYPE:	SEE PLAN
BUILDING AREAS:	SEE PLAN
FIRE FLOW REQUIREMENT:	2375 GPM IFC TABLE 6105.1(2) 1500 X .25 = 375 GPM 2750 X .25 = 687.5 GPM 3500 X .25 = 875 GPM 1750 X .25 = 437.5 GPM
FIRE HYDRANTS REQUIRED:	3 FOR FIRE FLOW-3 FOR DISTANCE IFC TABLE C102.1
AVERAGE SPACING BTWN HYDRANTS:	450 FT IFC TABLE C102.1
FIRE HYDRANTS PROVIDED:	3 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT IFC 507.5.1

FIRE NOTES:

- ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
- FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE

SITE LOCATION	SE CORNER SAN PEDRO AND ALAMEDA NE ALBUQUERQUE, NM NORTH ALBUQUERQUE ACRES
LEGAL DESCRIPTION:	REPLATTED LOTS 1-A, 2-A, 4-A, 6-A
UPC NUMBER:	TBD PENDING REPLAT
ZONING:	NR-BP
ZONE ATLAS PAGE:	
PREVIOUS DRB APPROVAL:	NONE
TOTAL LOT AREA:	228,371.658 SF, (5.24 AC)
LOT 1-A	43,564.08 SF (1.0001 AC)
LOT 2-A	67,294.9 SF (1.5449 AC)
LOT 4-A	83,122.59 SF (1.9082 AC)
LOT 6-A	34,390.083 SF (0.7895 AC)
GROSS BUILDING AREA:	44,524 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	26,204 SF
BUILDING 4: PAD SITE	4500 SF
BUILDING FOOTPRINT AREA:	36,900 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	18,580 SF
BUILDING 4: PAD SITE	4500 SF

NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	191,471 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	19.5 %
PARKING CALCULATIONS:	TOTAL SPACES PROVIDED: 379
BUILDING 1: RESTAURANT: 8 PER 1000 SF 3000 SF= 24 SPACES REQUIRED	SPACES PROVIDED: 70
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM) RESTAURANT & TAPROOM: 8 PER 1000 SF REQ'D. 10,820 SF= 87 SPACES REQUIRED	SPACES PROVIDED: 121
BUILDING 3: CLIMBING GYM (HEALTH CLUB) 2.5 SP. PER 1000 SF. REQUIRED 26,204 SF = 66 SPACES REQUIRED	SPACES PROVIDED: 131
BUILDING 4: PAD SITE (RESTAURANT) 8 PER 1000 4500 SF = 36 SPACES REQUIRED	SPACES PROVIDED: 57
ELEC VEHICLE PARKING REQUIRED: 2% OF 386=8 SPACES	TOTAL SPACES PROVIDED: 8
ACCESSIBLE PARKING REQUIRED: 8 INCL. 2 VAN	TOTAL SPACES PROVIDED: 8
MOTORCYCLE PARKING REQUIRED: 6 SPACES	TOTAL SPACES PROVIDED: 8
BICYCLE PARKING REQUIRED: 10% OF PARKING REQ.=22	TOTAL SPACES PROVIDED: 30
* EXTEND CONDUIT TO THIS PARKING SPACE FOR FUTURE ELEC. CHARGING STATION. (E)	
NOTE: REFER TO SKETCH PLAT PROJECT NUMBER 1000682.	

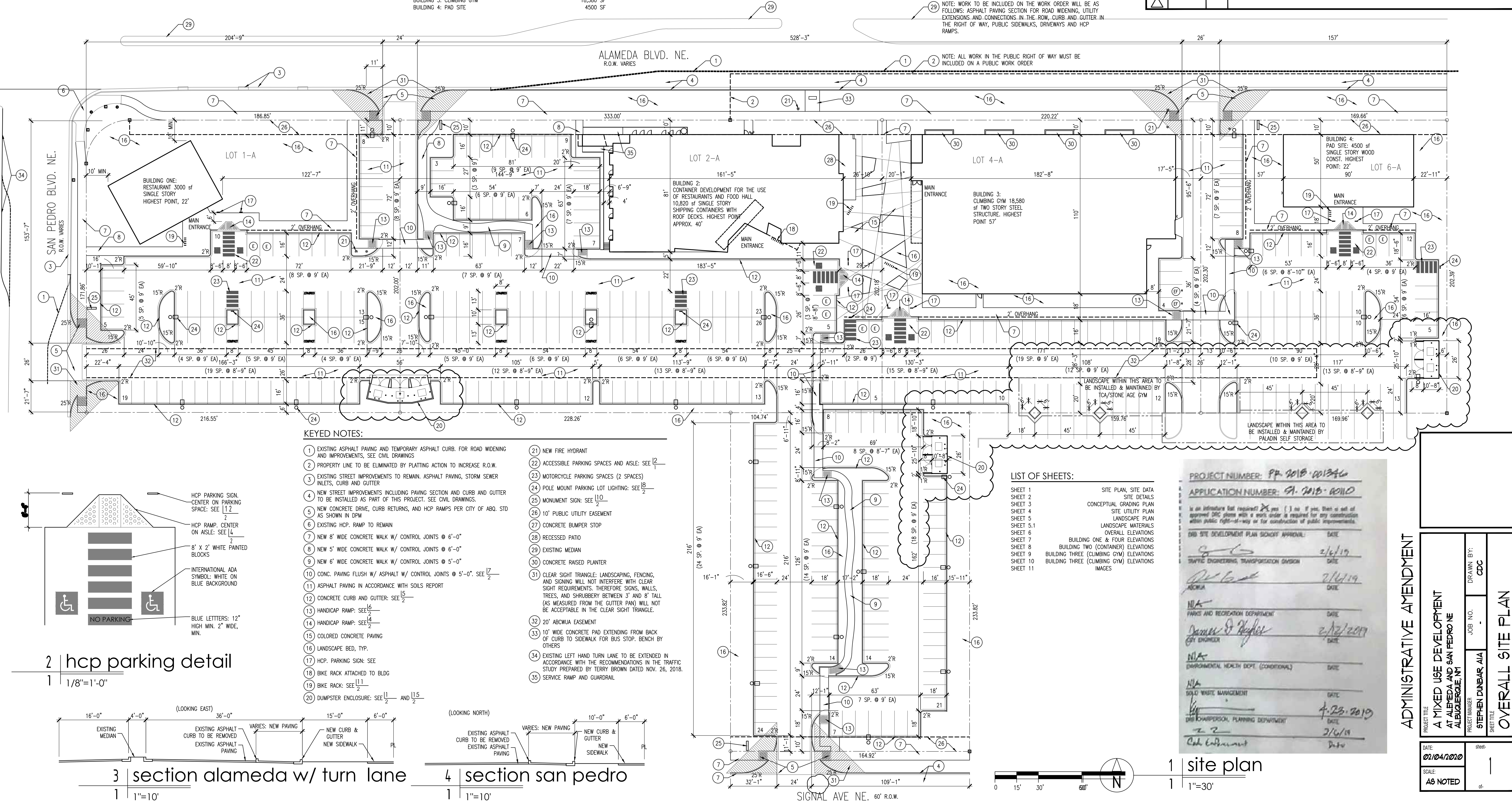
VICINITY MAP



MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

REV	DATE	BY	REVISION
△			
△			
△			
△			
△			
△			



CITY OF ALBUQUERQUE



PO Box 1233

Albuquerque

NM 87103

www.cabq.gov

ADA STALLS

ADD Information for
Curb Plan
NOT ADA
CROSS OVER
Curb Plan
NOT ADA
CROSS OVER
ADA STALLS

ADA STALLS

CITY OF ALBUQUERQUE



PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

SHAVE LIPS