

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 22, 2024

Daniel Duran
Modulus Achitect INC
8220 San Pedro Dr. NE
Albuquerque, NW 87113

Re: Precision Storage
6217 Singla Ave. NE
Traffic Circulation Layout
Architect's Stamp 2/15/2024 (C18D087)

Dear Mr. Duran,

The TCL submittal received 2-21-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

SITE DATA TABLE	STORAGE
LT 27-A BLK 29 PLAT FOR LOT 27-A, BLOCK 29 NORTH ALBUQUERQUEACRES TRACT A, UNIT B (BEING COMPRISED OF LOTS 27 & 28, BLOCK 29 NORTH ALBUQUERQUE ACRES TRACT A, UNIT B)	
PROPOSED USES:	STORAGE USES
BUILDING SIZE:	101,272 SF
TOTAL PARKING REQ:1 SPACE/3,000 SQ. FT GFA	34 SPACES
TOTAL PARKING PROV:	36 SPACES
HC PROVIDED:	4 SPACES
HC REQUIRED:	
BIKE SPACES PROVIDED:3 SPACES OR 10% OF REQ.	3 SPACES
BIKE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
MOTORCYCLE SPACES REQUIRED:26-50 OFF STREET PARKING	2 SPACES
TOTAL:	42 SPACES

SITE AND PAVEMENT LEGEND	
	CONCRETE WHEEL STOP
	ADA PARKING SYMBOL
	PROPOSED LIGHT POLE
	DIRECTIONAL PARKING LOT ARROW
	ADA ACCESSIBLE PEDESTRIAN PATHWAY
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	TRUNCATED DOMES

PROPERTY INFORMATION:

ADDRESS: 6217 SIGNAL AVE N.E. ALBUQUERQUE, NM 87113.
LEGAL DESCRIPTION: LT 27-A BLK 29 PLAT FOR LOT 27-A, BLOCK 29 NORTH ALBUQUERQUEACRES TRACT A, UNIT B (BEING COMPRISED OF LOTS 27 & 28, BLOCK 29 NORTH ALBUQUERQUE ACRES TRACT A, UNIT B)

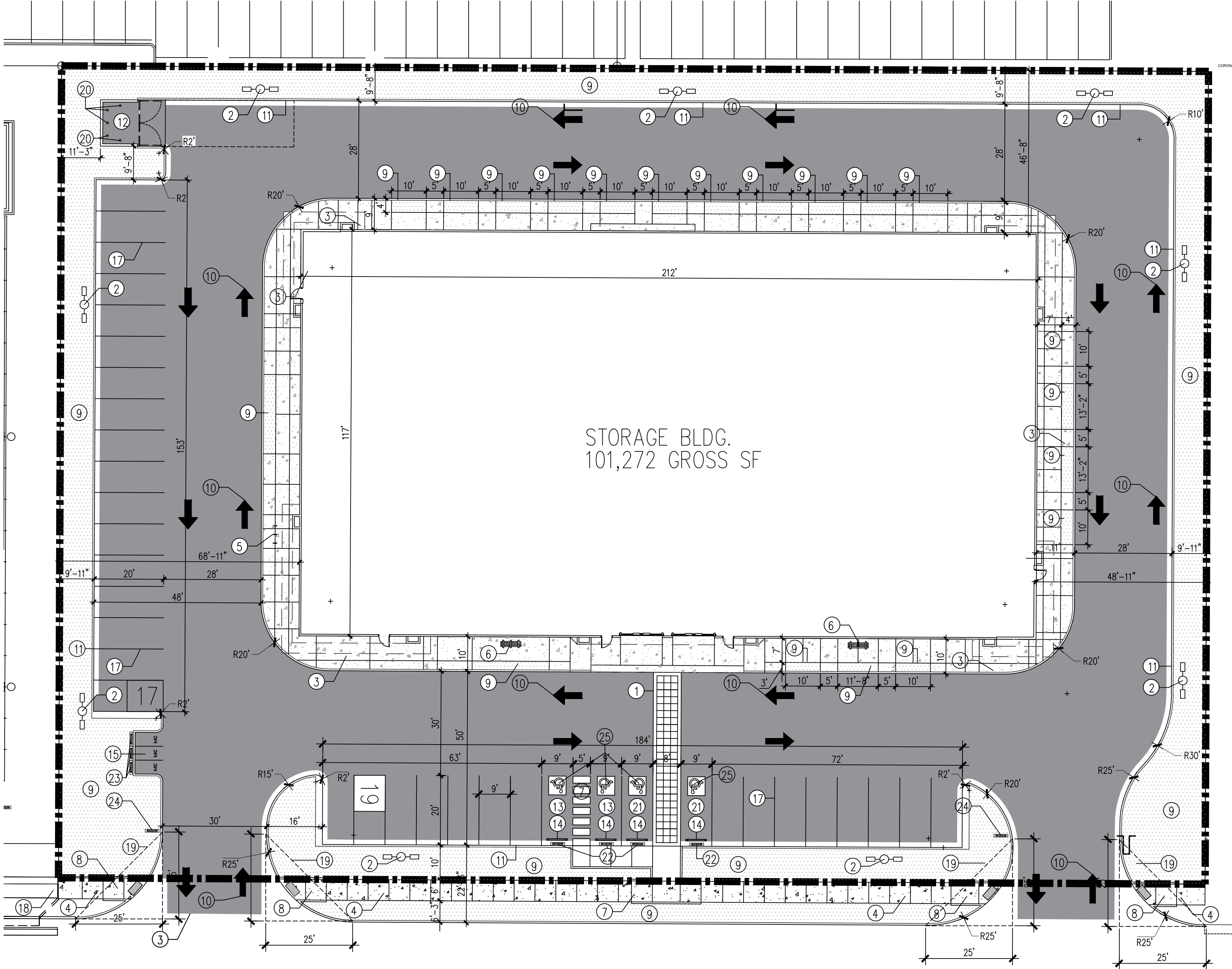
AREA: 1.7702 ACRES
ZONING: NR-BP
OVERLAY DISTRICT: NA
FLOOD ZONE DESIGNATION: X

EXECUTIVE SUMMARY

THIS SITE IS BOUNDED BY ALAMEDA TO THE NORTH AND SIGNAL AVE NE TO THE SOUTH AND IS LOCATED BEHIND TINCAN ALLEY AND STONE AGE CLIMBING GYM. THE SUBJECT SITE IS 1.77 ACRES. THE PROJECT INCLUDES A 4-STORY SELF-STORAGE FACILITY AND IS ZONED NR-BP. THE SITE HAS A DRB APPROVED SITE PLAN PROJECT NUMBER PR-2019-003076 / SI-2019-00367 APPROVED IN 2020. THE ACCESS TO THE SUBJECT SITE/PROJECT IS FROM SIGNAL ROAD. THE REQUIREMENTS FOR WIDTH, RADIUS AND DESIGN CONFIGURATIONS COMPLY WITH COA STANDARDS.

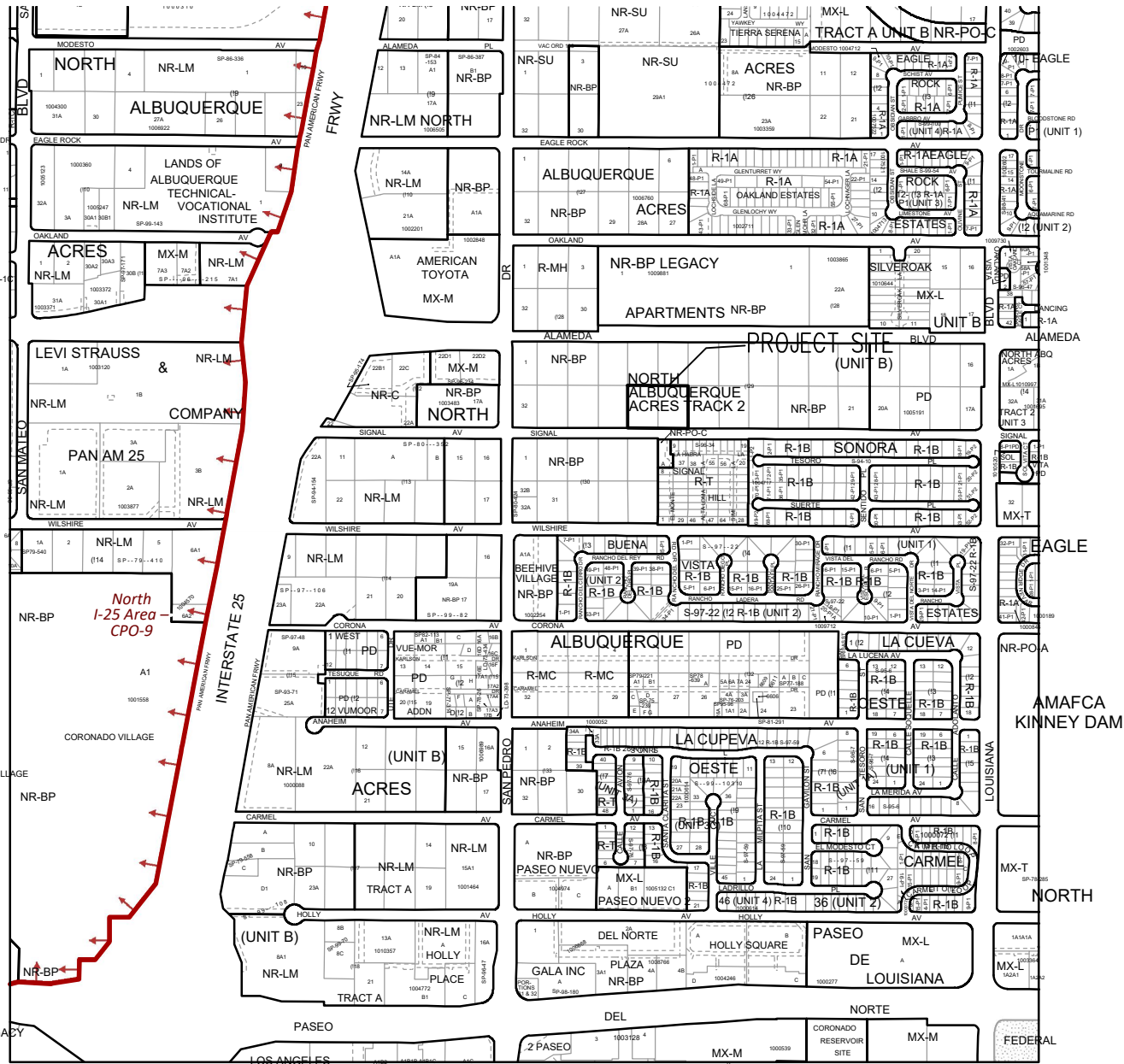
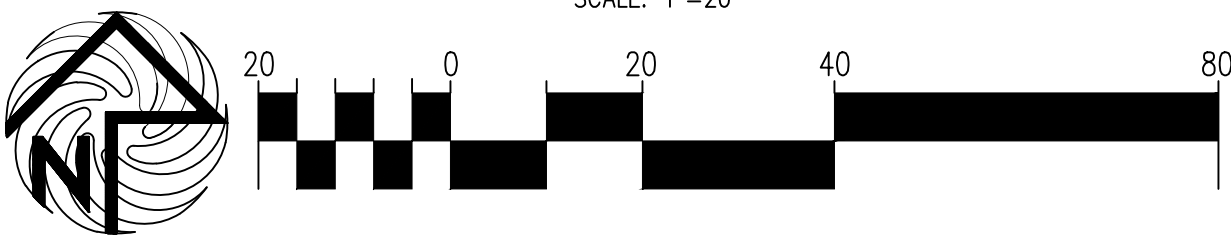
TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Amigo 2/22/2024
Signed Date

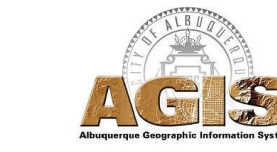


SIGNAL AVE. NE

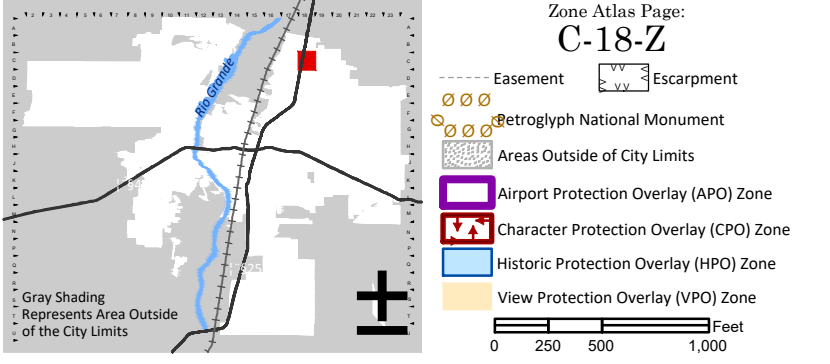
SITE PLAN FOR BUILDING PERMIT



IDO Zone Atlas
May 2018



IDO Zoning information as of May 17, 2018.
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

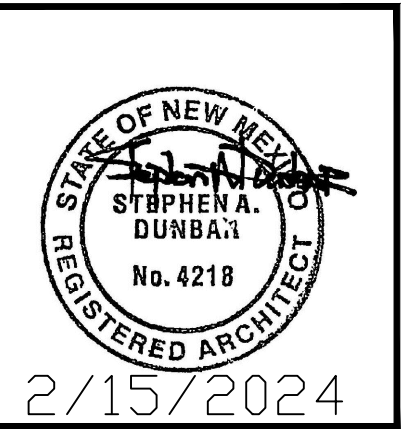
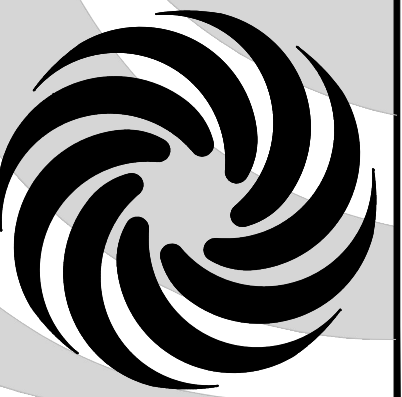


KEYED NOTE:

- 1' 8" , OR AS INDICATED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL G5/2
- 2' LIGHT POLE LOCATION RE: DETAIL G4/1
- 3' CONC. SIDEWALK ADJACENT BLDG RE: DET G5/6 RE: SITE PLAN FOR JOINT LAYOUT
- 4' CONC. SIDEWALK RE: DETAIL G5/1 RE: SITE PLAN FOR JOINT LAYOUT
- 5' INDICATES BIKE RACK LOCATION. (3 BIKE CAPACITY) RE: DETAIL G4/12
- 6' BENCH LOCATION RE: DETAIL G4/5
- 7' HANDICAP RAMP RE: G4/2
- 8' HANDICAP RAMP RE: G5/7
- 9' INDICATES LANDSCAPE PLANTING AREA G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION
- 10' DRIVE AISLE PAINT DETAIL RE: DET G4/7
- 11' 6" HIGH CONC. ISLAND /CURB RE: SITE GRADING PLAN FOR INFO
- 12' REFUSE ENCLOSURE RE: DETAILS G5.
- 13' H.C PARKING STALL RE: DETAIL G4/2
- 14' WHEELSTOP RE: DETAIL G4/4
- 15' INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DETAIL G4/6
- 16' NOT USED
- 17' PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
- 18' EXISTING CONCRETE SIDE WALK TO REMAIN.
- 19' INDICATES CLEAR SIGHT TRIANGLE:
NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERPAN.
- 20' BOLLARD PAINTED SAFETY YELLOW RE: DETAIL G5/3
- 21' H.C. PARKING STALL RE: DETAIL G4/13
- 22' HANDICAP SIGNAGE RE:DETAIL G4/10
- 23' MOTORCYCLE SIGNAGE RE:DETAIL G4/11A
- 24' STOP SIGN RE:DETAIL G4/9
- 25' HANDICAP MARKING RE:DETAIL G4/2

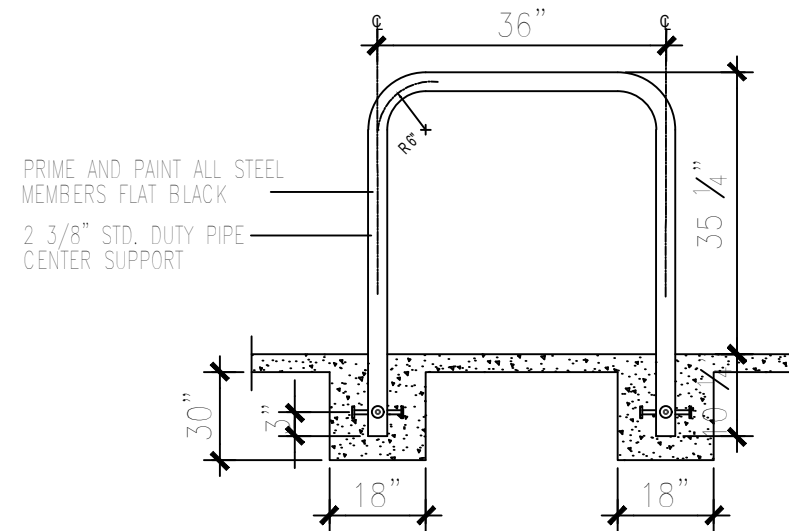
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**MODULUS ARCHITECTS
AND LAND USE PLANNING**
8220 SAN PEDRO DR. N.E. SUITE 520
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498



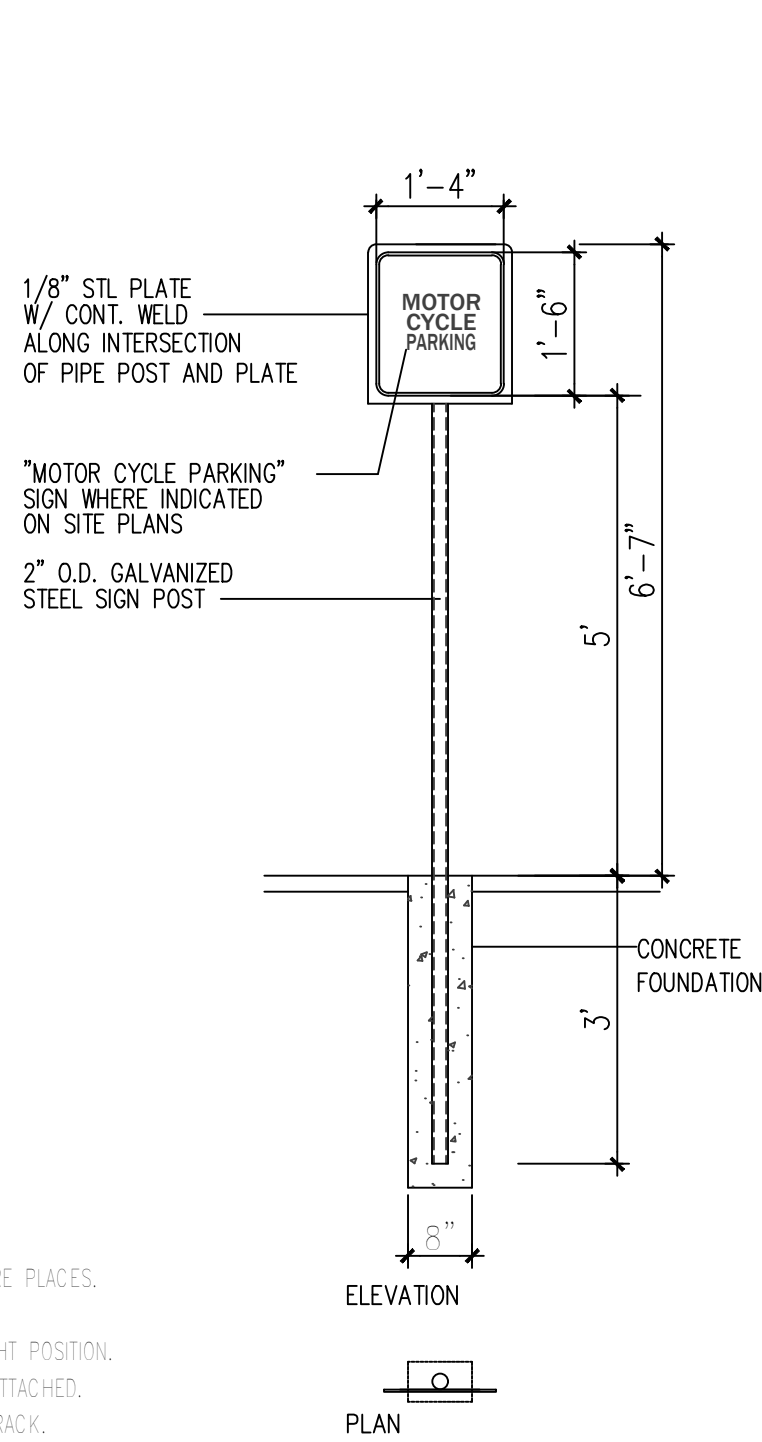
PROJECT TITLE PRECISION STORAGE 6217 SIGNAL AVE. N.E. ALBUQUERQUE, NEW MEXICO	PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. PRECISION-S	DRAWN BY: S	SHEET TITLE TCL PLAN
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DATE: 02/15/2023	sheet- G3
SCALE: RE: SCALE	of.

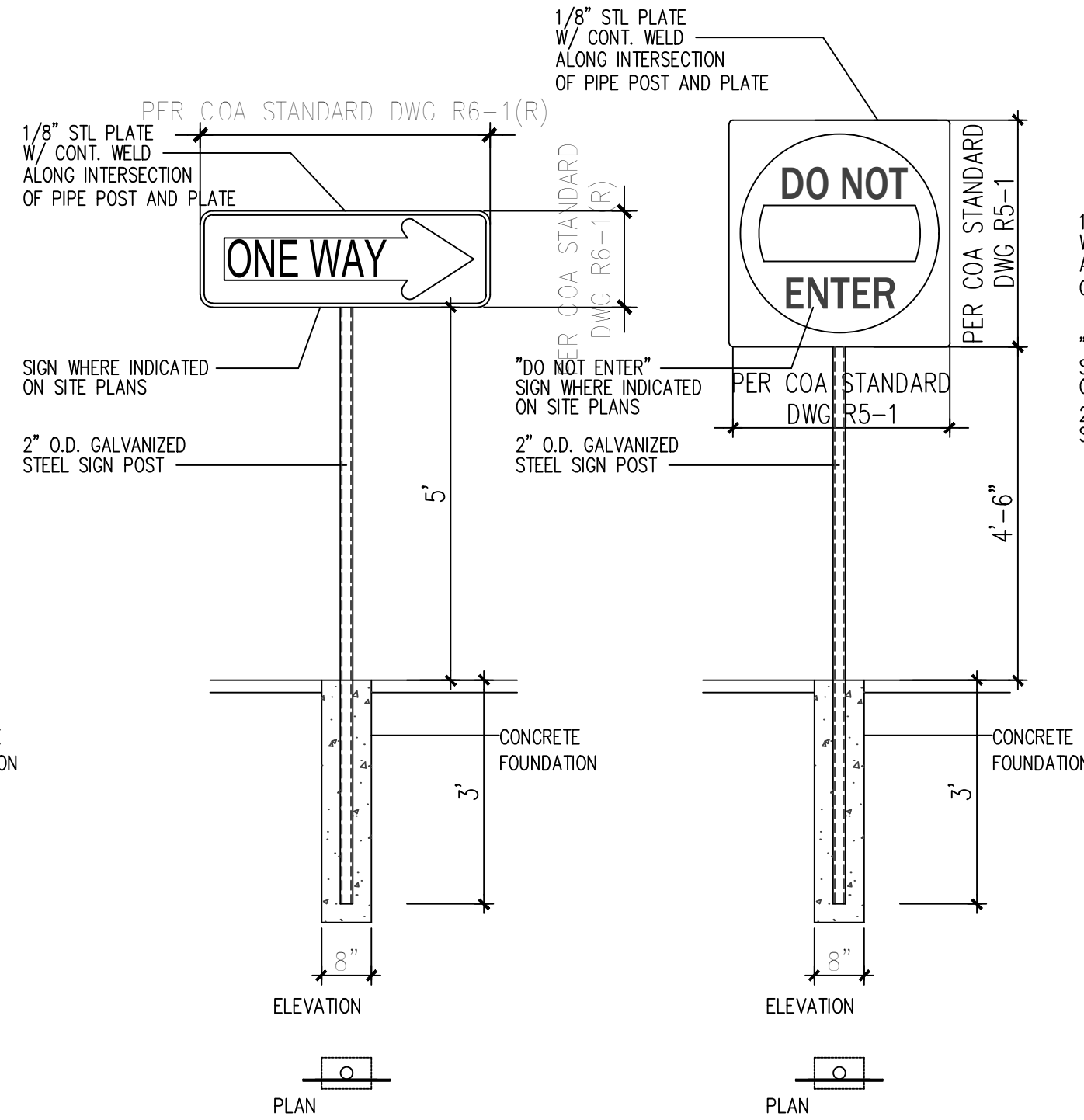


NOTE:
BICYCLE RACK SHALL BE DESIGN ACCORDING TO THE FOLLOWING GUIDELINES:
A. THE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE.
B. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT 2 OR MORE PLACES.
C. COMB/TOASTER RACKS ARE NOT ALLOWED.
D. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
E. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
F. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
G. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.

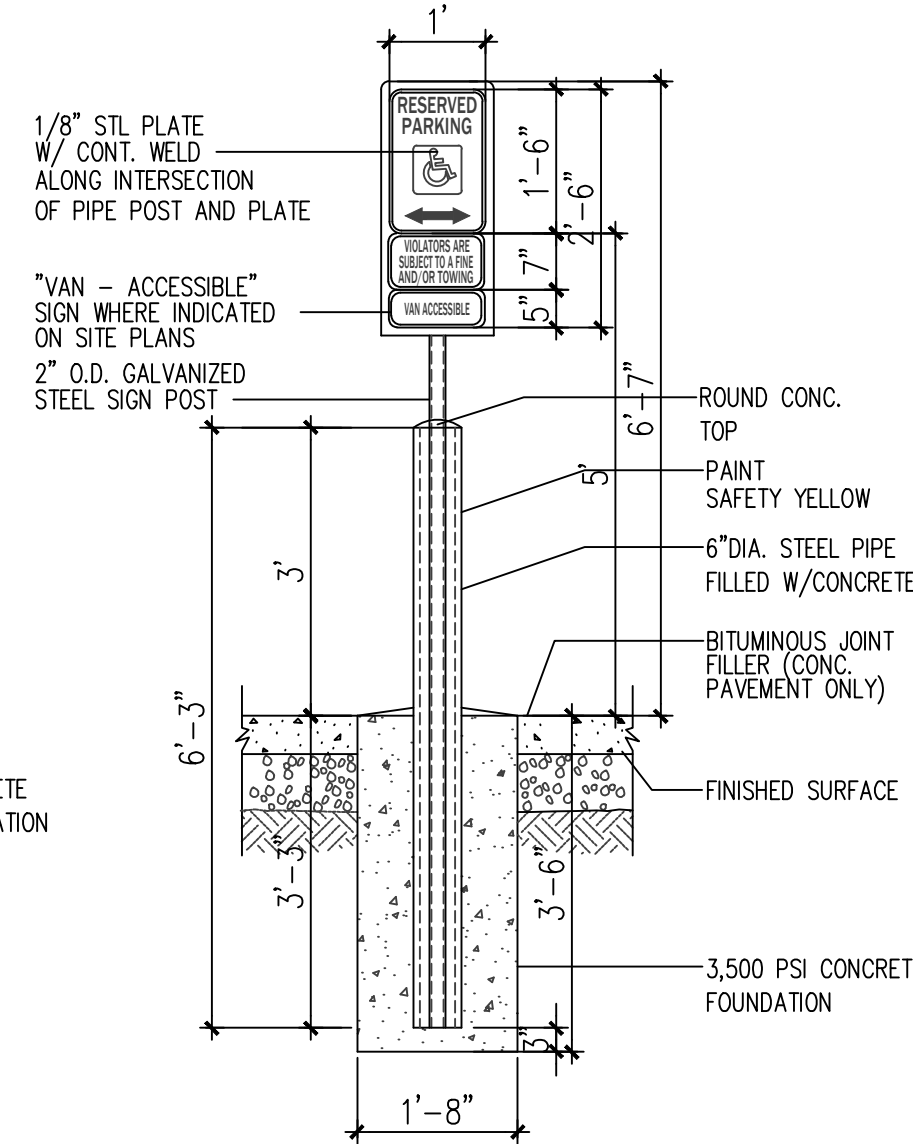
12 BIKE RACK
N.T.S



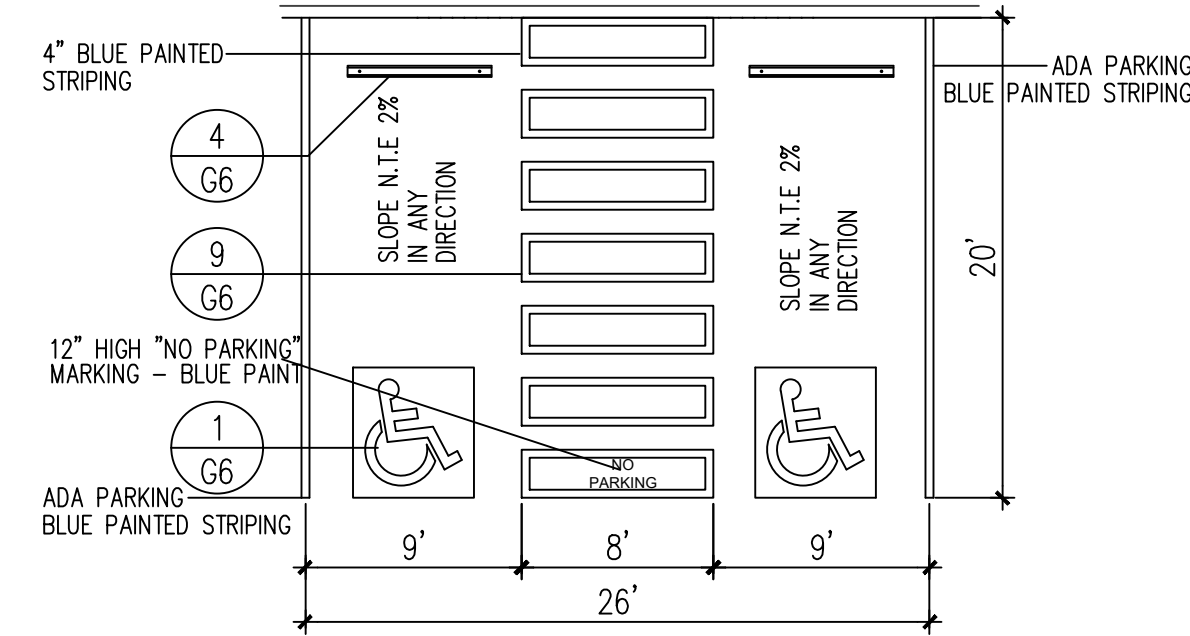
11A MISC. SIGNAGE
N.T.S



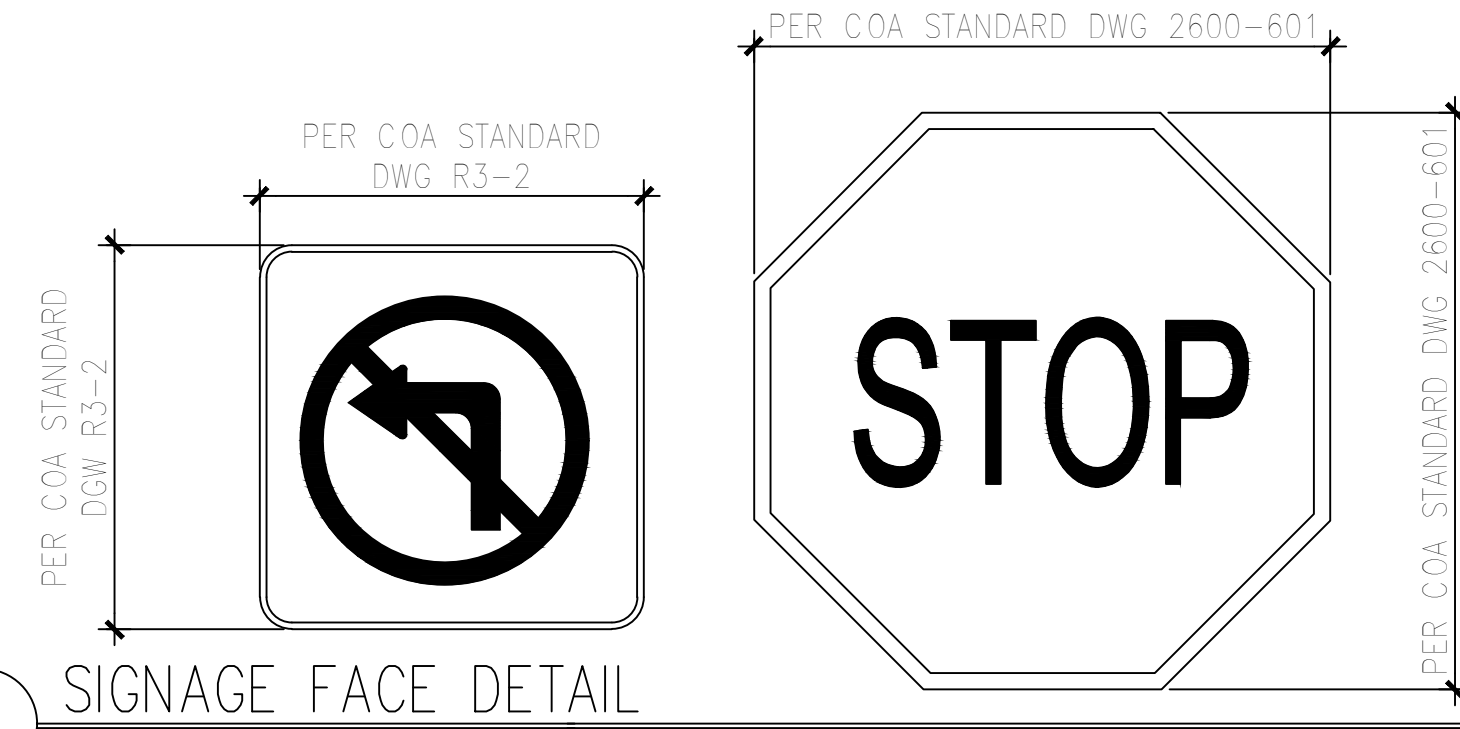
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N.T.S



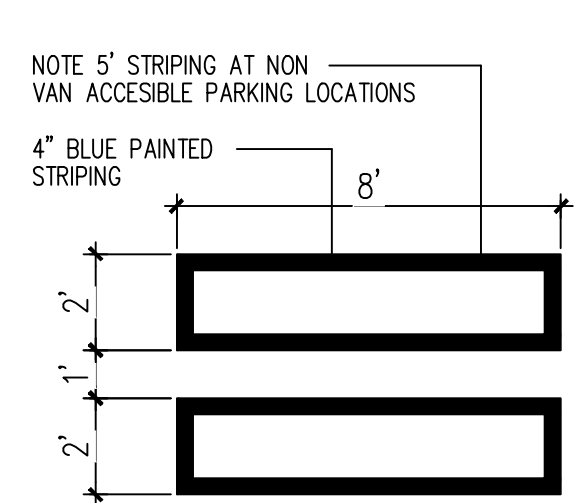
10 H.C SIGNAGE
N.T.S



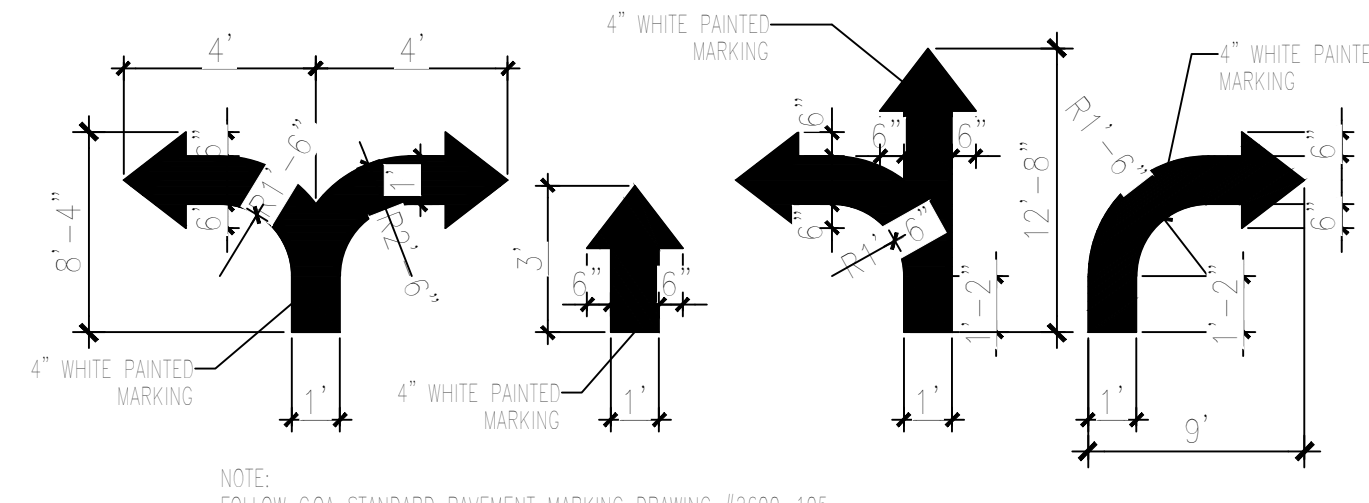
13 H.C PARKING PLAN DETAIL (VAN ACCESIBLE)
N.T.S



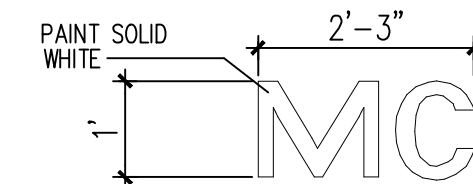
9 SIGNAGE FACE DETAIL
N.T.S



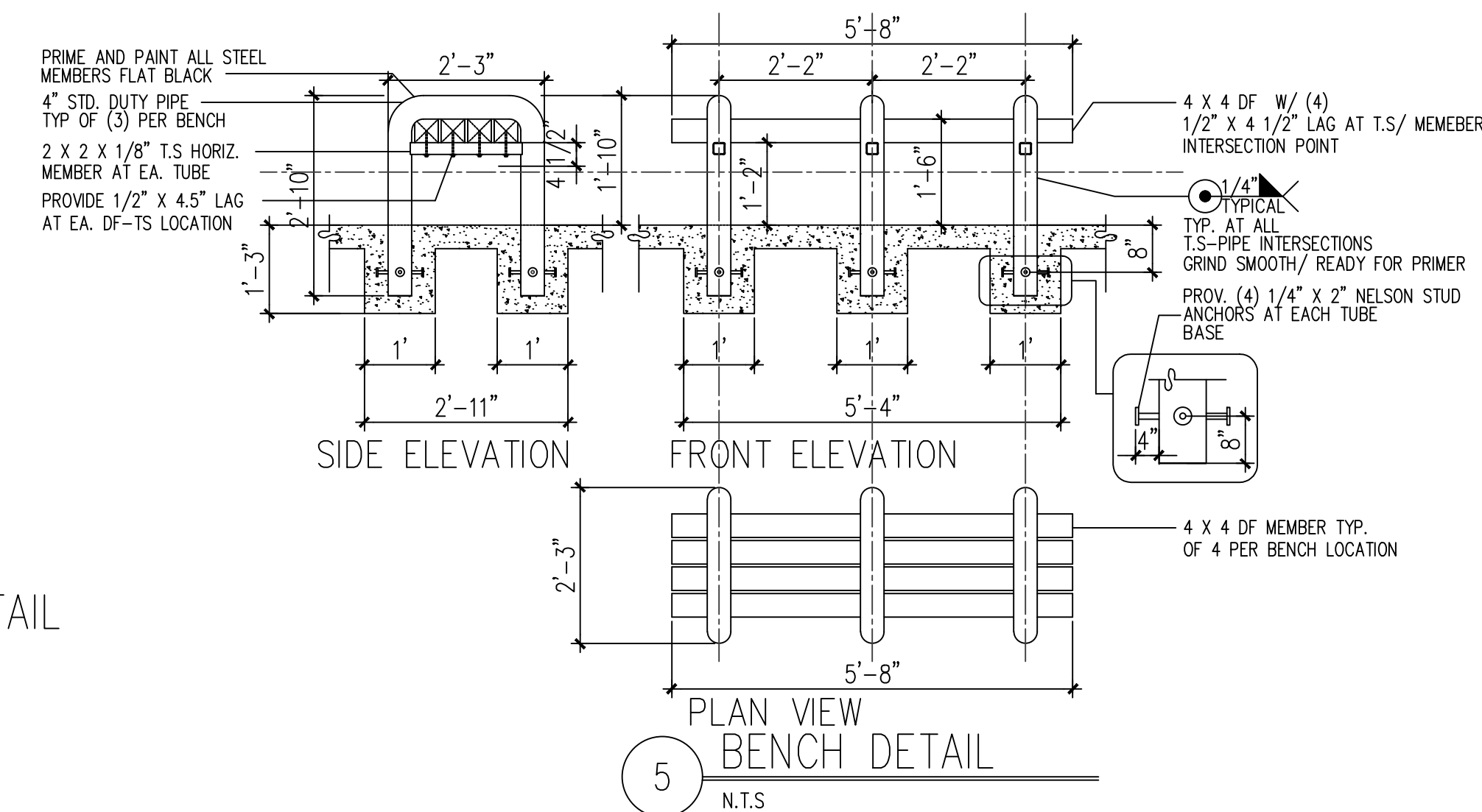
8 H.C PARKING-WALK PAINT DETAIL
N.T.S



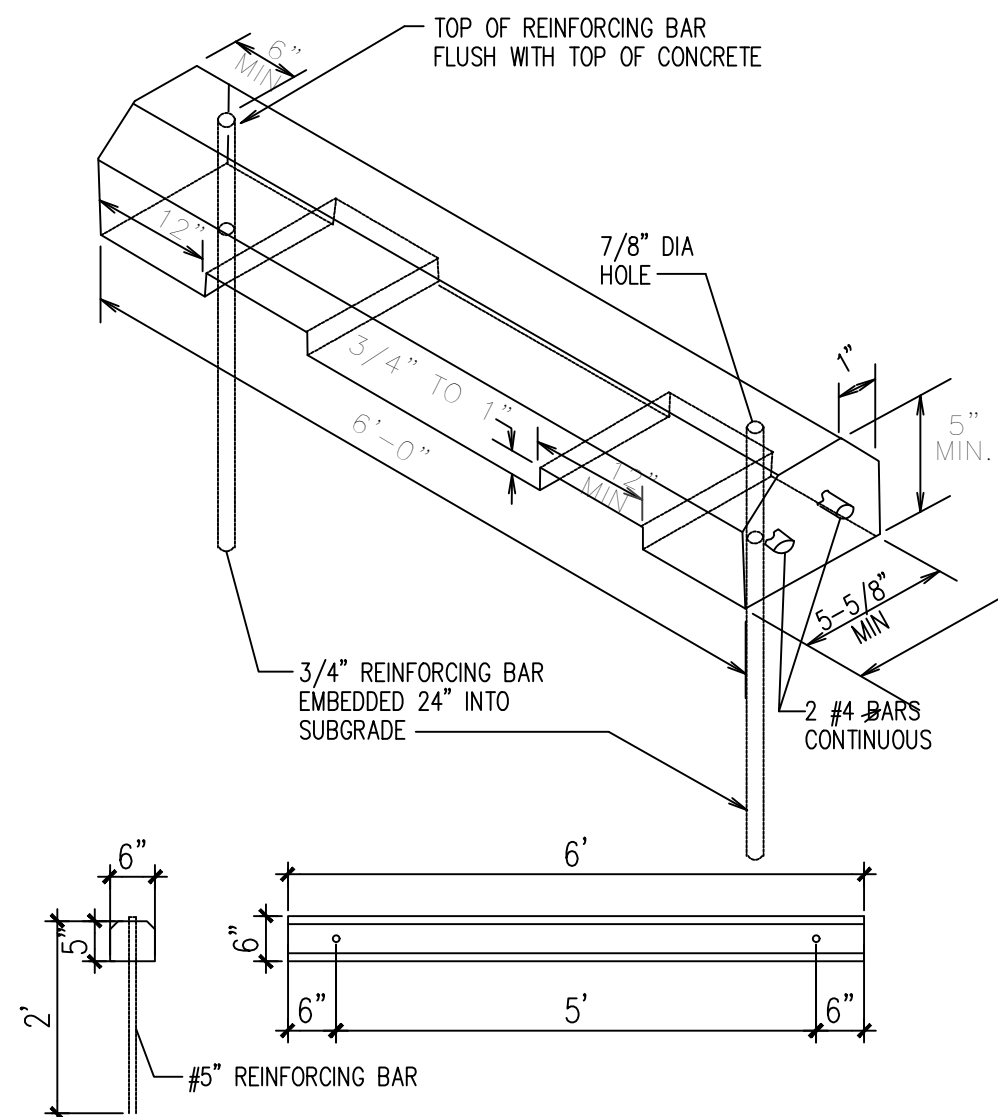
7 SITE DIRECTIONAL PAINT DETAIL
N.T.S



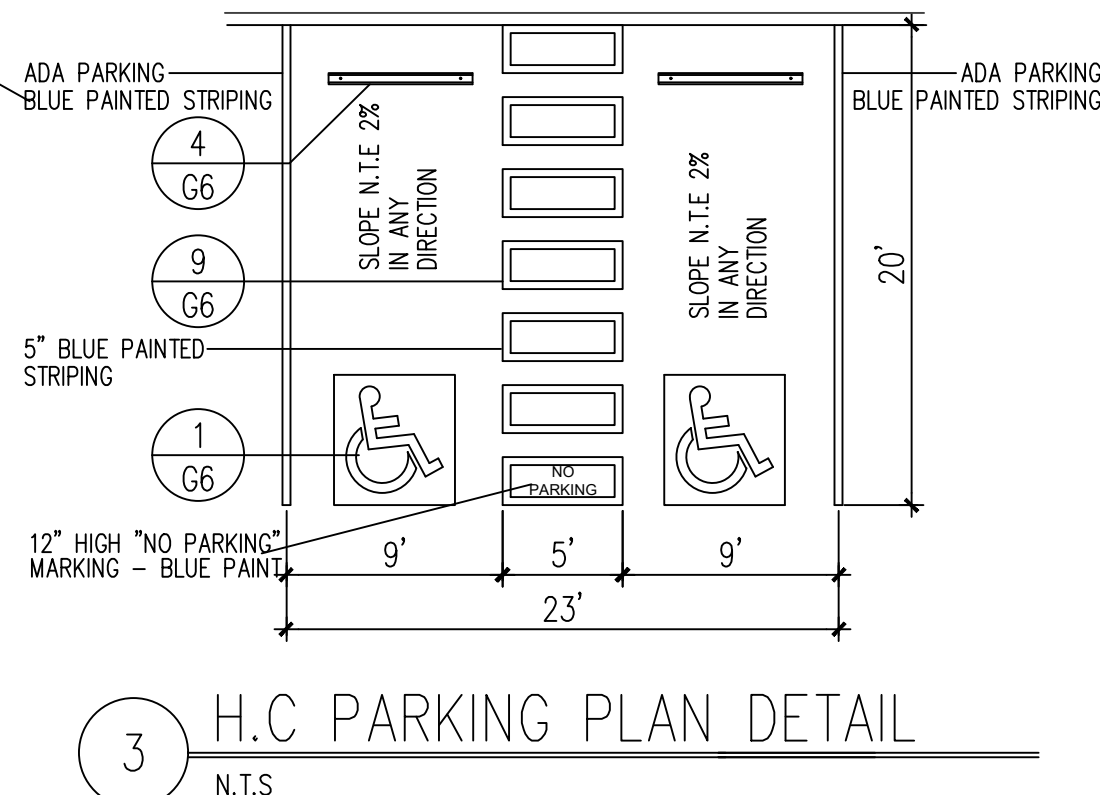
6 MOTORCYCLE PARKING PAINT DETAIL
N.T.S



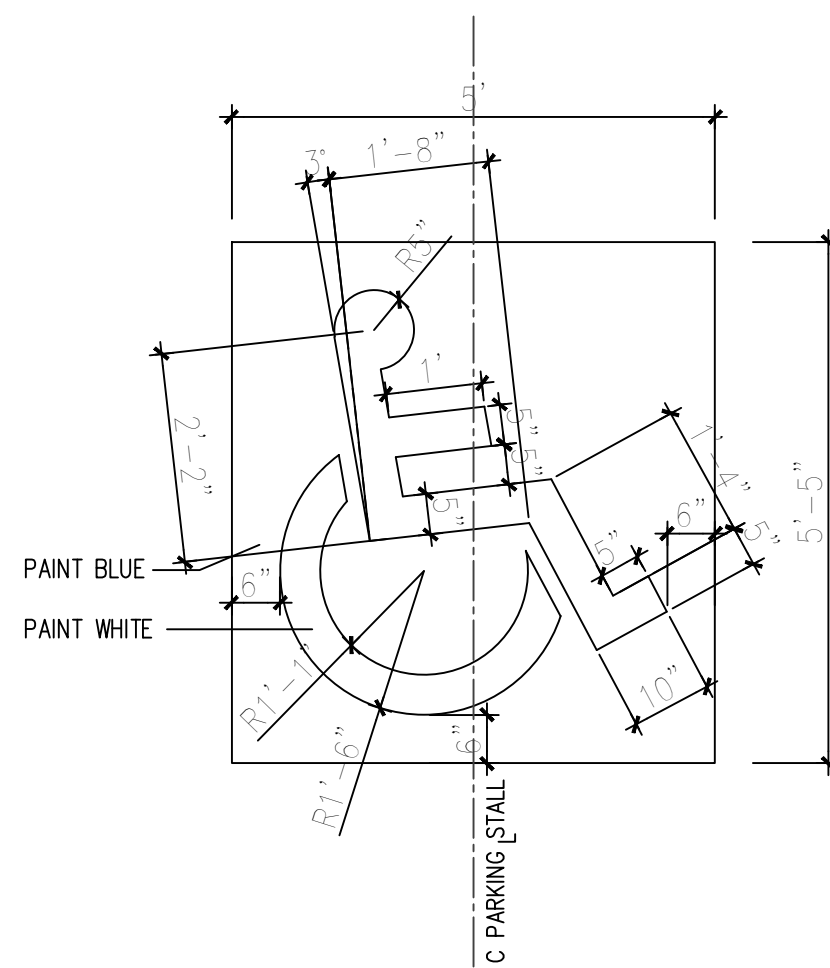
5 BENCH DETAIL
N.T.S



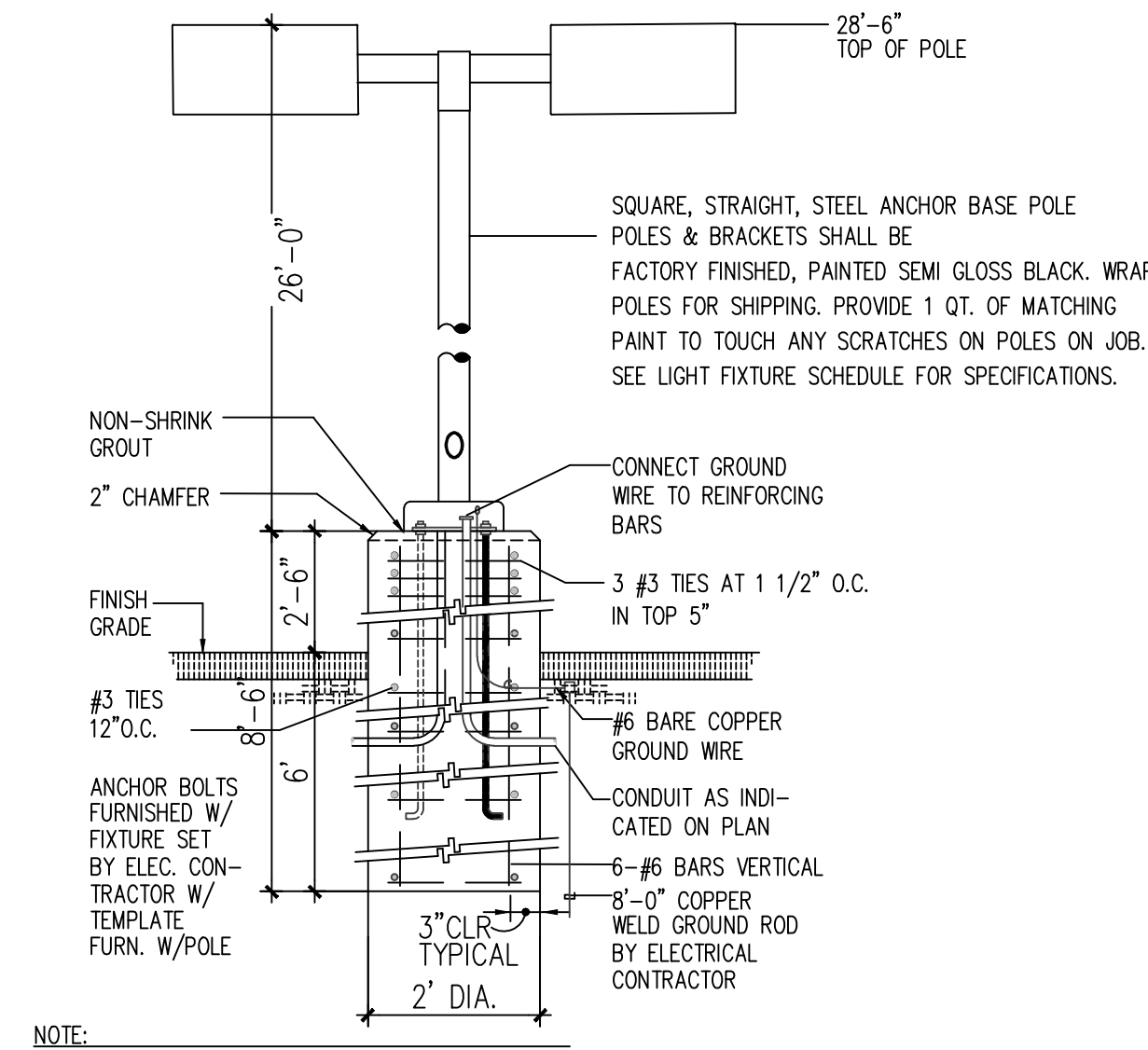
4 WHEEL STOP
N.T.S



3 H.C PARKING PLAN DETAIL
N.T.S



2 H.C SIGNAGE
N.T.S



NOTE:
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY, FIXTURES, POLE, BASE, SHALL WITH STAND MIN. 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY, WHICH EVER IS GREATER.
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODE REQUIREMENTS
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22' GENERAL CONTRACTOR SHALL VERIFY W/ ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL

1 LIGHT POLE DETAIL
N.T.S

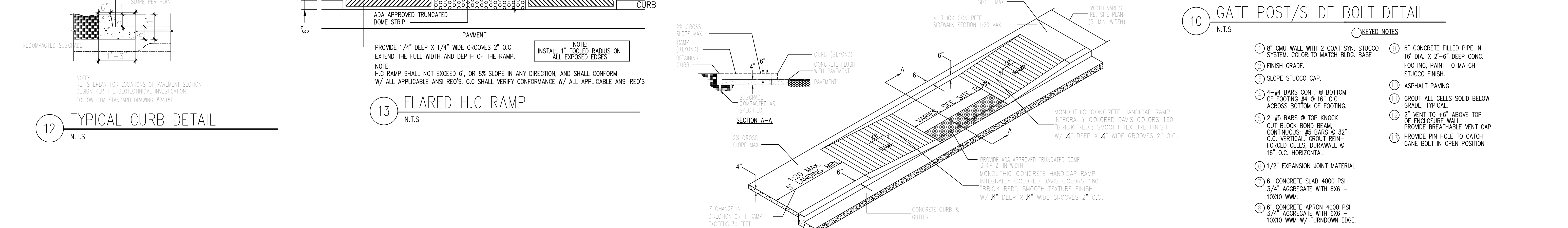
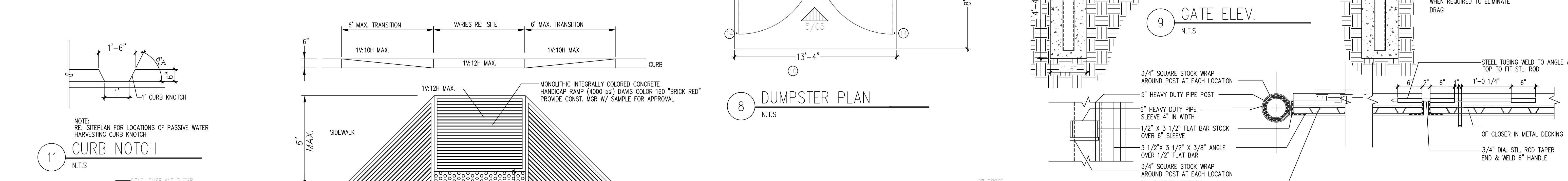
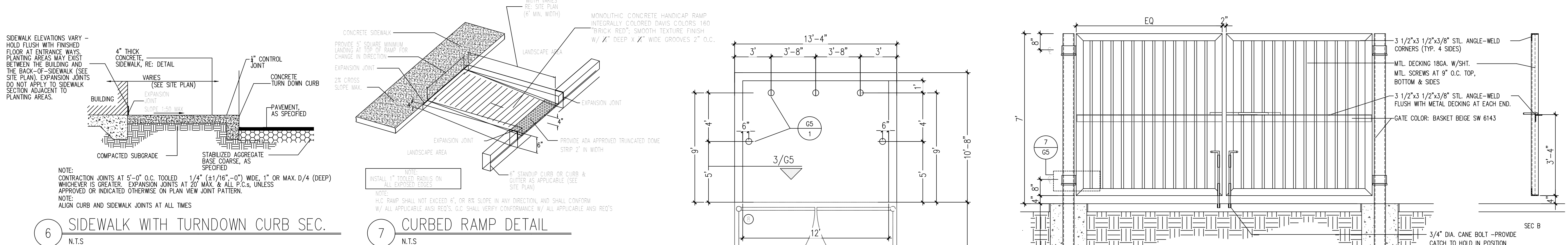
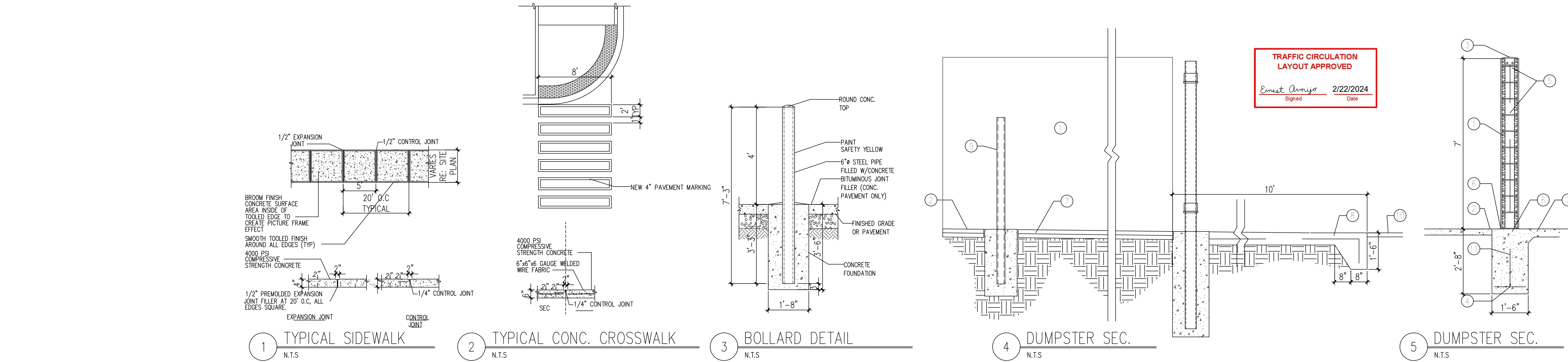
TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Amigo 2/22/2024
Signed Date

REV	DATE	BY	REVISION
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**MODULUS ARCHITECTS
AND LAND USE PLANNING**
8220 SAN PEDRO DR. N.E. SUITE 520
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT
2/15/2024

PROJECT TITLE PRECISION STORAGE 6217 SIGNAL AVE. NE ALBUQUERQUE, NEW MEXICO		JOB NO. PRECISION-S		DRAWN BY: S	
PROJECT MANAGER STEPHEN DUNBAR, AIA		SHEET TITLE SITE DETAILS			
DATE: 02/15/2023		sheet- G4			
SCALE: RE: SCALE		of:			



- KEYED NOTES
- 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH BLDG. BASE
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REIN-FORCED CELLS. DRAINWALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 6" CONCRETE SLAB 4000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M. W/ TURNDOWN EDGE.
 - 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW OF ENCLOSURE WALL. PROVIDE BREATHABLE VENT CAP
 - 2" VENT TO +6" ABOVE TOP OF ENCLOSURE WALL. PROVIDE BREATHABLE VENT CAP
 - PROVIDE PIN HOLE TO CATCH CANE BOLT IN OPEN POSITION

15 ENCLOSURE NOTES
N.T.S.

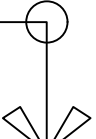
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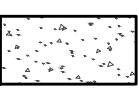
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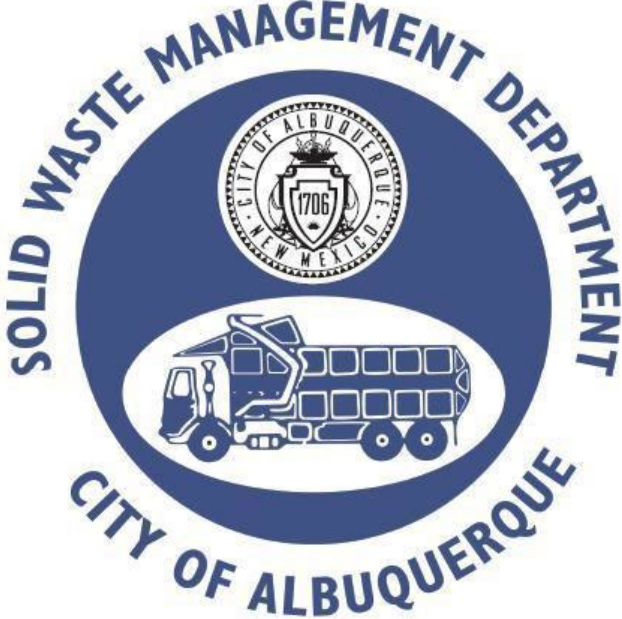


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PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. PRECISION-S
SHEET TITLE SITE DETAILS	sheet: G5
DATE: 02/15/2023	SCALE: RE: SCALE

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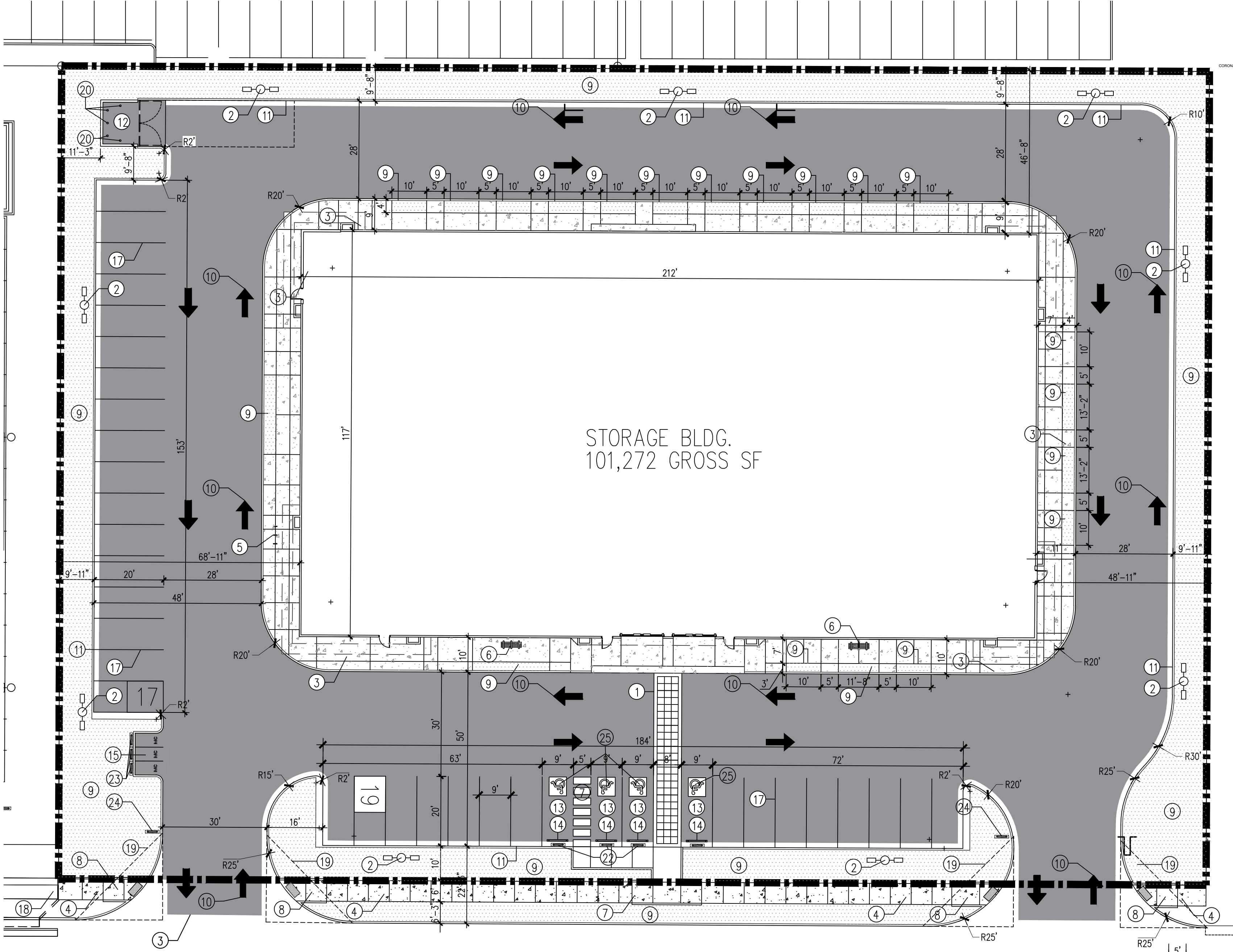
SITE AND PAVEMENT LEGEND	
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	CONCRETE PAVEMENT
	TRUNCATED DOMES



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: Herman Gallegos
Date: 02-20-24
Recycle Declined
No Entry Gates

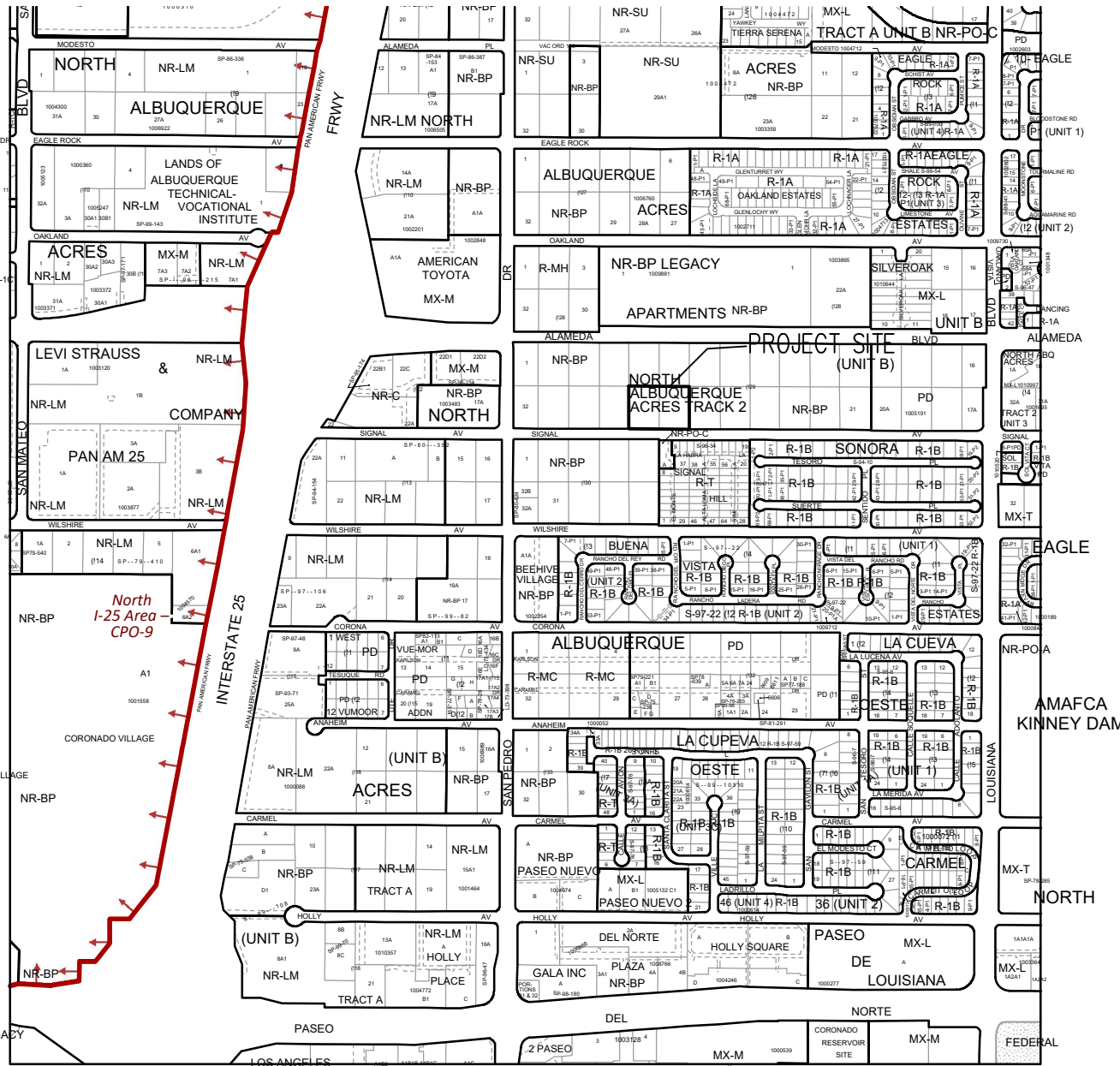
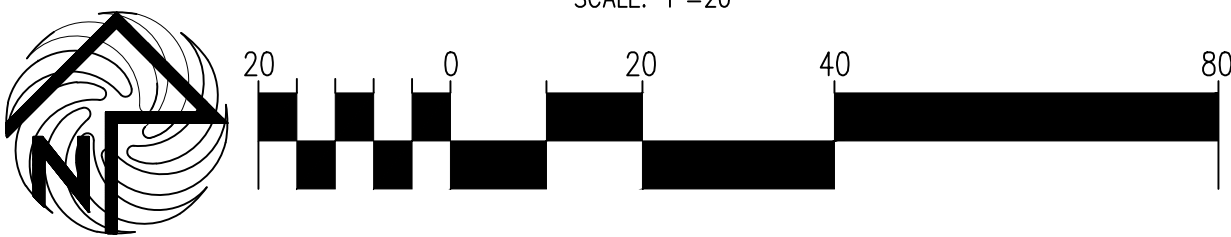
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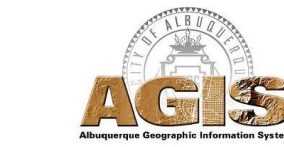


SIGNAL AVE. NE

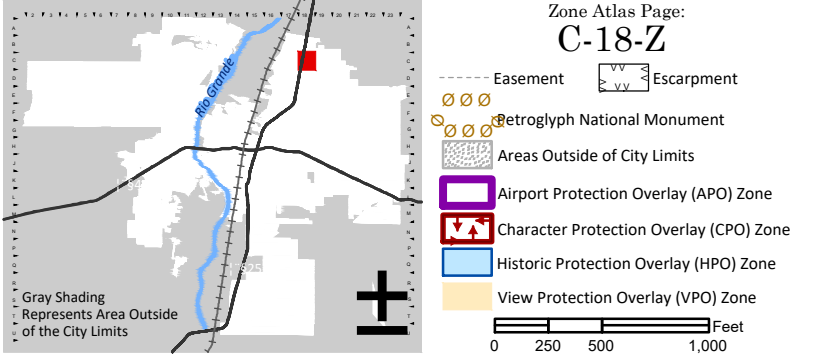
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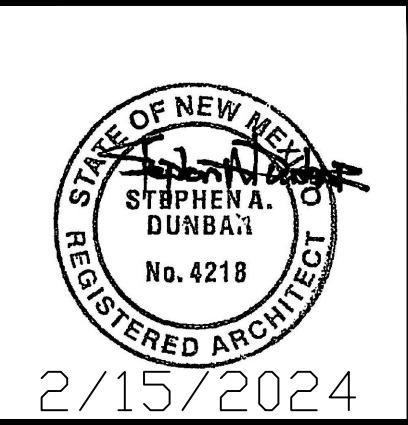


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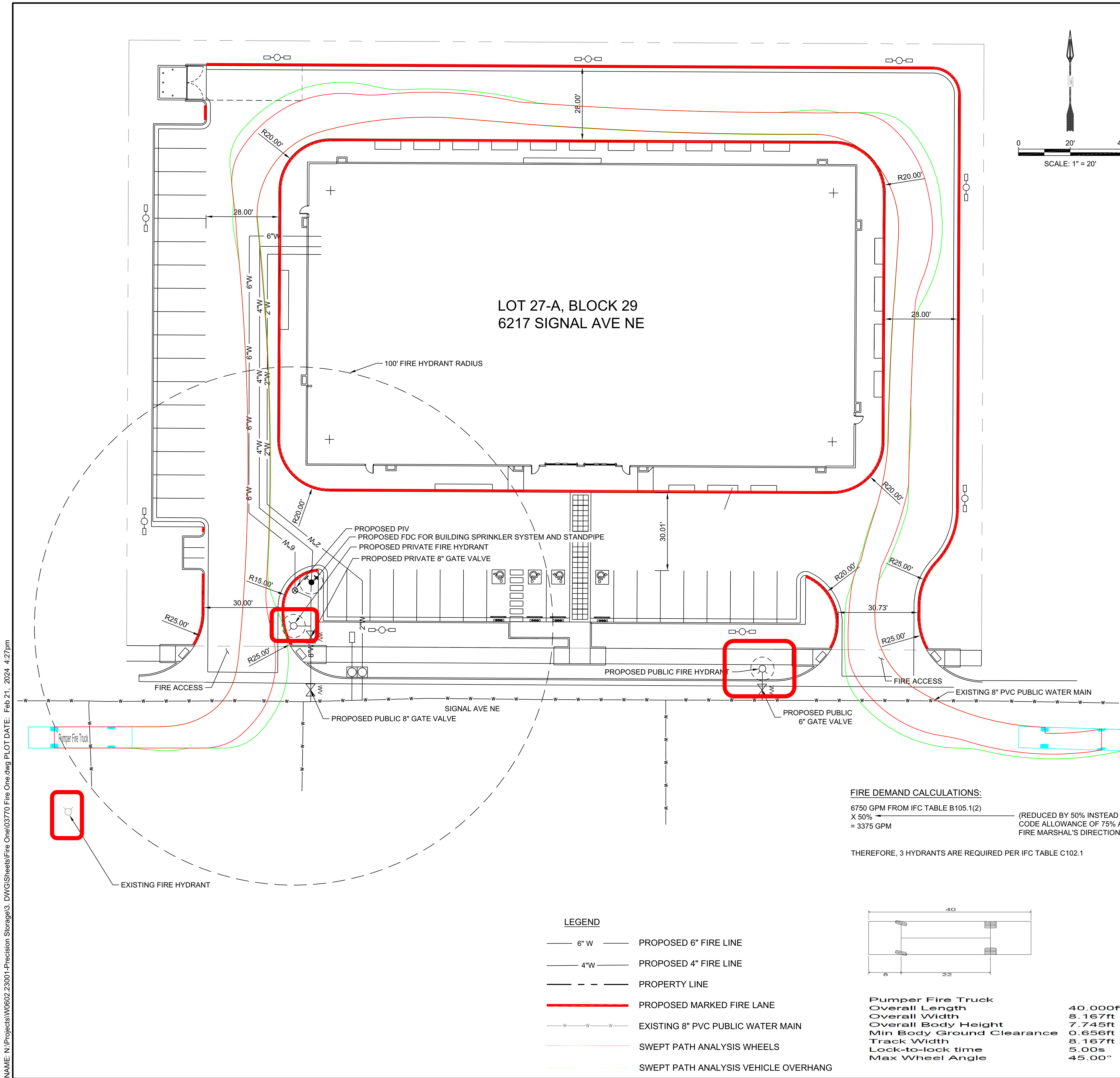
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8220 SAN PEDRO DR. N.E. SUITE 520
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE PRECISION STORAGE 6217 SIGNAL AVE. N.E. ALBUQUERQUE, NEW MEXICO	PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. PRECISION-S	DRAWN BY: S	SHEET TITLE TCL PLAN
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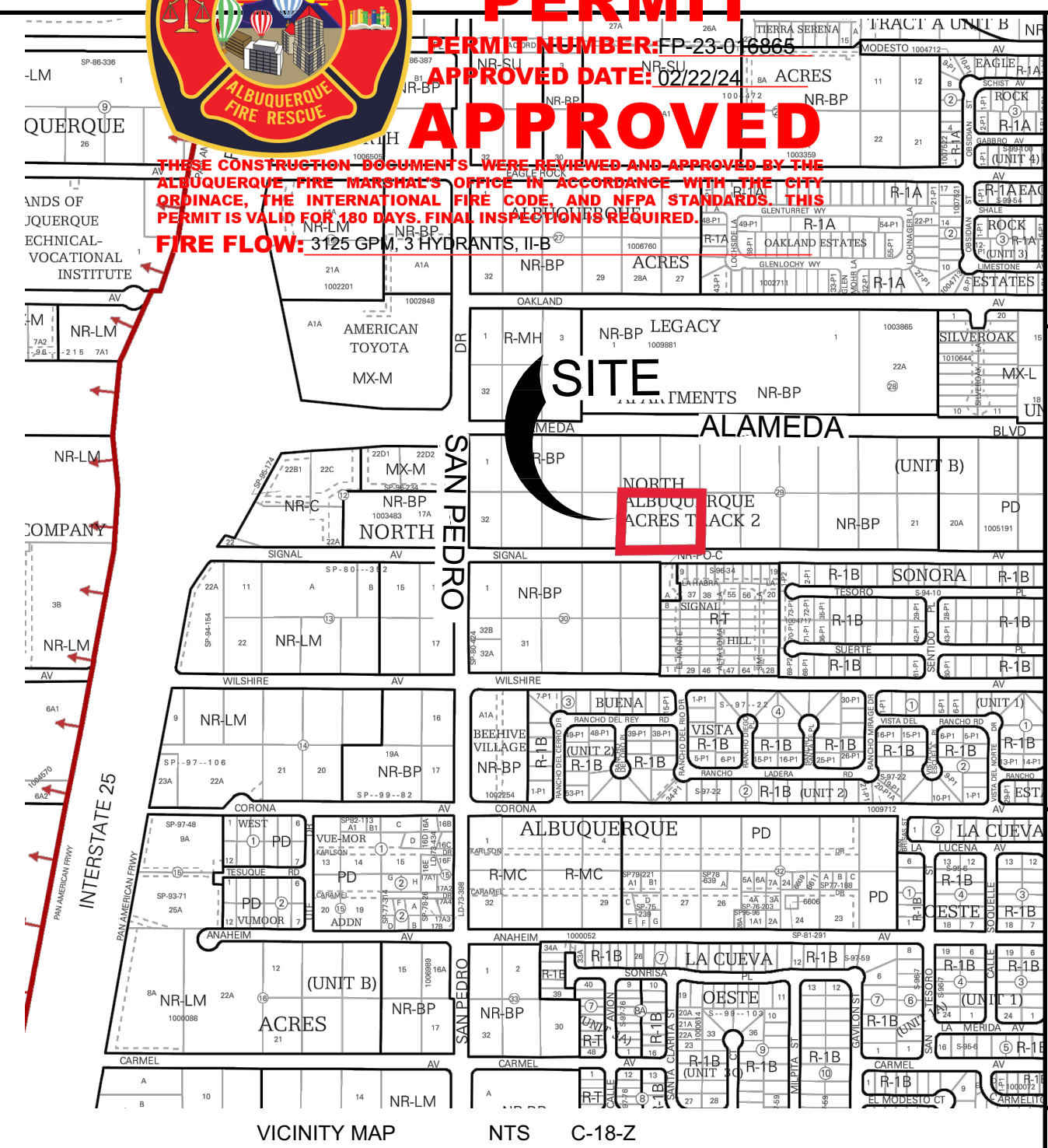
DATE: 02/15/2023	SHEET: G3
SCALE: RE: SCALE	OF:

NAME: N:\Projects\W0602 23001-Precision Storage\3. DWG\Sheets\Fire One.dwg PLOT DATE: Feb 21, 2024 4:27pm





**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**
PERMIT
PERMIT NUMBER: FP-23-018844
APPROVED DATE: 02/22/24
APPROVED
THIS CONSTRUCTION DOCUMENTS AND APPROVAL OF THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IS IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 90 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 3125 GPM, 3 HYDRANTS, 11.8'



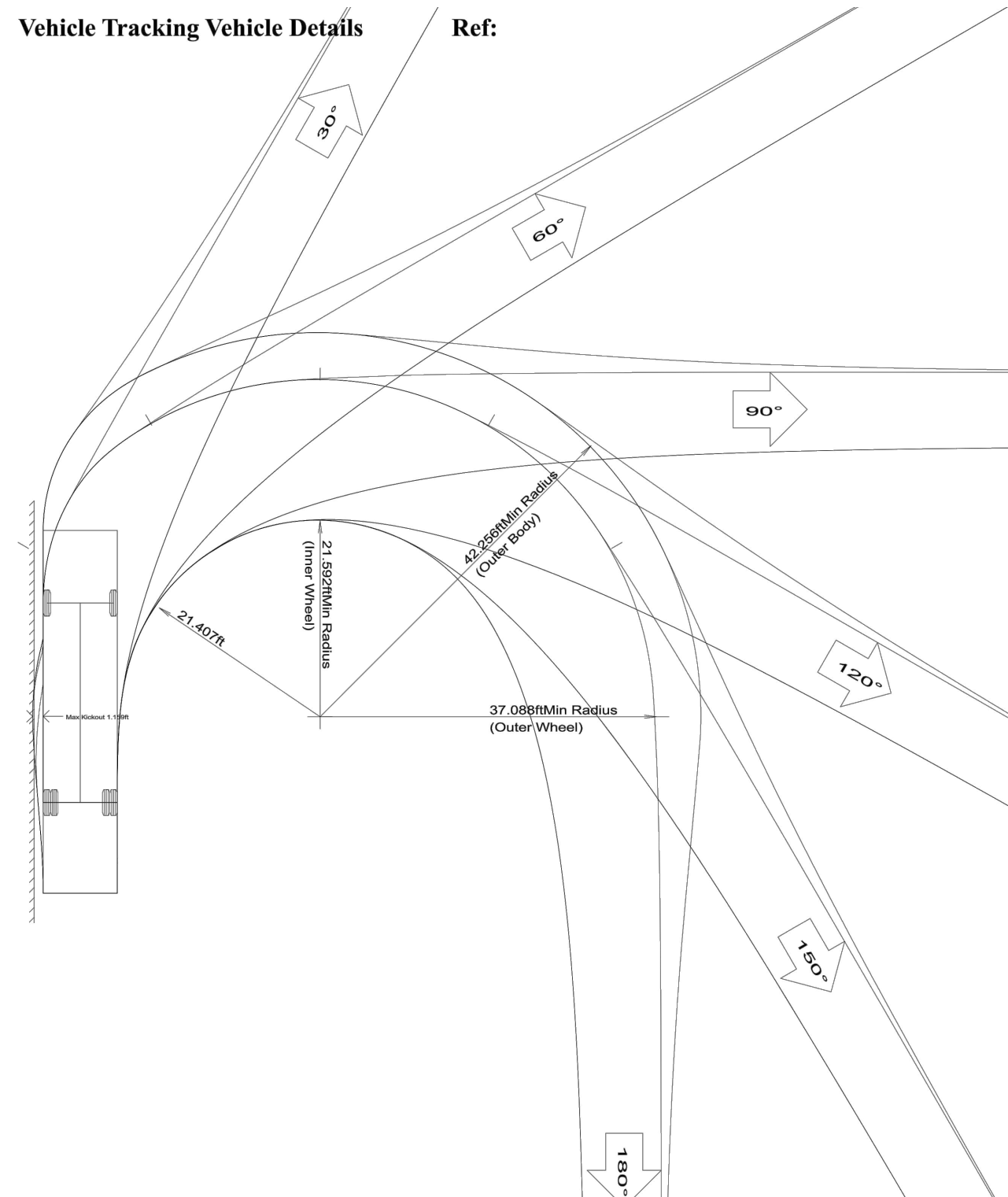
VICINITY MAP NTS C-18-Z

FIRE ONE NOTES:

- THE TOTAL HEIGHT OF THE PROPOSED BUILDING IS 53'.
- THE TOP FLOOR IS 40' ABOVE GROUND LEVEL. THEREFORE, A STANDPIPE WILL BE REQUIRED.
- BUILDING TYPE IS I-1B.
- THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED.
- THE GROSS BUILDING SQUARE FOOTAGE IS 101,272 SF.
- THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
- THE MINIMUM DRIVE ISLE WIDTH SHALL BE 28' UNLESS OTHERWISE SPECIFIED.
- BUILDINGS SHALL NOT EXCEED 10 PERCENT IN GRADE.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM STREET.
- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
- INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
- WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWINGS SHALL BE ON SITE FOR INSPECTIONS.
- A KEY BOX WILL BE PROVIDED AT THE MAIN ENTRANCE TO EACH BUILDING AND AT ALL GATES.

PROJECT SUMMARY:
THE PROPOSED DEVELOPMENT IS A SELF STORAGE FACILITY.

Vehicle Tracking Vehicle Details



Ref:

PROJECT NAME: **PRECISION STORAGE**

SHEET TITLE: **FIRE ONE PLAN**

SHEET NUMBER: **F-100**

DESIGNED BY: **RESPEC**
DRAWN BY: **RESPEC**
CHECKED BY: **RESPEC**
DATE: 2/21/2024

5971 Jefferson Street Suite 101
Albuquerque, New Mexico 87109
Water and Sewer Respects.com
505.253.9718

SHELDON E. GREER
NEW MEXICO
17154
LICENSED PROFESSIONAL ENGINEER
2/21/2024

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

nm811
Know what's below.
Call before you dig.