# CITY OF ALBUQUERQUE

*Planning Department* Brennon Williams, Director



Mayor Timothy M. Keller

February 26, 2020

Hugh Floyd, P.E. Respec 5971 Jefferson St. NE Albuquerque, NM, 8710

RE: Alameda Development Revised Grading and Drainage Plan Engineer's Stamp Date: 02/20/20 Hydrology File: C18D086A

Dear Mr. Floyd:

PO Box 1293 Based upon the information provided in your submittal received 02/24/2020, the second Revised Grading & Drainage Plan is approved for Building Permit.

Albuquerque Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103 As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, <u>jhughes@cabq.gov</u>, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette

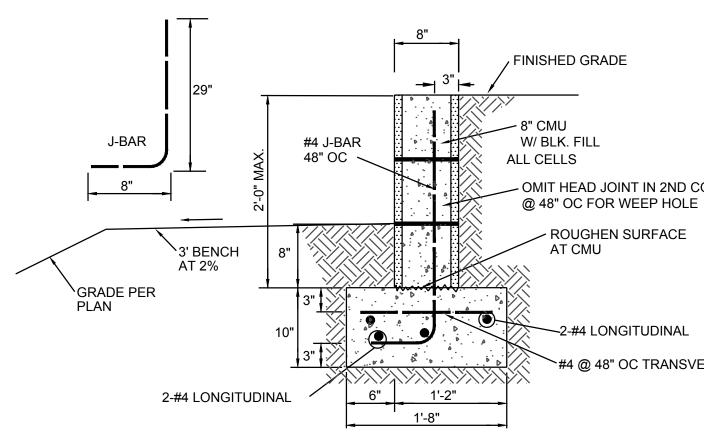
Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department

#### **RETAINING WALL GENERAL NOTES**

- 1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING. 2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIALTO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
- 3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE, 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
- 4. ALL BLOCKS ARE TO BE GROUTED SOLID WITH CONCRETE BLOCK FILL. GROUT SHALL MEET OR EXCEED 2,000 P.S.I AT 28 DAYS.
- 5. CONCRETE FOR FOOTINGS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5". 6. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.
- 7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8"X8"X16" OR AS OTHERWISE INDICATED) AND SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C90. 8. ALL REINFORCING SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A615, GRADE 40.
- 9. INSTALL 9 GA., GALV. DUR-O-WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" OC), OR BOND BEAM WITH 2-#4 REBAR EVERY THIRD COURSE (24" OC, MAX.).
- 10. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
- 11. THE TOP COURSE OF BLOCK SHALL USE 2" SOLID MASONRY UNITS AS CAPS, UNLESS A CMU PARTY OR PERIMETER WALL IS TO BE INSTALLED ON TOP OF A RETAINING WALL. 12. DRAIN BLOCKS FOR PARTY WALLS, AT LOCATIONS SHOWN ON THE PLANS AND AS SPECIFIED BY OWNER, SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED
- THROUGH THE PARTY WALL ABOVE THE RETAINING WALL SECTION AFTER THE RETAINING WALL SECTION IS COMPLETE AND BACKFILLED.
- 13. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI-GRAFITTI COATING. USE PROSOCO DEFACER ERASER OR APPROVED EQUAL. (AT OWNERS DIRECTION).
- 14. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNERS DIRECTION.
- 15. WATERPROOFING SHALL BE HYDROCIDE LIQUID MEMBRANE HLM 5000 OR APPROVED EQUAL, AND SHALL BE APPLIED FROM FINISHED GRADE TO TOP OF FOUNDATION.
- LOT 4-A FF = 5254.5 MATCH VERTICAL DESIGN OF APPROVED -GRADING PLAN WITH SEAL DATE 5/15/2019 AT REVISED GRADING LIMITS BOUNDARY TRANSITION ASPHALT PAVEMENT FROM SWALE TO SHEET GRADE 52<sub>5/</sub> Lot 4-A, Block-29 ract A ortho Albuqu 54.02+ /28/2018 54 20 -52.08 53.91 54.23+ 54.72 ─**5**4.10± PROVIDE TEMPORARY 3:1 SLOPE TRANSITION TO MATCH EXISTING GRADE UNTIL SUCH TIME THAT 5249 LOT 27-A DEVELOPS

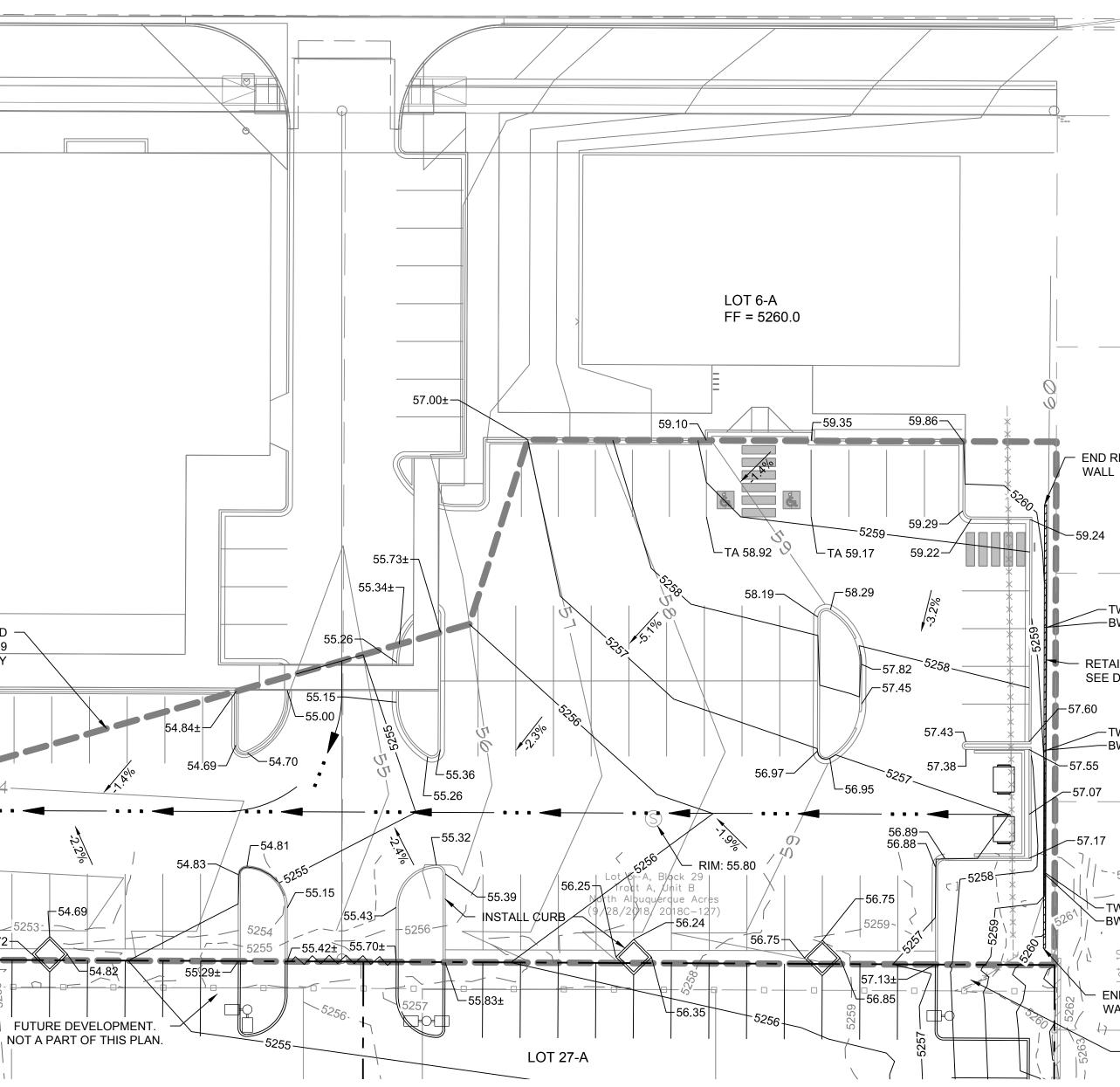
© Copyright 2020 RESPEC - All Rights Reserved

16. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.



#### LOW RETAINING WALL - TYPE A UP TO 2'-0"

NOTE: FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL, AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED, WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.



OMIT HEAD JOINT IN 2ND COURSE

\*#4 @ 48" OC TRANSVERSE

END RETAINING

—TW 60.42 —BW 59.75

- RETAINING WALL (2' MAX.). SEE DETAIL THIS SHEET.

> -TW 60.39 —BW 59.06

-5265 5264 —TW 60.37 -BW 58.37

END RETAINING WALL

> PROVIDE TEMPORARY 3:1 SLOPE TRANSITION TO MATCH EXISTING GRADE UNTIL SUCH TIME THAT LOT 27-A DEVELOPS

1. ALL OTHER CONDITIONS OF THE PREVIOUSLY APPROVED GRADING PLAN WITH SEAL DATE 5/15/19 APPLY. ONLY THE GRADING WITHIN THE LIMITS SHOWN HAS BEEN REVISED. IF A DISCREPANCY EXISTS BETWEEN THESE PLANS, THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY.

GRADING NOTES

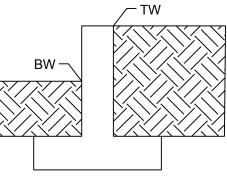
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- 3. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- 4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDED OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

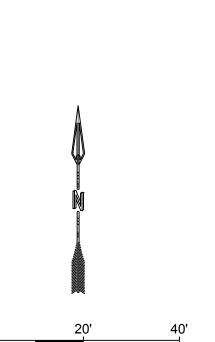
### LEGEND

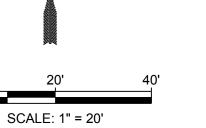
	PROPERTY BOUNDARY
	HIGH POINT
5280	PROPOSED CONTOUR LINES
5280	EXISTING CONTOUR LINES
	LOT 4-A AND 6-A CONTOURS
	REVISED GRADING LIMITS
<b>_</b>	PROPOSED SWALE
3.8%	SLOPE ARROW
	PROPOSED RETAINING WALL

## SPOT ELEVATION LEGEND

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS 1 OTHERWISE NOTED IN THE PLANS. 56.00 TA TOP ASPHALT ✓ 56.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- 56.00 TW TOP WALL (SEE SCHEMATIC BELOW)
- ✓ 56.00 BW BOTTOM WALL (SEE SCHEMATIC BELOW)









Ŭ

C-100

SHEET NUMBER: