

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 14, 2025

Genevieve L Donart, PE
Isaacson & Arfman, Inc
128 Monroe St. NE
Albuquerque, NM 87108

Re: Cielo Alameda/ BLDG 4/ 6201 Oakland Ave NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 12-20-22 (C18-D108)
Certification dated 03-11-25

Dear Ms. Donart,

Based upon the information provided in your submittal received 03-13-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\xxx via: email
C: CO Clerk, File



Date: March 11, 2025

Project: San Pedro Apts (C18D108)

Subject: TCL Certification: Bldg 4

TRAFFIC CERTIFICATION

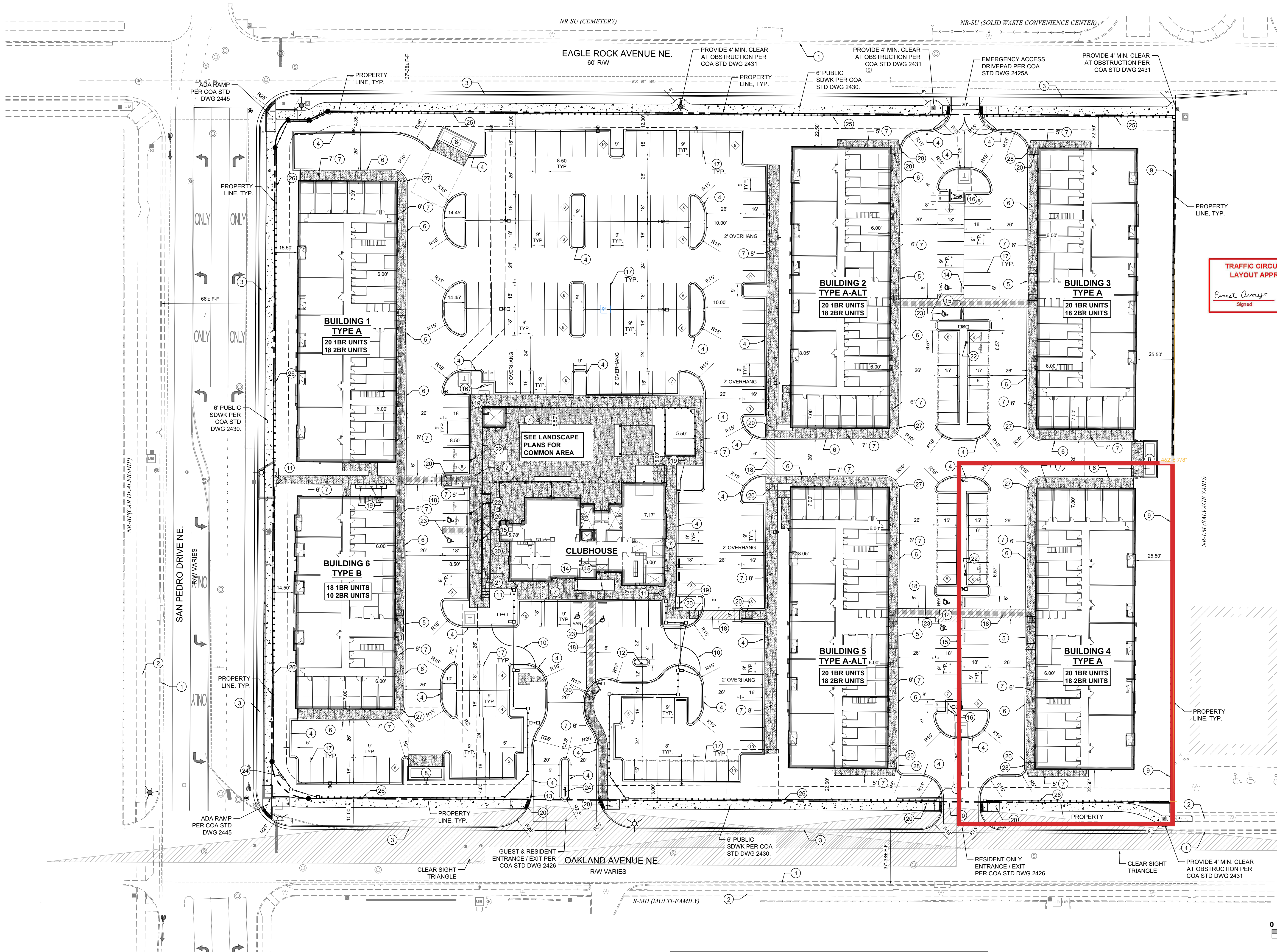
I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, P.A., hereby certify that Phase 1 of this project are in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 1/20/2023. I further certify that I or someone under my direct supervision visited the project site on March 11, 2025 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief with the following exceptions that must be completed before any further certifications on the site:

This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

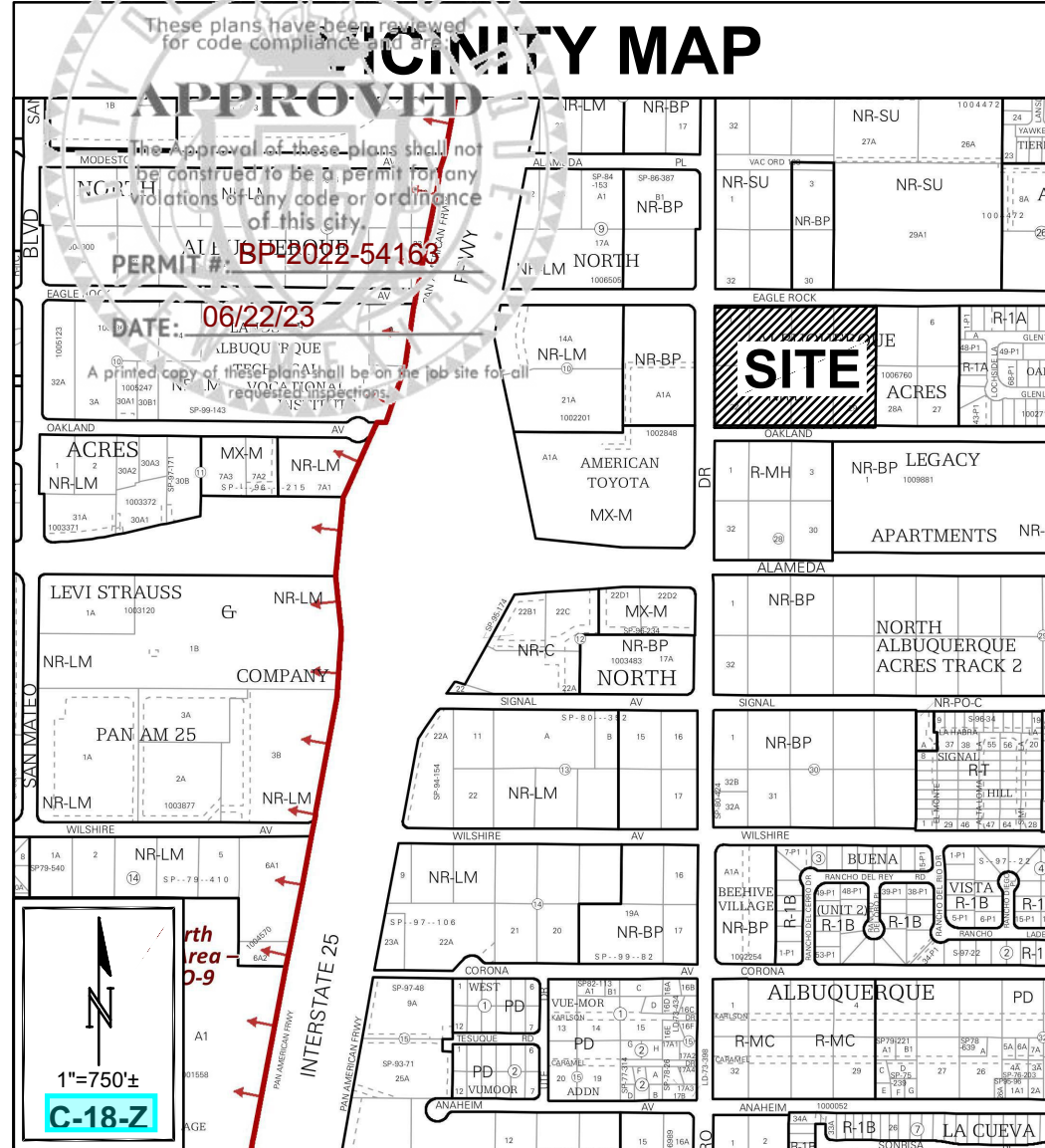
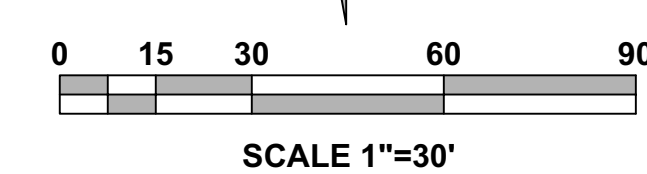
Sincerely,
Isaacson & Arfman, Inc.

Genevieve L Donart, NMPE No. 15088



TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Armijo 1/20/2023
Signed Date

ALL WORK SHOWN WITHIN PUBLIC RIGHT OF WAY AND/OR PUBLIC
WATER AND SEWER EASEMENTS ARE TO BE CONSTRUCTED UNDER
A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.



PROJECT DATA

LEGAL DESCRIPTION:
LOT 32-A, BLOCK 27, NORTH ALBUQUERQUE ACRES

SITE AREA: 6.5776 ACRES

ZONING: R-MH

UNIT CALCULATIONS:
1 BR UNITS = 118 (54.1%)
2 BR UNITS = 100 (45.9%)
TOTAL UNITS = 218

PARKING CALCULATIONS:
REQUIRED: 1.5 SPACES PER DU = 327 SPACES
ADA REQUIRED: 8 SPACES (2 VAN SPACES)
PROVIDED:
GARAGE= 93 SPACES
SURFACE= 214 SPACES
SURFACE (COMPACT)= 42 SPACES
8 SPACES (3 VAN SPACES)
TOTAL= 357 SPACES

ELECTRIC VEHICLE REQUIRED: 2% TOTAL REQUIRED = 7 SPACES
ELECTRIC VEHICLE PROVIDED: 8 SPACES

MOTORCYCLE REQUIRED: 6 SPACES
MOTORCYCLE PROVIDED: 6 SPACES

BICYCLE REQUIRED: 34 SPACES
BICYCLE PROVIDED: 22 SPACES
INTERNAL TO BUILDINGS: 12 SPACES
TOTAL= 34 SPACES

OPEN SPACE CALCULATIONS:
REQUIRED:
225 SQUARE FEET PER 1 BED: 26,550 sf
285 SQUARE FEET PER 2 BED: 28,500 sf
TOTAL: 55,050 sf
PROVIDED:
BALCONIES/PATIOS: 9,234 sf
SURFACE: 78,440 sf
TOTAL= 87,674 sf

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB, BUILDING FOUNDATION, FACE OF WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- ANY LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND SHALL BE FULLY SHIELDED TO COMPLY WITH THE NM NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING. MAXIMUM HEIGHT FOR LIGHT POLES SHALL BE 18 FEET TALL.

LEGEND

- | | |
|-----------------------|----------------------------------|
| ADA SPACE | BIKE RACK |
| PEDESTRIAN CROSS WALK | PARKING ROW COUNT |
| DUAL PORT EV CHARGER | PROPERTY LINE |
| ADA PATHWAY | SITE LIGHTING SEE LIGHTING PLANS |
| | EXTRUDED CONCRETE BASE |

KEYED NOTES

- EXISTING CURB & GUTTER.
- EXISTING SIDEWALK.
- STANDARD CURB & GUTTER, PER COA STD DWG 2415A.
- MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CP-501.
- ADA RAMP AT LOBBY DOORS, PER DETAIL ON SHEET CP-502.
- ESTATE CURB, PER DETAIL ON SHEET CP-501.
- SIDEWALK, PER DETAIL ON SHEET CP-501.
- REFUSE ENCLOSURE, PER DETAIL ON SHEET CP-501.
- EXISTING SOLID WALL TO REMAIN.
- VEHICULAR ACCESS GATE, SEE LANDSCAPE.
- PEDESTRIAN ACCESS GATE, SEE LANDSCAPE.
- GUEST GATE CALL BUTTON.
- SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET CP-501.
- 4" WHITE STRIPE.
- CROSSWALK STRIPING, PER DETAIL ON SHEET CP-501.
- BICYCLE RACK, PER DETAIL ON SHEET CP-501.
- ADA RAMP, PER DETAIL ON SHEET CP-502.
- ADA RAMP, PER DETAIL ON SHEET CP-502.
- EV CHARGING STATION.
- ADA PARKING, PER DETAIL ON SHEET CP-501.
- MONUMENT SIGNAGE: MAXIMUM SIZE 24 SQUARE FEET AND 4 FEET TALL PER IDO SECTION 5-12 AND TABLE 5-12-1.
- 6" SOLID CMU WALL ALONG EAGLE ROCK AVENUE (REAR).
- 3" SOLID CMU WALL WITH 3" VIEW FENCE ABOVE (6" TOTAL HEIGHT).
- CONCRETE FILLED BOLLARD, PER DETAIL ON SHEET CP-501.
- TRANSITION FROM MEDIAN CURB & GUTTER TO ESTATE CURB AT ADA RAMP.

12/20/2022

ISS. DATE: 2022-11-30

REVISIONS

1. DATE: 08/22/23

2. DATE: 11/20/23

Isaacson & Arfman, Inc.

Civil Engineering Consultants

128 Monroe Street NE
Albuquerque, NM 87109
505-265-8628 | www.isac.com

TEKIN - SAN PEDRO APARTMENTS

ALBUQUERQUE, NEW MEXICO

BSB DESIGN

www.bsbdesign.com

11011 Oak County Blvd, Suite 101
Oak View, California 94703
(916) 541-1000

JOB NO: LP210388.00

SITE PLAN

2022-11-30 - 100% CONSTRUCTION DOCUMENTS

CP-100