CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

December 19, 2024

Genevieve L Donart, PE Isaacson & Arfman, Inc 128 Monroe St. NE Albuquerque, NM 87108

Re: San Pedro Apartmrnt/ 9320 San Pedro Dr. NE/ BLDG 2

Request for Certificate of Occupancy

Transportation Development Final Inspection Engineer's Stamp dated 12-20-22 (C18-D108)

Certification dated 12-17-24

Dear Ms. Donart,

Based upon the information provided in your submittal received 12-18-24, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to the Poilting and Certificate of Occupancy.

Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991or at

earmijo@cabq.gov

Albuquerque

PO Box 1293

Sincerely,

NM 87103

Ernest Armijo, P.E.

www.cabq.gov Princ

Principal Engineer, Planning Dept.

Development Review Services

\xxx via: email C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title:		Hydrology File #		
Legal Description:				
City Address, UPC, OR Parcel:				
Applicant/Agent:		Contact:		
		Phone:		
Email:				
Applicant/Owner:		Contact:		
Address:		Phone:		
Email:				
(Please note that a DFT SITE is one th	at needs Site Plan A	pproval & ADMIN SITE is one that does no	ot need it.)	
TYPE OF DEVELOPMENT: PLAT (#of lots) _		RESIDENCE		
]	DFT SITE	ADMIN SITE		
RE-SUBMITTAL: YES N	1O			
DEPARTMENT: TRANSPO	RTATION	HYDROLOGY/DRAINAGE		
——————————————————————————————————————				
Check all that apply under Both the	Type of Submittal	and the Type of Approval Sought:		
TYPE OF SUBMITTAL:		TYPE OF APPROVAL SOUGHT: BUILDING PERMIT APPROVAL BP-2023-041		
ENGINEER/ARCHITECT CERTIFICATION				
PAD CERTIFICATION		CERTIFICATE OF OCCUPANCY	ERTIFICATE OF OCCUPANCY BLDG 5	
CONCEPTUAL G&D PLAN		CONCEPTUAL TCL DFT APPROVAL		
GRADING & DRAINAGE PLAN		PRELIMINARY PLAT APPROVAL		
DRAINAGE REPORT		FINAL PLAT APPROVAL		
DRAINAGE MASTER PLAN		SITE PLAN FOR BLDG PERMIT DFT APPROVAL		
CLOMR/LOMR				
TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE		SIA/RELEASE OF FINANCIAL GUARANTEE		
		FOUNDATION PERMIT APPROVAL		
TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL		GRADING PERMIT APPROVAL		
TRAFFIC IMPACT STUDY (TIS)		SO-19 APPROVAL		
STREET LIGHT LAYOUT		PAVING PERMIT APPROVAL		
OTHER (SPECIFY)		GRADING PAD CERTIFICATION		
		WORK ORDER APPROVAL		
		CLOMR/LOMR		
		OTHER (SPECIFY)		
DATE SUBMITTED:				



128 Monroe Street NE Albuquerque, NM 87108 505-268-8828 | www.iacivil.com

Date: December 17, 2024

Project: San Pedro Apts (C18D108)Subject: TCL Certification: Bldg 5

TRAFFIC CERTIFICATION

I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, P.A., hereby certify that Phase 1 of this project are in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 1/20/2023. I further certify that I or someone under my direct supervision visited the project site on December 17, 2024 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief with the following exceptions that must be completed before any futher certifications on the site:

This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

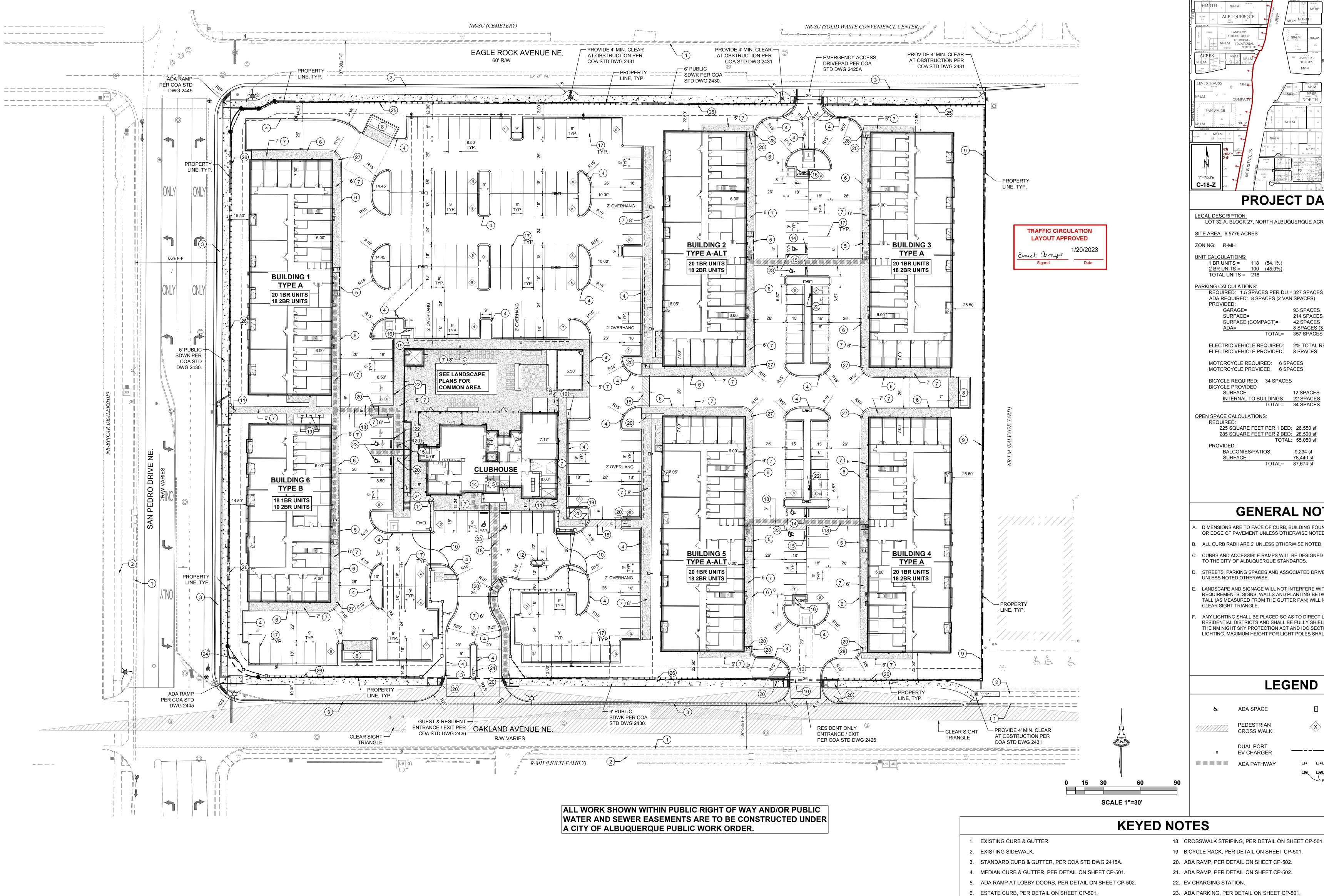
Sincerely,

Isaacson & Arfman, Inc.

Generican 2

Genevieve L Donart, NMPE No. 15088

2471 TCL Cert Letter.Docx 1 December 17, 2024





ISSUE DATE: 2022-11-30

Date 2 PERMIT COMMENTS

<u>LEGAL DESCRIPTION:</u>
LOT 32-A, BLOCK 27, NORTH ALBUQUERQUE ACRES SITE AREA: 6.5776 ACRES ZONING: R-MH

1 BR UNITS = 118 (54.1%) TOTAL UNITS = 218

PARKING CALCULATIONS: REQUIRED: 1.5 SPACES PER DU = 327 SPACES ADA REQUIRED: 8 SPACES (2 VAN SPACES)

SURFACE (COMPACT)= 42 SPACES

214 SPACES

ELECTRIC VEHICLE REQUIRED: 2% TOTAL REQUIRED = 7 SPACES ELECTRIC VEHICLE PROVIDED: 8 SPACES MOTORCYCLE REQUIRED: 6 SPACES

MOTORCYCLE PROVIDED: 6 SPACES BICYCLE REQUIRED: 34 SPACES BICYCLE PROVIDED

INTERNAL TO BUILDINGS: 22 SPACES TOTAL= 34 SPACES

OPEN SPACE CALCULATIONS: 225 SQUARE FEET PER 1 BED: 26,550 sf 285 SQUARE FEET PER 2 BED: 28,500 s PROVIDED:

BALCONIES/PATIOS: 9,234 sf

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB, BUILDING FOUNDATION, FACE OF WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. ALL CURB RADII ARE 2' UNLESS OTHERWISE NOTED.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

ANY LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND SHALL BE FULLY SHIELDED TO COMPLY WITH THE NM NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING. MAXIMUM HEIGHT FOR LIGHT POLES SHALL BE 16 FEET TALL.

LEGEND

ADA SPACE CROSS WALK BIKE RACK PARKING ROW COUNT

EV CHARGER ADA PATHWAY

— PROPERTY LINE □• □•□ SITE LIGHTING □ SEE LIGHTING PLANS

EXTRUDED CONCRETE BASE

- 7. SIDEWALK, PER DETAIL ON SHEET CP-501.
- 8. REFUSE ENCLOSURE, PER DETAIL ON SHEET CP-501.
- 9. EXISTING SOLID WALL TO REMAIN.
- 10. VEHICULAR ACCESS GATE, SEE LANDSCAPE.
- 11. PEDESTRIAN ACCESS GATE, SEE LANDSCAPE.
- 12. GUEST GATE CALL BUTTON. 13. SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CP-501.
- 14. SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CP-501. 15. SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CP-501.
- 16. SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET
- CP-501. 17. 4" WHITE STRIPE.

- 19. BICYCLE RACK, PER DETAIL ON SHEET CP-501.
- 20. ADA RAMP, PER DETAIL ON SHEET CP-502.
- 21. ADA RAMP, PER DETAIL ON SHEET CP-502.
- 22. EV CHARGING STATION.
- 23. ADA PARKING, PER DETAIL ON SHEET CP-501. 24. MONUMENT SIGNAGE: MAXIMUM SIZE 24 SQUARE FEET AND 4
- FEET TALL PER IDO SECTION 5-12 AND TABLE 5-12-1.
- 25. 6' SOLID CMU WALL ALONG EAGLE ROCK AVENUE (REAR).

26. 3' SOLID CMU WALL WITH 3' VIEW FENCE ABOVE (6' TOTAL

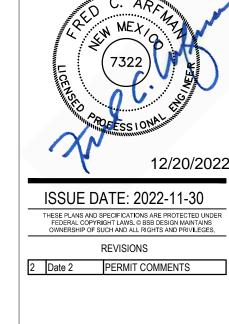
- 27. CONCRETE FILLED BOLLARD, PER DETAIL ON SHEET CP-501.
- 28. TRANSITION FROM MEDIAN CURB & GUTTER TO ESTATE CURB AT

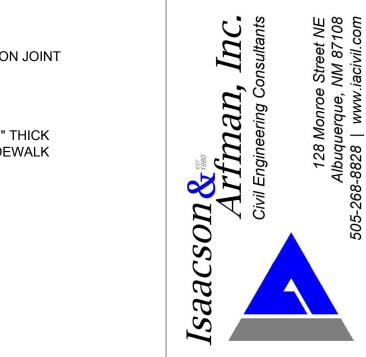
||||| D O D DESIGN www.bsbdesign.com 11211 Gold Country Blvd, Suite 101 Gold River, California 95670 JOB NO: LP210398.00 SITE PLAN

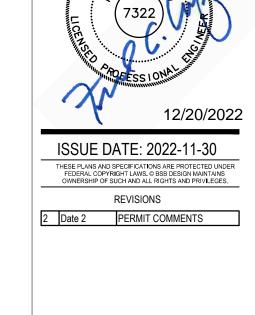
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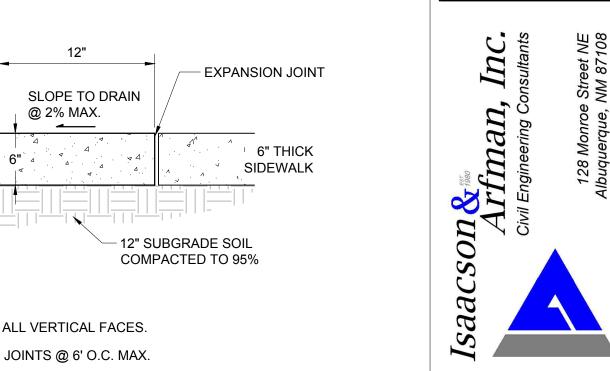
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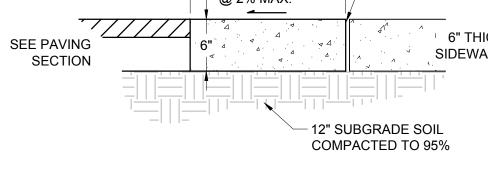








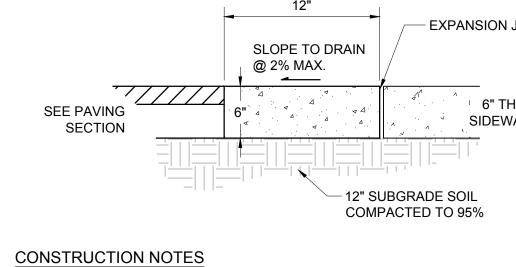




1. REQUIRES FULL FORM ON ALL VERTICAL FACES.

2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX. 3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF

4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8"



MEDIAN CURB AND GUTTER

3. EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF

4. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

SLOPE TO DRAIN

1. REQUIRES FULL FORM ON ALL VERTICAL FACES.

2. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.

SEE PAVING SECTION

CONSTRUCTION NOTES

SCALE: N.T.S. 6" WIDE THEORETICAL FACE OF CURB

THEORETICAL
FACE OF CURB

12" SUBGRADE SOIL

SCALE: N.T.S.

COMPACTED TO 95%

EXPANSION JOINT IF

ADJACENT TO WALK

BACK OF CURB TO

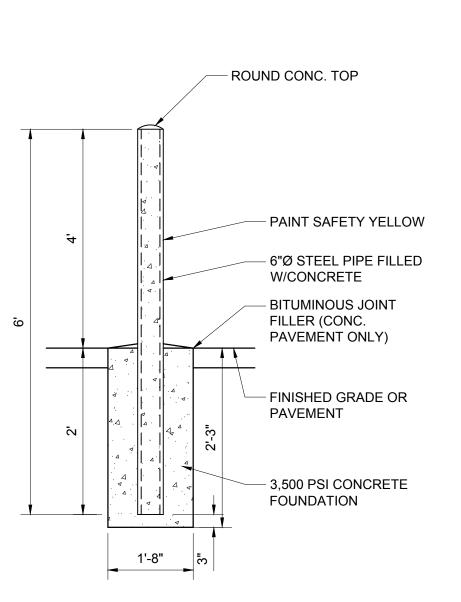
HAVE FINISHED

PONDING AREAS OR WHEN EXPOSED

FACE AT ALL

ESTATE CURB

SCALE: N.T.S.



ESTATE CURB PER -

2"-4" AVG. DIA. -

LANDSCAPE ROCK

EXPANSION -JOINT

CONSTRUCTION NOTES

1. CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.

3. REQUIRES FULL FORM ON ALL FACES.

4. 3/8" RADII AT ALL EXPOSED EDGES.

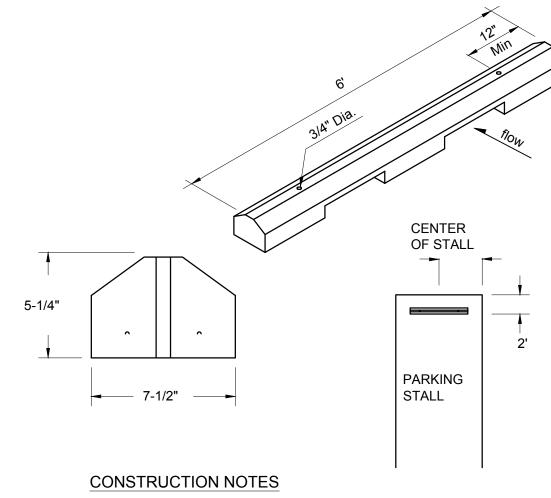
2. 1/2" EXPANSION JOINTS @ 24' O.C., CURB RETURNS AND EACH SIDE OF

SIDEWALK - TURNED DOWN EDGE

DETAIL THIS

SHEET





STANDARD CONCRETE

DIRECTION OF WALK.

SIDEWALK. LIGHT BROOM

FINISH PERPENDICULAR TO

CONSTRUCTION NOTES

CONCRETE (TYP).

BROOM FINISH

2. SEE CONCRETE JOINTS DETAIL

4. 3/8" RADII AT ALL EXPOSED EDGES.

CONCRETE WALK

(W)

1. 4000 PSI COMPRESSIVE STRENGTH CONCRETE

SCALE: N.T.S.

4 X (W) O.C

TYPICAL

1/2 EXPANSION JOINT SPACING

3. FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF

- CONTRACTION /

CONTROL JOINT

(W) WIDTH

SEE PLAN

SCALE: N.T.S.

PER PLAN

AT ESTATE CURB

PER PLAN

AT LANDSCAPING

@ 2% MAX.

SCALE: N.T.S.

SLOPE TO DRAIN

@ 2% MAX.

- 4" YELLOW PAINT

— 4" YELLOW PAINT

ALONG EDGE

ALONG EDGE

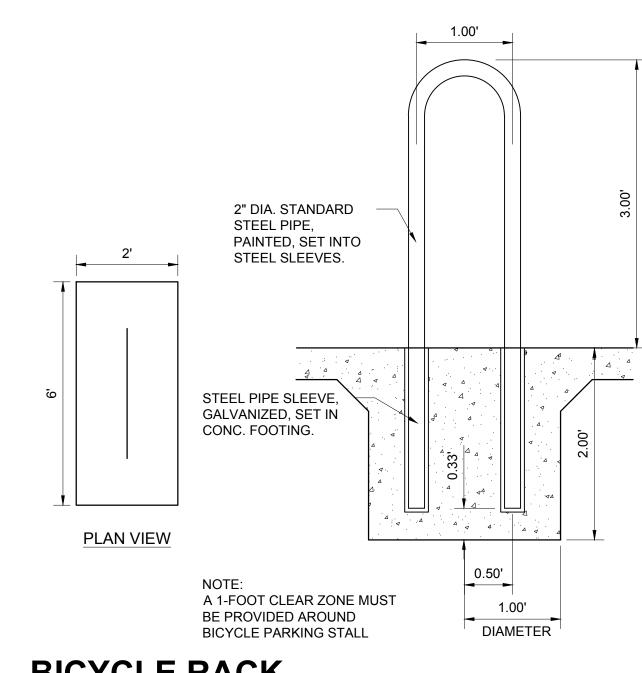
1. WHEEL STOPS TO BE PLACED 2' BACK, CENTERED IN THE PARKING STALL WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK.

2. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS. 3. INSTALL EACH WITH TWO DOWELS PER MANUFACTURERS

SPECIFICATIONS.

SCALE: N.T.S.

CONCRETE WHEEL STOP



BICYCLE RACK

1/2" PREMOLDED — 1/4" TOOLED JOINT **EXPANSION JOINT** W/ 1/8" RADII. MATERIAL. 1/4" RADII **EXPANSION JOINT** CONTRACTION / CONTROL JOINT

CONSTRUCTION JOINT

CONSTRUCTION NOTES

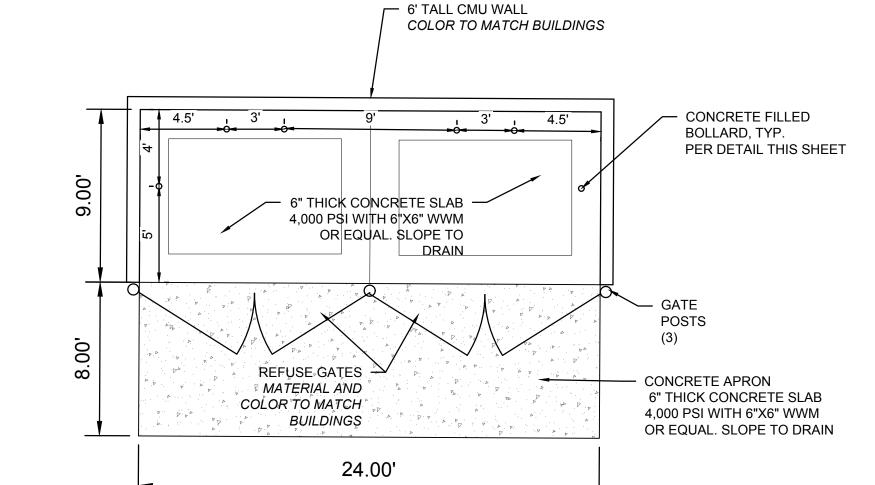
- 1. ODD-SHAPED AREAS OF PAVEMENT SHOULD BE AVOIDED TO MINIMIZE RANDOM CRACKING
- 2. LONGITUDINAL JOINT SPACING SHALL NOT EXCEED 12.5'
- 3. TRANSVERSE JOINT SPACING SHALL BE AT REGULAR INTERVALS OF 15'
- 4. OFFSETS AT RADIUS POINTS SHALL BE AT LEAST 1.5' WIDE

CONCRETE JOINTS

SCALE: N.T.S.

SCALE: N.T.S.

TRAFFIC CIRCULATION LAYOUT APPROVED Emest Ormijo 1/20/2023
Signed Date



REFUSE ENCLOSURE

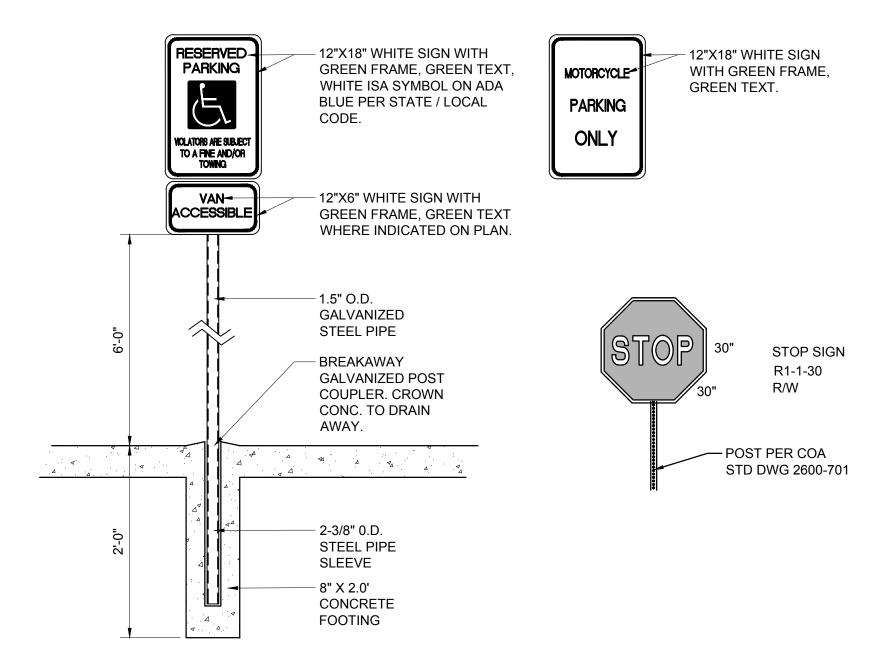
6' MIN. - 4" WHITE PAINTED STRIPING

PAINTED CROSSWALK MARKINGS



PAINTED 'COMPACT'

SCALE: N.T.S.



SIGNAGE

ALBUQUE TEKIN **BSB** DESIGN www.bsbdesign.com 11211 Gold Country Blvd, Suite 101 JOB NO: LP210398.00

ARTMENT

PEDRO

SAN

SITE DETAILS

TEKIN

JOB NO: LP210398.00

SITE ADA DETAILS

CP-502

ADA ACCESSIBLE RAMP NOTES

KEYED NOTES

A PCC LANDING AREA AT 2% SLOPE (MAX.) IN ALL DIRECTIONS. 2. PAYMENT FOR DETECTABLE WARNING SURFACE IS INCIDENTAL TO ADA ACCESSIBLE RAMP PAYMENT ITEM.

B PCC RAMP AT 8.3% MAX. SLOPE OR 15' LONG (MAX.) AND 2% MAX CROSS SLOPE. © 2' DETECTABLE WARNING SURFACE (TRUNCATED DOMES). CAST IN PLACE, REPLACEABLE.

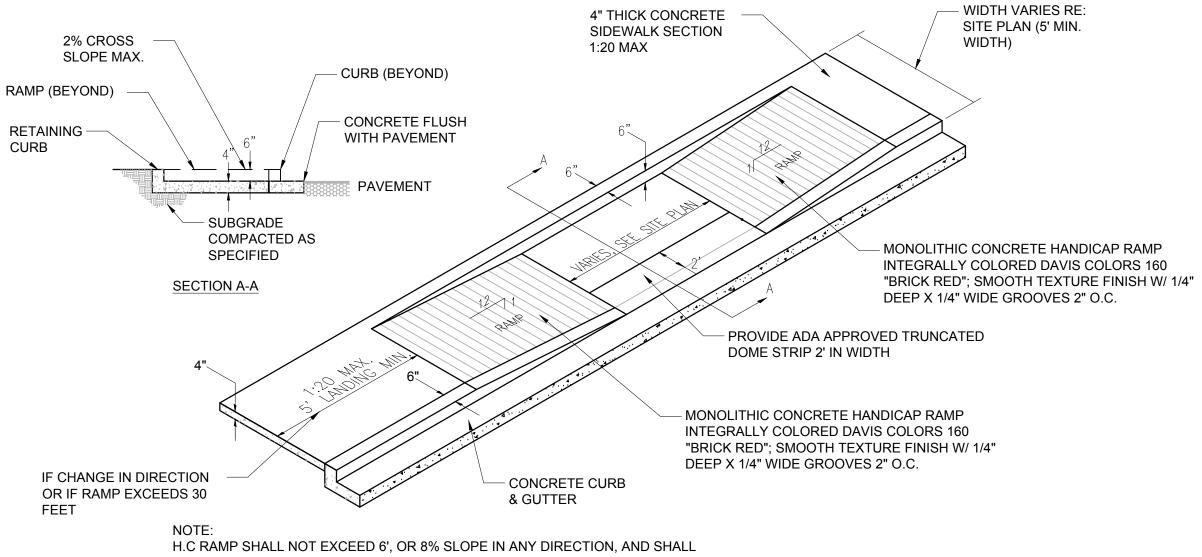
(D) 6" HEADER CURB PER COA STD DWG #2415B.

SCALE: N.T.S.

(E) ADA PARKING SIGN. SEE DETAIL THIS SHEET. ADA PARKING STALL / ACCESS AISLE AT 2% SLOPE (MAX.) IN ALL DIRECTIONS

DETECTABLE WARNING SURFACE NOTES

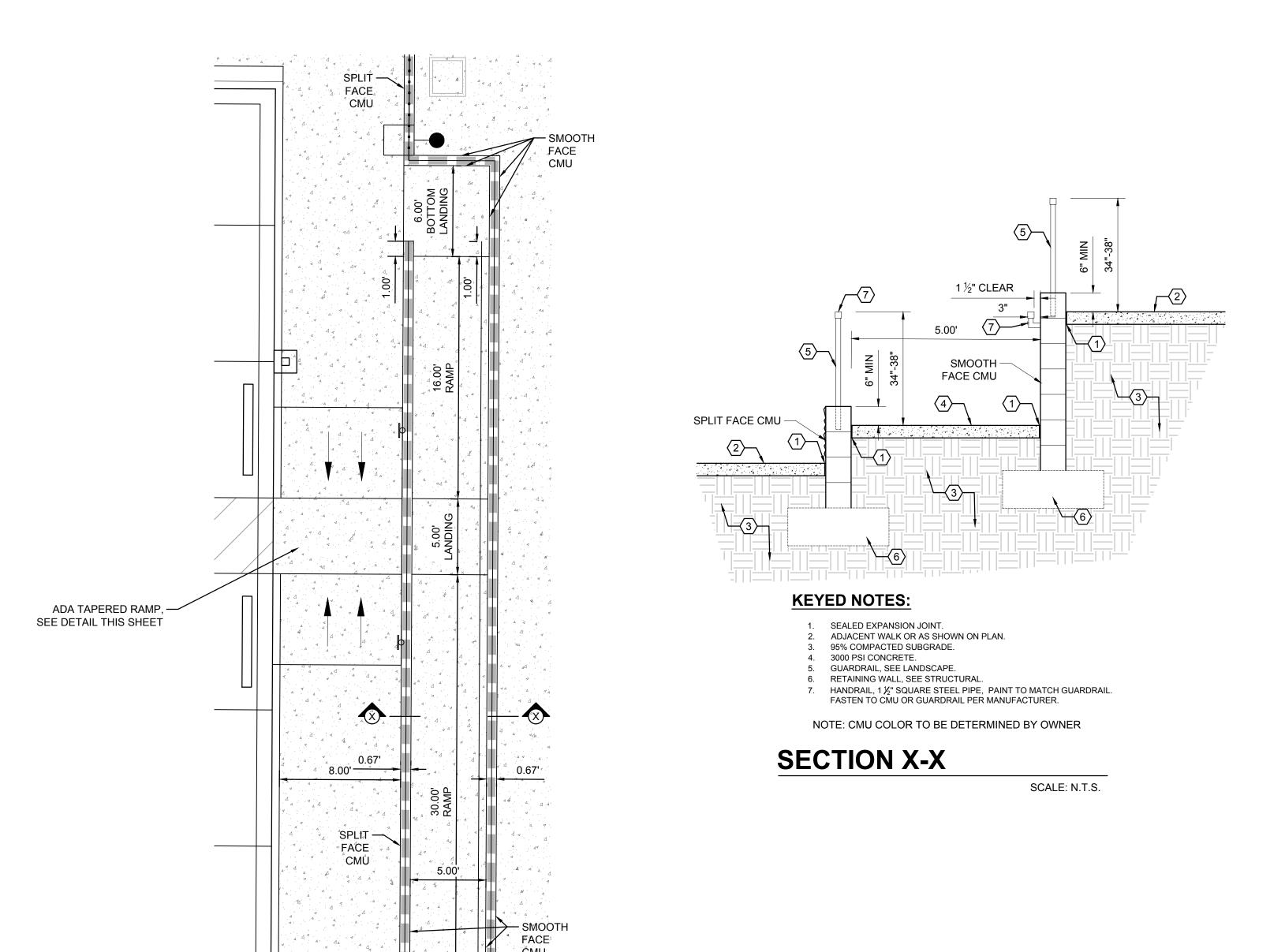
- 1. DESIGN PER ADA ACCESSIBILITY GUIDELINES (ADAAG).
- 3. SUBMIT SPECS TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
- 4. DETECTABLE WARNING SURFACE TO BE A PRODUCT THAT IS CAST-IN-PLACE AND REPLACABLE.
- 5. SEGMENTED DETECTABLE WARNING SURFACE AT BACK OF CURB TO BE CUT AND FIT PER MANUFACTURER'S INSTRUCTIONS. THE DETECTABLE WARNING SURFACE SHALL BE NO MORE THAN 5" FROM BACK OF CURB.



CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

ADA TAPERED RAMP DETAIL

SCALE: N.T.S.



- WIDTH VARIES RE:

SITE PLAN (6' MIN.

LANDSCAPE AREA

H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL

CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/

PROVIDE 5' SQUARE MINIMUM

CHANGE IN DIRECTION

CONCRETE SIDEWALK

LANDING AT TOP OF RAMP FOR

EXPANSION JOINT

EXPANSION JOINT

ALL APPLICABLE ANSI REQ'S

ADA CURBED RAMP DETAIL

NOTE: INSTALL 1" TOOLED RADIUS ON

ALL EXPOSED EDGES

LANDSCAPE AREA

MONOLITHIC CONCRETE

INTEGRALLY COLORED DAVIS

SMOOTH TEXTURE FINISH W/

COLORS 160 "BRICK RED":

1/4" DEEP X 1/4" WIDE GROOVES 2" O.C.

HANDICAP RAMP

- EXPANSION JOINT

PROVIDE ADA APPROVED

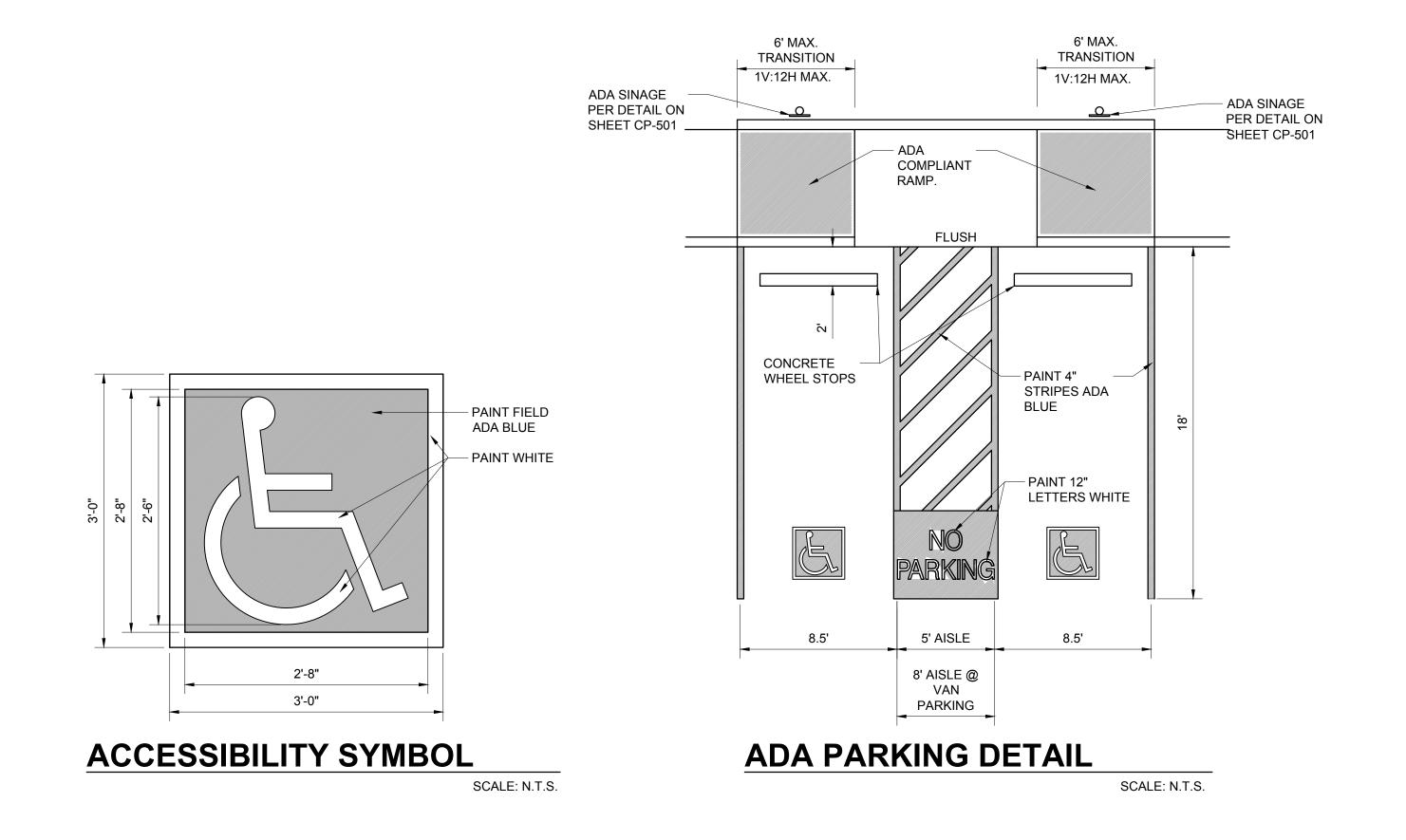
- 6" STANDUP CURB OR CURB & GUTTER AS

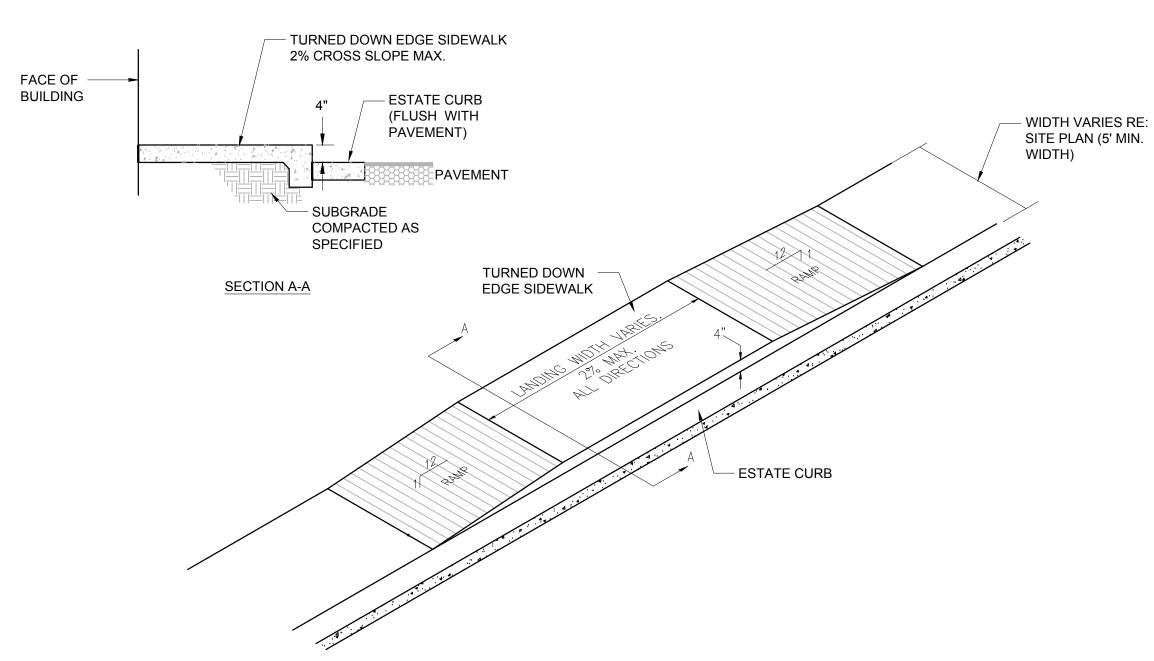
IN WIDTH

APPLICABLE (SEE SITE PLAN)

TRUNCATED DOME STRIP 2'

TRAFFIC CIRCULATION LAYOUT APPROVED





H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

ADA RAMP AT LOBBY DOORS DETAIL

CROSS SLOPE OF RAMP RUNS SHALL NOT BE

2. IF A RAMP HAS A RISE GREATER THAN 6" OR A

3 1/2" MAX AT THE HANDRAIL HEIGHT

SHALL BE 36" MIN. BETWEEN HANDRAILS

HANDRAILS ON BOTH SIDES ARE REQUIRED

THE CLEAR WIDTH OF A RAMP RUN SHALL BE 48" MINIMUM. HANDRAILS MAY PROJECT INTO THE

HORIZONTAL PROJECTION GREATER THAN 72", THEN

REQUIRED CLEAR WIDTH OF THE RAMP AT EACH SIDE

THE CLEAR WIDTH OF RAMPS IN RESIDENTIAL USES

SERVING AN OCCUPANT LOAD OF FIFTY OR LESS

5. THE RISE FOR ANY RAMP RUN SHALL BE 30" MAXIMUM

STEEPER THAN 1:48

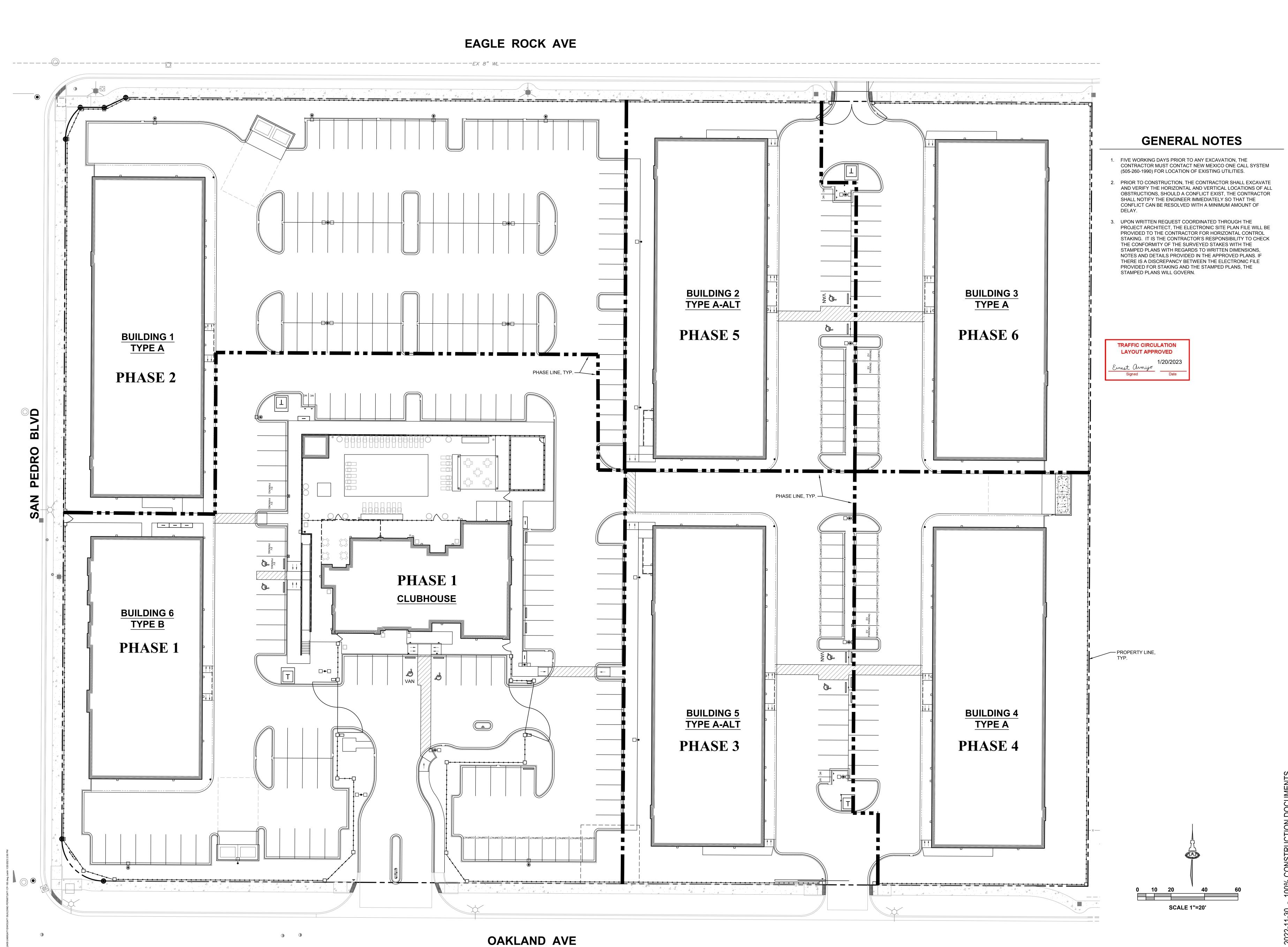
- STAIRS WITH

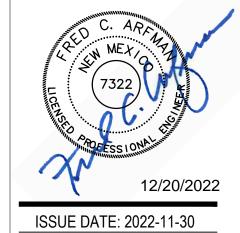
ADA RAMP DETAIL

HANDRAIL, SEE STRUCTURAL

SCALE: 1"=5'

SCALE: N.T.S.





2 Date 2 PERMIT COMMENTS

APARTMENTS SAN PEDRO

BSB DESIGN 11211 Gold Country Blvd, Suite 101 Gold River, California 95670 916.941.0990

JOB NO: LP210398.00 SITE PHASING