

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

December 19, 2024

Genevieve L Donart, PE  
Isaacson & Arfman, Inc  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: San Pedro Apartmrnt/ 9320 San Pedro Dr. NE/ BLDG 2**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's Stamp dated 12-20-22 (C18-D108)  
Certification dated 12-17-24

Dear Ms. Donart,

Based upon the information provided in your submittal received 12-18-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

**TYPE OF DEVELOPMENT:** PLAT (#of lots) \_\_\_\_\_ RESIDENCE  
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION  
PAD CERTIFICATION  
CONCEPTUAL G&D PLAN  
GRADING & DRAINAGE PLAN  
DRAINAGE REPORT  
DRAINAGE MASTER PLAN  
CLOMR/LOMR  
TRAFFIC CIRCULATION LAYOUT (TCL)  
ADMINISTRATIVE  
TRAFFIC CIRCULATION LAYOUT FOR DFT  
APPROVAL  
TRAFFIC IMPACT STUDY (TIS)  
STREET LIGHT LAYOUT  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

BUILDING PERMIT APPROVAL BLDG PERMIT #: BP-2023-04140  
CERTIFICATE OF OCCUPANCY **BLDG 5**  
CONCEPTUAL TCL DFT APPROVAL  
PRELIMINARY PLAT APPROVAL  
FINAL PLAT APPROVAL  
SITE PLAN FOR BLDG PERMIT DFT  
APPROVAL  
SIA/RELEASE OF FINANCIAL GUARANTEE  
FOUNDATION PERMIT APPROVAL  
GRADING PERMIT APPROVAL  
SO-19 APPROVAL  
PAVING PERMIT APPROVAL  
GRADING PAD CERTIFICATION  
WORK ORDER APPROVAL  
CLOMR/LOMR  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_



**Date:** December 17, 2024

**Project:** San Pedro Apts (C18D108)

**Subject:** TCL Certification: Bldg 5

### TRAFFIC CERTIFICATION

I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, P.A., hereby certify that Phase 1 of this project are in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 1/20/2023. I further certify that I or someone under my direct supervision visited the project site on December 17, 2024 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief with the following exceptions that must be completed before any further certifications on the site:

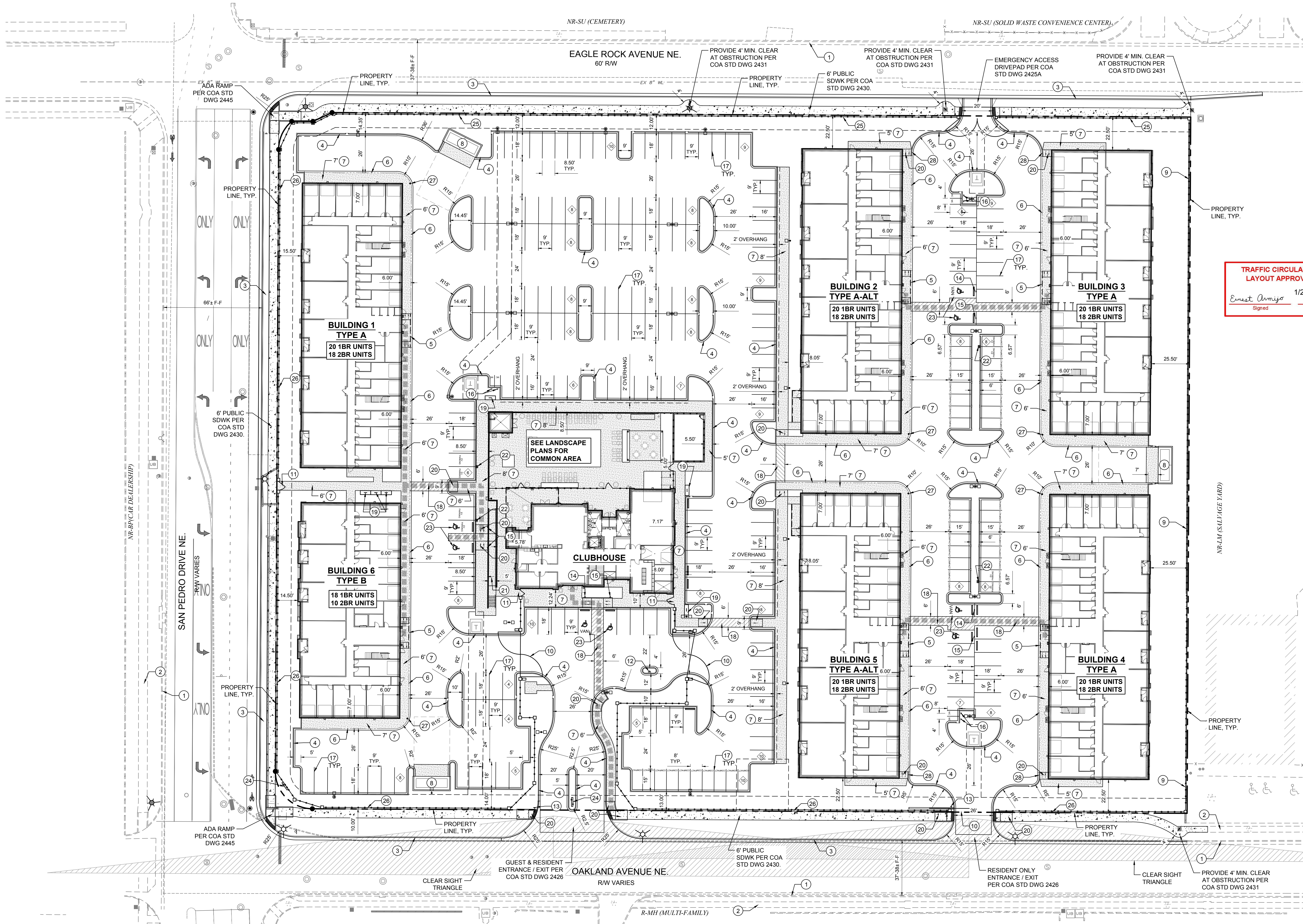
This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

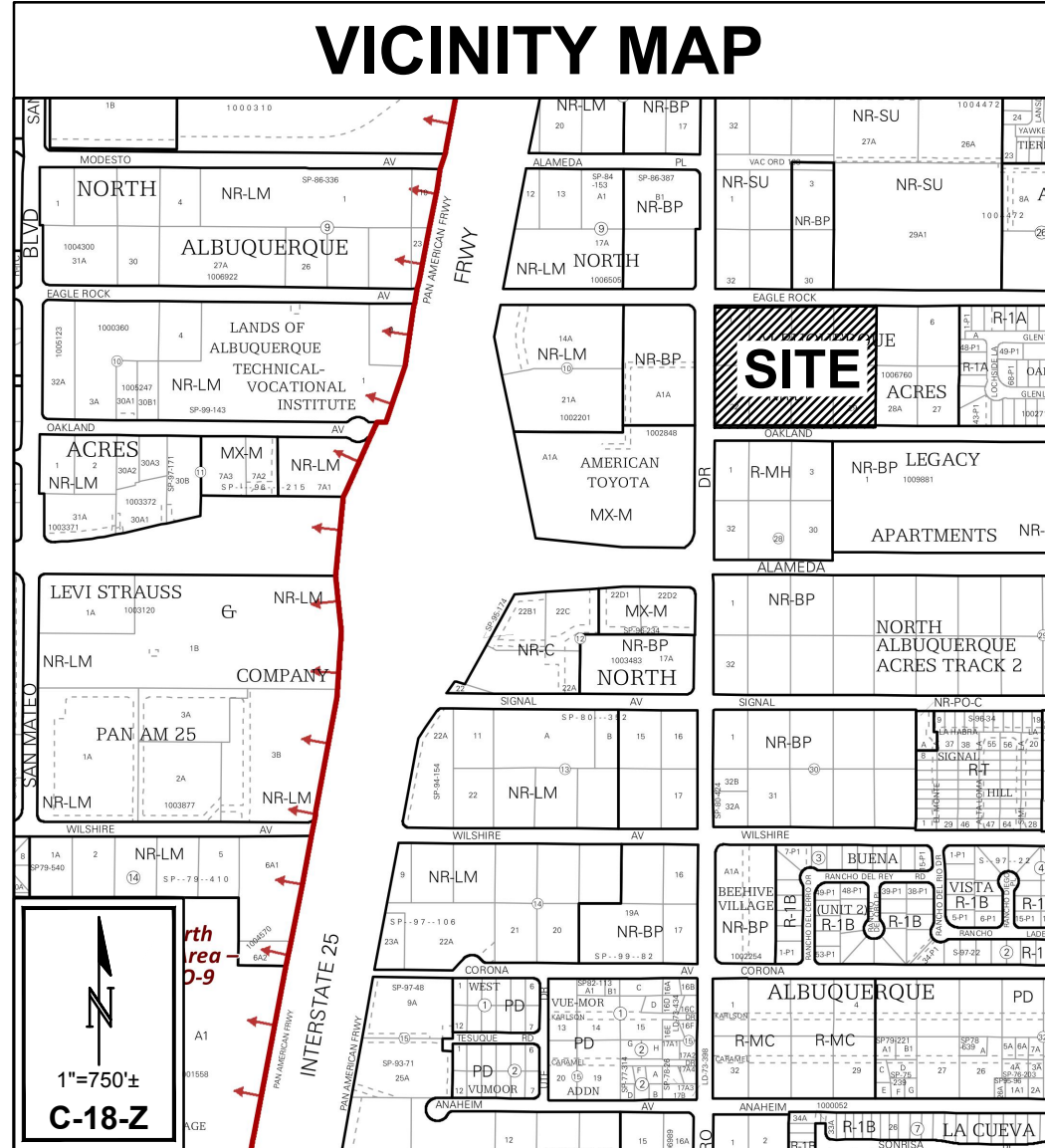
Sincerely,  
**Isaacson & Arfman, Inc.**

Genevieve L Donart, NMPE No. 15088





TRAFFIC CIRCULATION  
LAYOUT APPROVED  
Ernest Armijo  
Signed Date 1/20/2023



PROJECT DATA	
LEGAL DESCRIPTION:	LOT 32-A, BLOCK 27, NORTH ALBUQUERQUE ACRES
SITE AREA:	6.5776 ACRES
ZONING:	R-MH
UNIT CALCULATIONS:	
1 BR UNITS =	118 (54.1%)
2 BR UNITS =	100 (45.9%)
TOTAL UNITS =	218
PARKING CALCULATIONS:	
REQUIRED:	1.5 SPACES PER DU = 327 SPACES
ADA REQUIRED:	8 SPACES (2 VAN SPACES)
PROVIDED:	
GARAGE:	93 SPACES
SURFACE:	214 SPACES
SURFACE (COMPACT):	42 SPACES
8 SPACES (3 VAN SPACES)	
ADA:	357 SPACES
ELECTRIC VEHICLE REQUIRED:	2% TOTAL REQUIRED = 7 SPACES
ELECTRIC VEHICLE PROVIDED:	8 SPACES
MOTORCYCLE REQUIRED:	6 SPACES
MOTORCYCLE PROVIDED:	6 SPACES
BICYCLE REQUIRED:	34 SPACES
BICYCLE PROVIDED:	
SURFACE:	12 SPACES
INTERNAL TO BUILDINGS:	22 SPACES
TOTAL:	34 SPACES
OPEN SPACE CALCULATIONS:	
REQUIRED:	
225 SQUARE FEET PER 1 BED:	26,550 sf
285 SQUARE FEET PER 2 BED:	28,500 sf
TOTAL:	55,050 sf
PROVIDED:	
BALCONIES/PATIOS:	9,234 sf
SURFACE:	78,440 sf
TOTAL:	87,674 sf

- ### GENERAL NOTES
- DIMENSIONS ARE TO FACE OF CURB, BUILDING FOUNDATION, FACE OF WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
  - CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
  - STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
  - LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
  - ANY LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND SHALL BE FULLY SHIELDED TO COMPLY WITH THE NM NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING. MAXIMUM HEIGHT FOR LIGHT POLES SHALL BE 18 FEET TALL.

LEGEND	
	ADA SPACE
	PEDESTRIAN CROSS WALK
	DUAL PORT EV CHARGER
	ADA PATHWAY
	BIKE RACK
	PARKING ROW COUNT
	PROPERTY LINE
	SITE LIGHTING SEE LIGHTING PLANS
	EXTRUDED CONCRETE BASE

ALL WORK SHOWN WITHIN PUBLIC RIGHT OF WAY AND/OR PUBLIC WATER AND SEWER EASEMENTS ARE TO BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.

- ### KEYED NOTES
- EXISTING CURB & GUTTER.
  - EXISTING SIDEWALK.
  - STANDARD CURB & GUTTER, PER COA STD DWG 2415A.
  - MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CP-501.
  - ADA RAMP AT LOBBY DOORS, PER DETAIL ON SHEET CP-502.
  - ESTATE CURB, PER DETAIL ON SHEET CP-501.
  - SIDEWALK, PER DETAIL ON SHEET CP-501.
  - REFUSE ENCLOSURE, PER DETAIL ON SHEET CP-501.
  - EXISTING SOLID WALL TO REMAIN.
  - VEHICULAR ACCESS GATE, SEE LANDSCAPE.
  - PEDESTRIAN ACCESS GATE, SEE LANDSCAPE.
  - GUEST GATE CALL BUTTON.
  - SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CP-501.
  - SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CP-501.
  - SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CP-501.
  - SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET CP-501.
  - 4" WHITE STRIPE.
  - CROSSWALK STRIPING, PER DETAIL ON SHEET CP-501.
  - BICYCLE RACK, PER DETAIL ON SHEET CP-501.
  - ADA RAMP, PER DETAIL ON SHEET CP-502.
  - ADA RAMP, PER DETAIL ON SHEET CP-502.
  - EV CHARGING STATION.
  - ADA PARKING, PER DETAIL ON SHEET CP-501.
  - MONUMENT SIGNAGE: MAXIMUM SIZE 24 SQUARE FEET AND 4 FEET TALL PER IDO SECTION 5-12 AND TABLE 5-12-1.
  - 6" SOLID CMU WALL ALONG EAGLE ROCK AVENUE (REAR).
  - 3" SOLID CMU WALL WITH 3" VIEW FENCE ABOVE (6" TOTAL HEIGHT).
  - CONCRETE FILLED BOLLARD, PER DETAIL ON SHEET CP-501.
  - TRANSITION FROM MEDIAN CURB & GUTTER TO ESTATE CURB AT ADA RAMP.

12/20/2022

ISSUE DATE: 2022-11-30

REVISIONS

Date	Permit Comments
1/20/2023	

Isaacson & Arfman, Inc.

Civil Engineering Consultants

128 Monroe Street NE  
Albuquerque, NM 87109  
505-265-8628 | www.isac.com

TEKIN - SAN PEDRO APARTMENTS

ALBUQUERQUE, NEW MEXICO

BSB DESIGN

www.bsbdesign.com

10111 Gual County Blvd, Suite 101  
Oak View, California 94037  
(916) 841-0880

JOB NO. LP210398.00

SITE PLAN

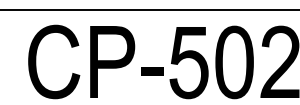
2022-11-30 - 100% CONSTRUCTION DOCUMENTS

CP-100











EAGLE ROCK AVE

-EX 8" WL-

SAN PEDRO BLVD

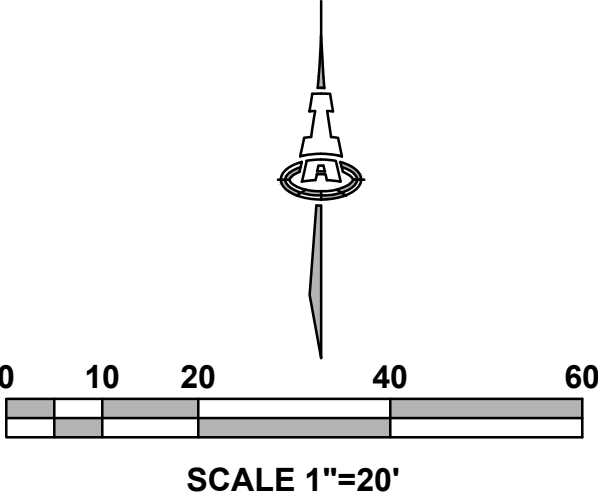
OAKLAND AVE

GENERAL NOTES

1. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. UPON WRITTEN REQUEST COORDINATED THROUGH THE PROJECT ARCHITECT, THE ELECTRONIC SITE PLAN FILE WILL BE PROVIDED TO THE CONTRACTOR FOR HORIZONTAL CONTROL STAKING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THE CONFORMITY OF THE SURVEYED STAKES WITH THE STAMPED PLANS WITH REGARDS TO WRITTEN DIMENSIONS, NOTES AND DETAILS PROVIDED IN THE APPROVED PLANS. IF THERE IS A DISCREPANCY BETWEEN THE ELECTRONIC FILE PROVIDED FOR STAKING AND THE STAMPED PLANS, THE STAMPED PLANS WILL GOVERN.

TRAFFIC CIRCULATION  
LAYOUT APPROVED  
1/20/2023  
Signed: Ernest Arfman Date:

PROPERTY LINE,  
TYP.



ISSUE DATE: 2022-11-30

REVISIONS

2 Date 2 PERMIT COMMENTS

Isaacson & Arfman, Inc.  
Civil Engineering Consultants  
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TEKIN - SAN PEDRO APARTMENTS  
ALBUQUERQUE, NEW MEXICO



11011 Grand County Blvd, Suite 101  
Oak View, California 94552  
(916) 841-1000

SITE PHASING  
PLAN

CP-103