

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 19, 2024

Genevieve Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: San Pedro Apartments – Building 5
9320 San Pedro NE
Permanent Certificate of Occupancy
Engineer's Certification Date: 12/17/2024
Engineer's Stamp Date: 12/19/2022
Hydrology File: C18D108

Dear Mrs. Donart:

PO Box 1293
Albuquerque
NM 87103

Based on the Engineer's Grading and Drainage Certification received 12/17/2024 and the site visit on 12/18/2024, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division **for Building 5** of the San Pedro Apartments project.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

www.cabq.gov
Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: San Pedro Apartments Hydrology File # C18D108

Legal Description: Lot 32A, Block 27, North Albuquerque Acres

City Address, UPC, OR Parcel: 9320 San Pedro Dr NE

Applicant/Agent: Isaacson & Arfman, Inc. Contact: Genevieve Donart

Address: 128 Monroe St NE, Albuq. NM 87108 Phone: 505-268-8828

Email: gennyd@iacivil.com

Applicant/Owner: Tekin & Associates, LLC Contact: Mark Tekin

Address: 2600 N Dallas Pkwy #370 - Frisco, TX 75034 Phone: (469) 458-0485

Email: mark.tekin@tekindevelopment.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☒ DFT SITE ☐ RESIDENCE ☐ ADMIN SITE

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

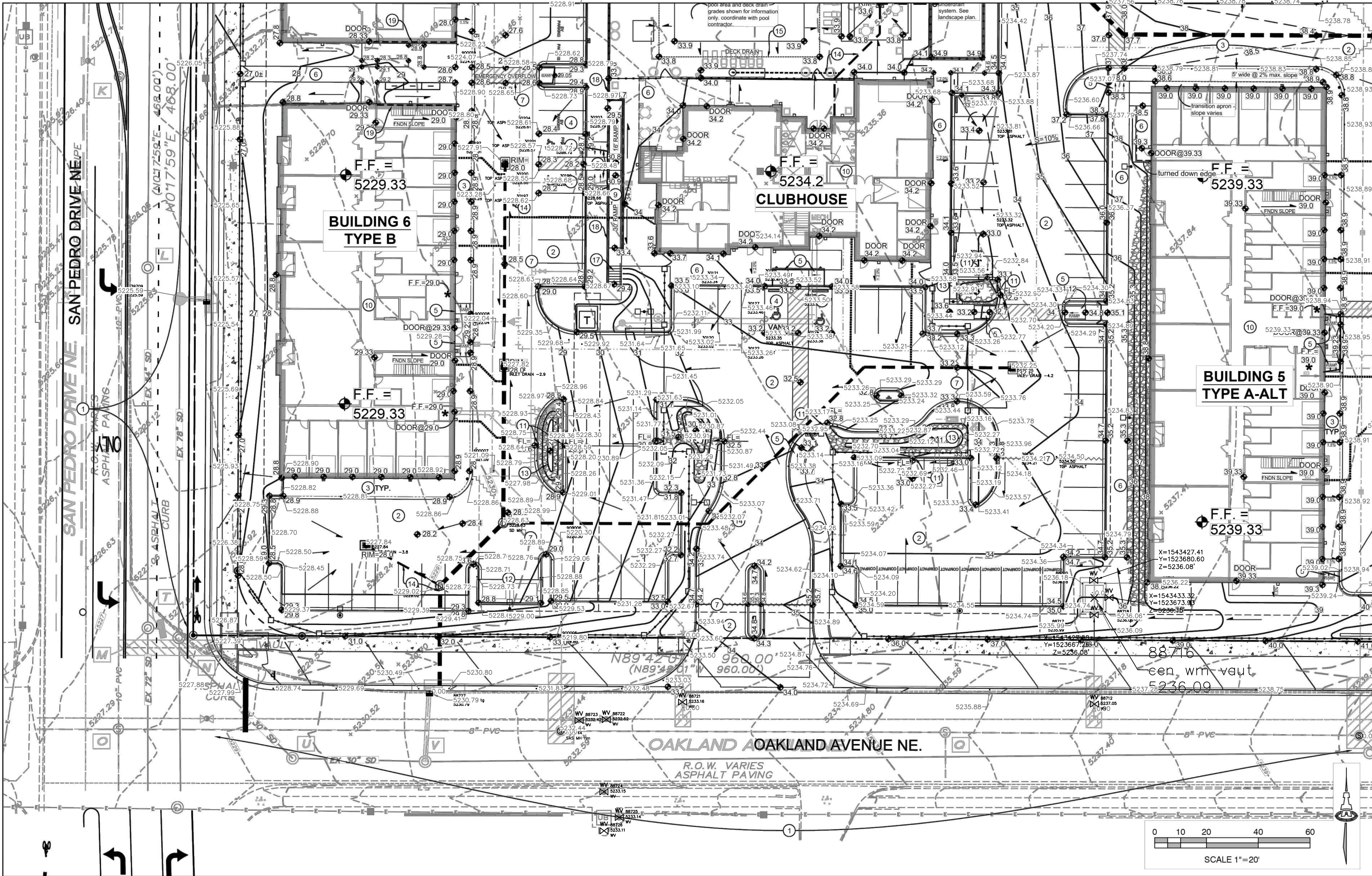
TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY **BLDG 2**
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

BLDG PERMIT #:
BP-2022-XXXXX

DATE SUBMITTED: 12/17/2024

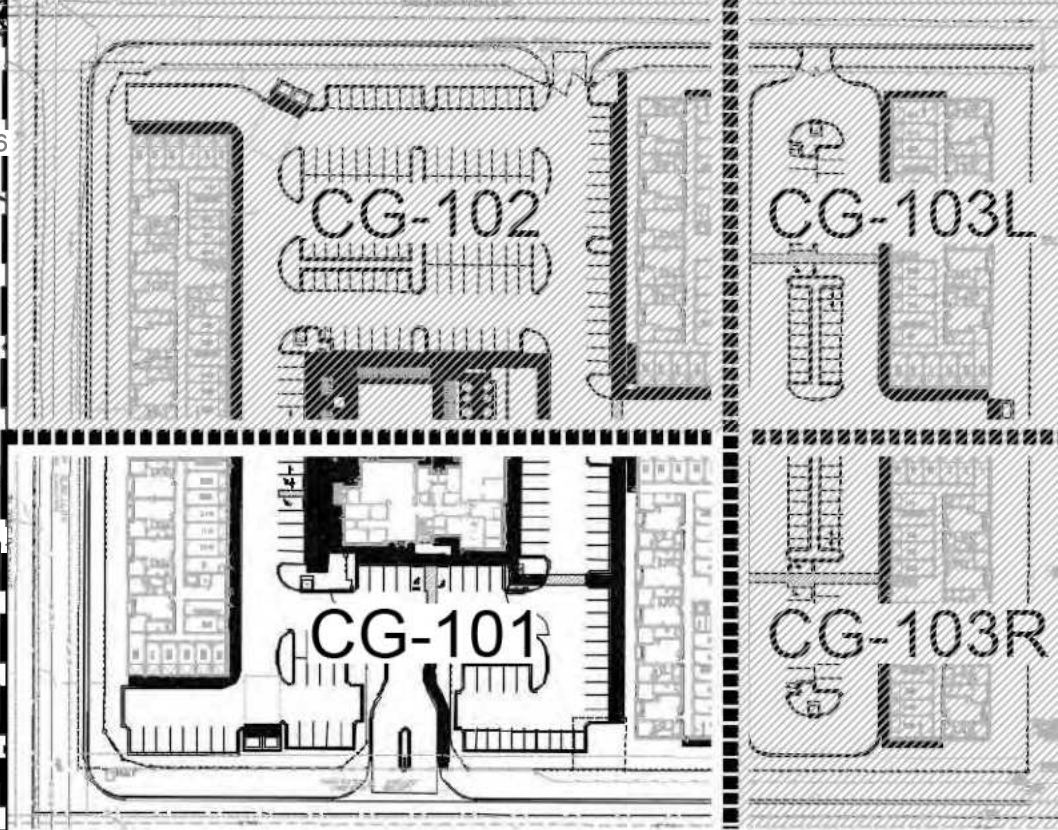
\\s01\projects\18\180000\180000.dwg (11/10/2023 10:48 AM)



LEGEND

- 39' PROPOSED 1.0' CONTOUR
- 38.5' PROPOSED 0.5' CONTOUR
- 37.5 PROPOSED SPOT ELEVATION
- SURFACE FLOW DIRECTION
- FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN SYSTEM
- PROPOSED STORMWATER QUALITY RETENTION (CONCEPTUAL)
- LOWERED 4" BELOW MAIN F.F. BUILDING ELEV. SEE FOUNDATION PLANS.
- FOUNDATION

GRADING & DRAINAGE KEY



KEYED NOTES

THESE NOTES ARE REFERENCED ON SHEETS CG-101, CG-102 AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET.

- CONSTRUCTION WITHIN THE R/W INCLUDING ENTRANCE DRIVES, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK AND RAMPS, STREET PAVEMENT, UTILITIES, ETC. SHALL BE CONSTRUCTED UNDER SEPARATE PUBLIC WORK ORDER. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS. NOTE: TO ENSURE READABILITY, NOT ALL PAVEMENT SPOT ELEVATIONS SHOW ADJACENT TOP OF CURB / TOP OF WALK ELEVATIONS. TEXT SHOW WITHIN FLOWLINE INDICATES FLOWLINE ELEVATION. ADD 0.5' TYPICAL FOR TOP OF MEDIAN CURB / TOP OF ADJACENT TURNED DOWN WALK / TOP OF HEADER CURB ELEVATIONS. SEE PAVING PLAN FOR CURB AND WALK TYPES AND LOCATIONS.
- FLUSH TRANSITION FROM ASPHALT CONCRETE AT ALL GARAGE DRIVE APRONS AND AS SHOWN ON THE PAVING PLAN. SEE CG-501 FOR SECTION AND ADDITIONAL INFORMATION.
- ADA COMPLIANT PARKING AREAS @ TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- ADA COMPLIANT ACCESS RAMP (4", 6", 8" RISE - SEE PLAN). TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%. TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).
- CONSTRUCT ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN. TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE = 5% MAX.
- HIGH POINT / GRADE BREAK LOCATION.
- DRAINAGE FROM ADJACENT PROPERTY IS NOT PERMITTED TO ENTER THIS PROPERTY. CONTRACTOR TO FILL IN ALL OPENINGS.
- CONSTRUCT ADA COMPLIANT RAMP WITH INTERMEDIATE LANDINGS AS SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- APARTMENT UNITS: ROOF DISCHARGE TO BE PIPED DIRECTLY TO PRIVATE STORM DRAIN SYSTEM (SEE CG-502). CLUBHOUSE: ROOF DRAINS VARY (DIRECT CONNECTION TO STORM DRAIN; EXTEND THROUGH FACE OF ADJACENT CURB). SEE CG-502.
- PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW. SEE CG-501 FOR DETAIL.
- CONSTRUCT CONCRETE DUMPSTER PAD AT ELEVATIONS SHOWN.
- CONSTRUCT 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. 2:1 SIDESLOPES WITH 6" DEEP (3" AVG. DIA.) ANGULAR ROCK EROSION PROTECTION. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE VOLUME NOTED WILL BE CORRECTED AT CONTRACTOR'S EXPENSE. SEE CG-100 FOR POND VOLUME TABLE. SEE CG-501 FOR SECTION.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-502 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
- POOL DECK DRAIN BY POOL CONTRACTOR. EXTEND OUTFALL TO STORM DRAIN.
 - * ALL SIDE SLOPES > 3:1
 - * 1'X2' AT ALL CURB OPENINGS
 - * TO LIMITS HATCHED
- CONSTRUCT CONCRETE STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE.
- CONSTRUCT SITE RETAINING WALL(S) (RETAINING >12") TO ACHIEVE GRADE DIFFERENCE SHOWN. TOP OF FINISHED GRADE SHOWN ON EACH SIDE OF WALL. SEE STRUCTURAL FOR DETAILS INCLUDING TOTAL HEIGHT, FOOTING, REINFORCING, ETC.
- BUILDING EXTENDED / RETAINING STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
- DOG PARK LEVEL AT 34.9. CONSTRUCT CURB INTEGRATED WITH FENCE AROUND PERIMETER. TOP OF CURB = 35.1 TYPICAL. BOTTOM VARIES BASED ON ADJACENT GRADES. TRANSITION CURB DOWN AT ENTRY GATE TO ACT AS OVERFLOW. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 01/06/23
BY: *Randy C. Branstetter*
HydroTrans # C18D108

Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iacivil.com

FRED C. ARFMAN
NEW MEXICO
7322
12/19/2022
Engineer

SAN PEDRO APARTMENTS
San Pedro & Eagle Rock
Albuquerque, New Mexico

DESIGN	ISSUE	DESCRIPTION
PROJECT NUMBER	1A-2471	
FILE:		
DRAWN BY:	BUBH08	
CHECKED BY:	FOA	
DATE:	JULY 2022	

No	Date	Description

SHEET TITLE

GRADING &
DRAINAGE
PLAN 1 OF 3

SHEET NUMBER

CG-101



1. CONSTRUCTION WITHIN THE RAW INCLUDING ENTRANCE DRIVES, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK AND RAMPS, STREET PAVEMENT, UTILITIES, ETC. SHALL BE CONSTRUCTED UNDER SEPARATE PUBLIC WORK ORDER. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
2. CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS. NOTE: TO ENSURE READABILITY, NOT ALL PAVEMENT SPOT ELEVATIONS SHOW ADJACENT TOP OF CURB / TOP OF WALK ELEVATIONS. TEXT SHOWN WITHIN FLOWLINE INDICATES FLOWLINE ELEVATION. ADD 0.5" TYPICAL FOR TOP OF MEDIAN CURB / TOP OF ADJACENT TURNED DOWN WALK / TOP OF HEADER CURB ELEVATIONS. SEE PAVING PLAN FOR CURB AND WALK TYPES AND LOCATIONS.
3. FLUSH TRANSITION FROM ASPHALT TO CONCRETE AT ALL GARAGE DRIVE APRONS AND AS SHOWN ON THE PAVING PLAN. SEE CG-501 FOR SECTION AND ADDITIONAL INFORMATION.
4. ADA COMPLIANT PARKING AREAS @ TARGET SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
5. ADA COMPLIANT ACCESS RAMP (4", 6", 8" RISE - SEE PLAN). TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2% TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).
6. CONSTRUCT ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN. TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE = 5% MAX.
7. HIGH POINT / GRADE BREAK LOCATION.
8. DRAINAGE FROM ADJACENT PROPERTY IS NOT PERMITTED TO ENTER THIS PROPERTY. CONTRACTOR TO FILL IN ALL OPENINGS.
9. CONSTRUCT ADA COMPLIANT RAMP WITH INTERMEDIATE LANDINGS AS SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
10. APARTMENT UNITS: ROOF DISCHARGE TO BE PIPED DIRECTLY TO PRIVATE STORM DRAIN SYSTEM (SEE CG-502). CLUBHOUSE: ROOF DRAINS VARY (DIRECT CONNECTION TO STORM DRAIN; EXTEND THROUGH FACE OF ADJACENT CURB). SEE CG-502.
11. PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW. SEE CG-501 FOR DETAIL.
12. CONSTRUCT CONCRETE DUMPSTRE PAD AT ELEVATIONS SHOWN.
13. CONSTRUCT 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. 2:1 SIDESLOPES WITH 6" DEEP (3" AVG. DIA.) ANGULAR ROCK EROSION PROTECTION. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. FIELDS WHICH DO NOT PROVIDE THE VOLUME NOTED WILL BE CORRECTED AT CONTRACTOR'S EXPENSE. SEE CG-100 FOR POND VOLUME TABLE. SEE CG-501 FOR SECTION.
14. CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-502 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
15. POOL DECK DRAIN BY POOL CONTRACTOR. EXTEND OUTFALL TO STORM DRAIN.
16. INSTALL 8" DEEP MEDIUM ANGULAR ROCK EDGE PROTECTION. SEE CG-501 FOR ADDITIONAL INFORMATION.

* ALL SIDE SLOPES $\geq 3:1$

Diagram illustrating the Proposed Stormwater Management System. The diagram shows a cross-section of the system with the following components and elevations:

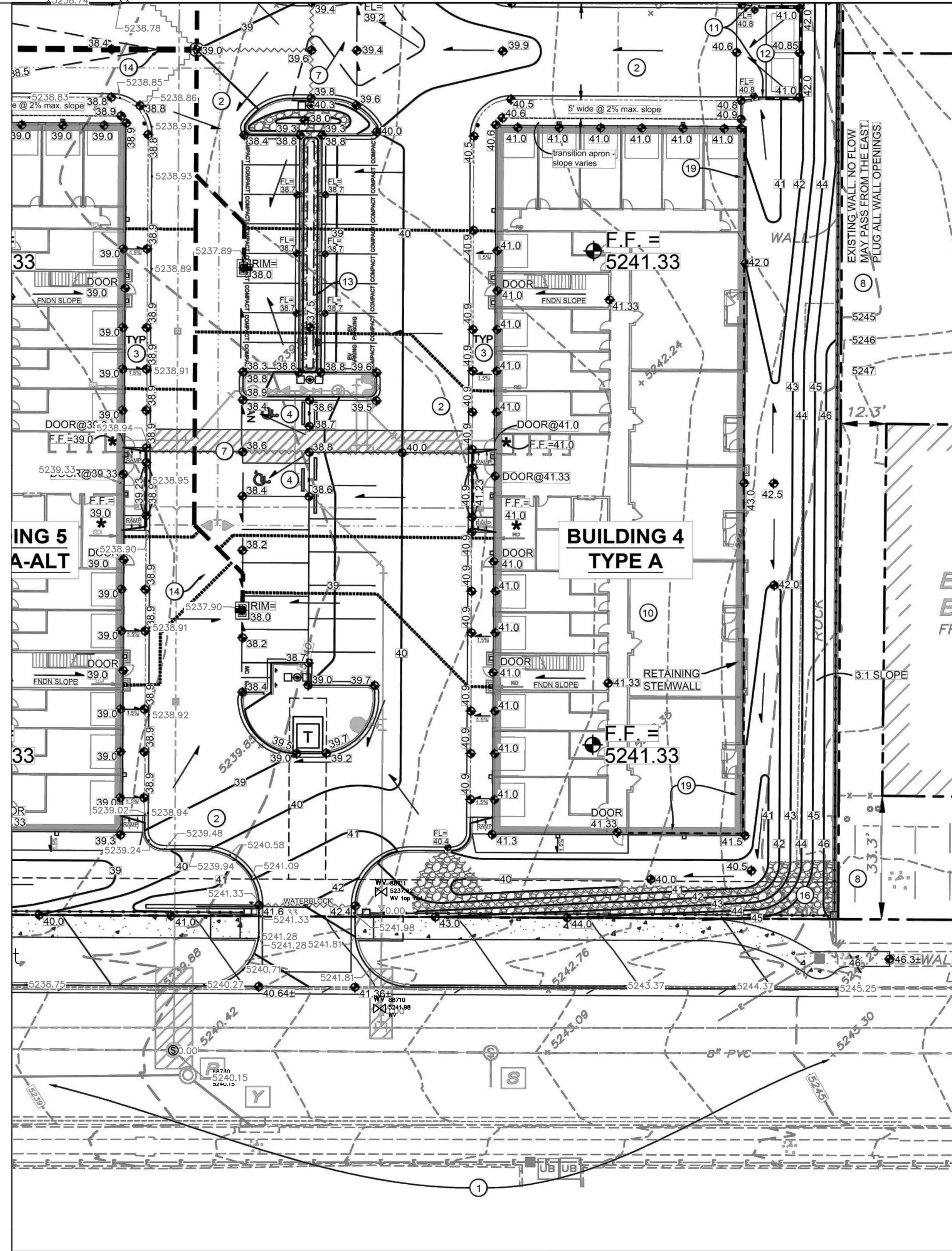
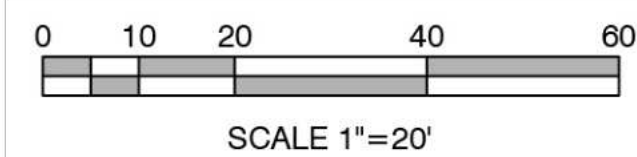
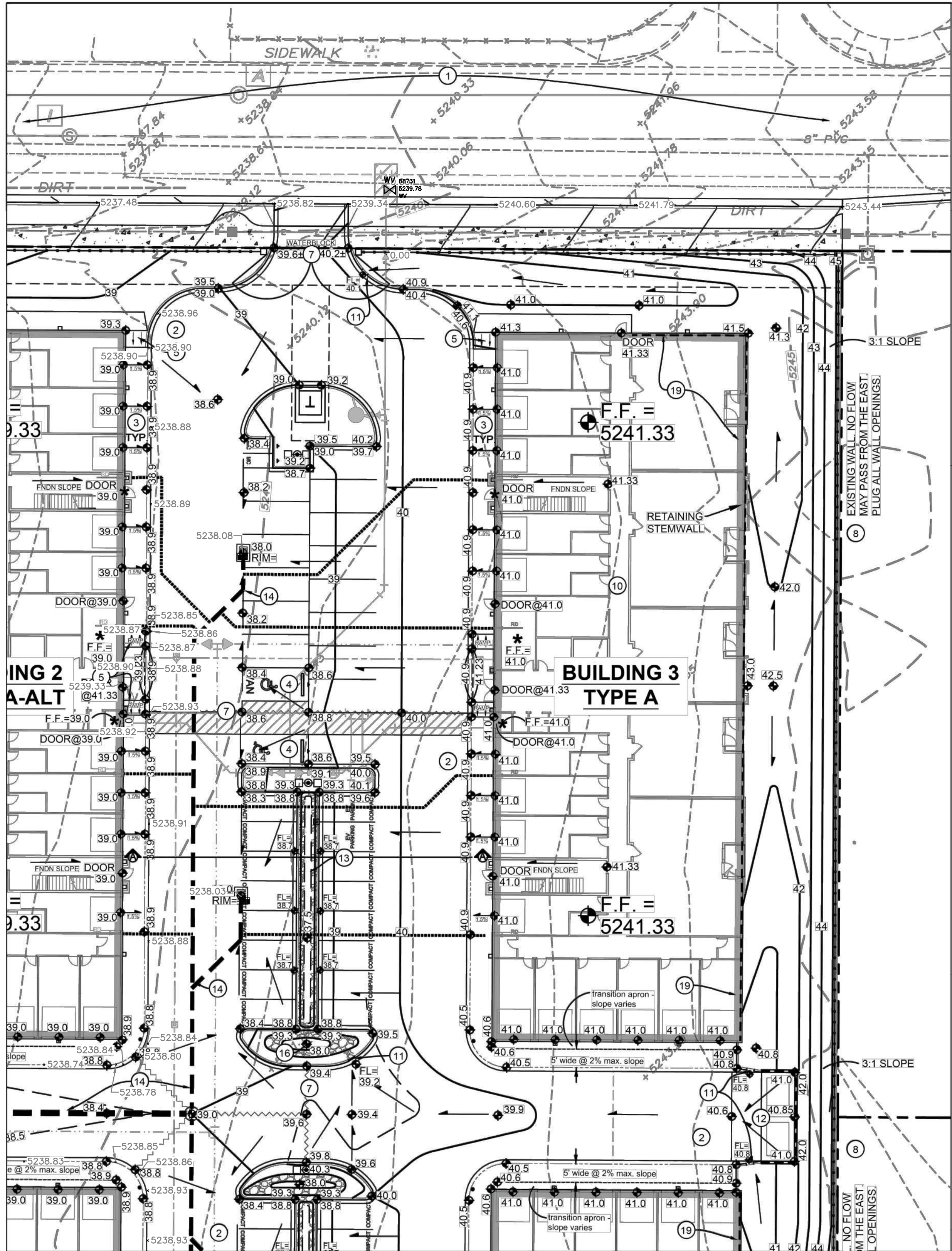
- PROPOSED 1.0' CONTOUR:** Elevation 39.0 (indicated by a solid line).
- PROPOSED 0.5' CONTOUR:** Elevation 38.5 (indicated by a dashed line).
- PROPOSED SPOT ELEVATION:** Elevation 37.5 (indicated by a diamond symbol).
- SURFACE FLOW DIRECTION:** Indicated by an arrow pointing right.
- FINISH FLOOR ELEVATION:** Elevation 5237.5 (labeled as FF = 5237.5).
- PROPOSED STORM DRAIN SYSTEM:** Shown as a pipe with a manhole.
- PROPOSED STORMWATER QUALITY RETENTION (CONCEPTUAL):** Shown as a hatched rectangular area below the storm drain.
- LOWERED 4" BELOW MAIN F.F. BUILDING ELEV. SEE FOUNDATION PLANS.** (Indicated by an asterisk symbol).
- FOUNDATION:** Labeled as FNDN.

[illegible]

HEET TITLE
GRADING & DRAINAGE PLAN 2 OF 3
HEET NUMBER
CG-102

2022-11-30 - 100% CONSTRUCTION DOCUMENTS

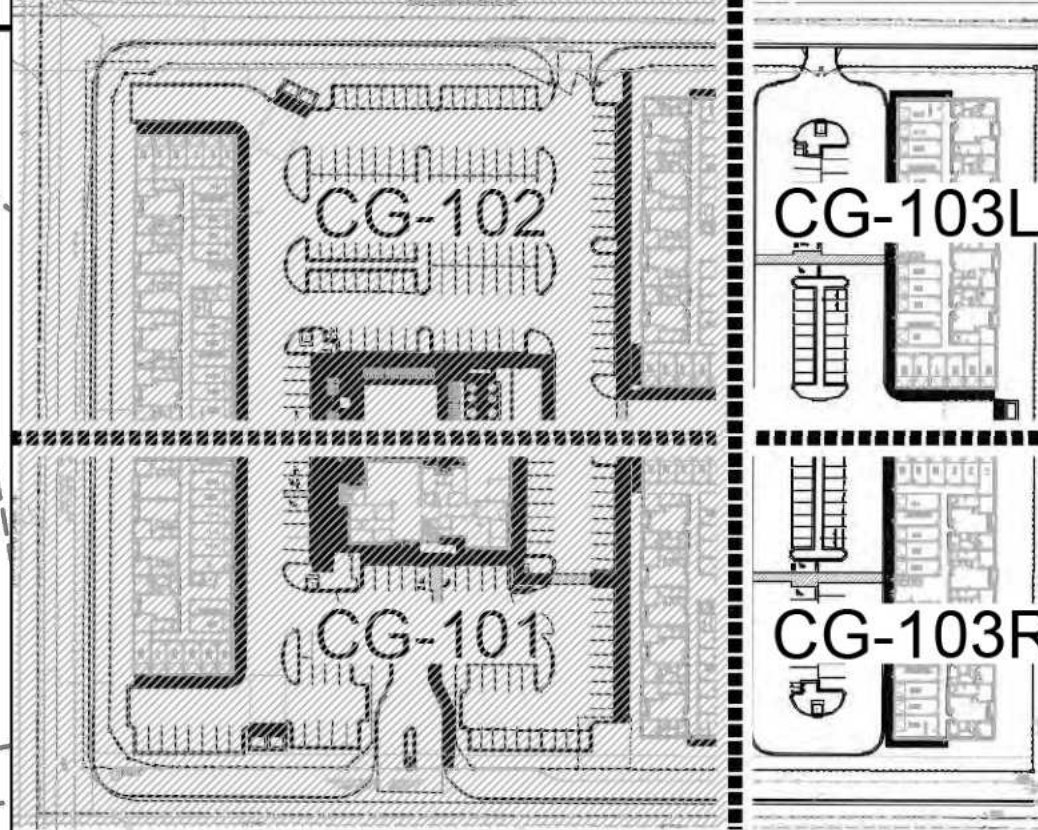
\\P:\Projects\2022\San Pedro Apartments\CG-103.dwg (12/19/2022) 1:50 PM



LEGEND

- 39 PROPOSED 1.0' CONTOUR
- 38.5 PROPOSED 0.5' CONTOUR
- 37.5 PROPOSED SPOT ELEVATION
- SURFACE FLOW DIRECTION
- FF = 5237.5 FINISH FLOOR ELEVATION
- PROPOSED STORM DRAIN SYSTEM
- PROPOSED STORMWATER QUALITY RETENTION (CONCEPTUAL)
- * LOWERED 4" BELOW MAIN F.F. BUILDING ELEV. SEE FOUNDATION PLANS.
- FNDN FOUNDATION

GRADING & DRAINAGE KEY



KEYED NOTES

THESE NOTES ARE REFERENCED ON SHEETS CG-101, CG-102 AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET.

- CONSTRUCTION WITHIN THE RW INCLUDING ENTRANCE DRIVES, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK AND RAMPS, STREET PAVEMENT, UTILITIES, ETC. SHALL BE CONSTRUCTED UNDER SEPARATE PUBLIC WORK ORDER. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS. NOTE: TO ENSURE READABILITY, NOT ALL PAVEMENT SPOT ELEVATIONS SHOW ADJACENT TOP OF CURB / TOP OF WALK ELEVATIONS. TEXT SHOWN WITHIN FLOWLINE INDICATES FLOWLINE ELEVATION. ADD 0.5' TYPICAL FOR TOP OF MEDIAN CURB / TOP OF ADJACENT TURNED DOWN WALK / TOP OF HEADER CURB ELEVATIONS. SEE PAVING PLAN FOR CURB AND WALK TYPES AND LOCATIONS.
- FLUSH TRANSITION FROM ASPHALT CONCRETE AT ALL GARAGE DRIVE APRONS AND AS SHOWN ON THE PAVING PLAN. SEE CG-501 FOR SECTION AND ADDITIONAL INFORMATION.
- ADA COMPLIANT PARKING AREAS @ TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- ADA COMPLIANT ACCESS RAMP (4" / 6" / 8" RISE - SEE PLAN). TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%. TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12.1 (8.3%).
- CONSTRUCT ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN. TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE = 5% MAX.
- HIGH POINT / GRADE BREAK LOCATION.
- DRAINAGE FROM ADJACENT PROPERTY IS NOT PERMITTED TO ENTER THIS PROPERTY. CONTRACTOR TO FILL IN ALL OPENINGS.
- CONSTRUCT ADA COMPLIANT RAMP WITH INTERMEDIATE LANDINGS AS SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- APARTMENT UNITS: ROOF DISCHARGE TO BE PIPED DIRECTLY TO PRIVATE STORM DRAIN SYSTEM (SEE CG-502). CLUBHOUSE, RW DRAINS VARY (DIRECT CONNECTION TO STORM DRAIN; EXTEND THROUGH FACE OF ADJACENT CURB). SEE CG-502.
- PROVIDE 24" WIDE OPENING IN CURB TO PASS FLOW. SEE CG-501 FOR DETAIL.
- CONSTRUCT CONCRETE DUMPSTER PAD AT ELEVATIONS SHOWN.
- CONSTRUCT 18" MAX. DEPTH STORMWATER QUALITY RETENTION POND AT ELEVATIONS SHOWN. 2:1 SIDESLOPES WITH 8" DEEP (3" AVG. DIA.) ANGULAR ROCK EROSION PROTECTION. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE VOLUME NOTED WILL BE CORRECTED AT CONTRACTOR'S EXPENSE. SEE CG-100 FOR POND VOLUME TABLE. SEE CG-501 FOR SECTION.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-502 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
- POOL DECK DRAIN BY POOL CONTRACTOR. EXTEND OUTFALL TO STORM DRAIN.
- INSTALL 8" DEEP "MEDIUM" ANGULAR ROCK EDGE PROTECTION. SEE CG-501 FOR ADDITIONAL INFORMATION.
- CONSTRUCT CONCRETE STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE.
- CONSTRUCT SITE RETAINING WALL(S) (RETAINING >12") TO ACHIEVE GRADE DIFFERENCE SHOWN. TOP OF FINISHED GRADE SHOWN ON EACH SIDE OF WALL. SEE STRUCTURAL FOR DETAILS INCLUDING TOTAL HEIGHT, FOOTING, REINFORCING, ETC.
- BUILDING EXTENDED / RETAINING STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
- DOG PARK LEVEL AT 34.9. CONSTRUCT CURB INTEGRATED WITH FENCE AROUND PERIMETER. TOP OF CURB = 35.1 TYPICAL. BOTTOM VARIES BASED ON ADJACENT GRADES. TRANSITION CURB DOWN AT ENTRY GATE TO ACT AS OVERFLOW. SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.

- * ALL SIDE SLOPES > 3:1
- * 1'X2' AT ALL CURB OPENINGS
- * TO LIMITS HATCHED



Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-268-8828 | www.iaacivil.com



SAN PEDRO APARTMENTS
San Pedro & Eagle Rock
Albuquerque, New Mexico

DESIGN	ISSUE	DATE
DEVELOPMENT	PROJECT NUMBER: IA 2471	
	FILE:	
	DRAWN BY: BJ/BJR	
	CHECKED BY: FCA	
	DATE:	JULY 2022

No	Date	Description

SHEET TITLE

GRADING & DRAINAGE
PLAN 3 OF 3

SHEET NUMBER

CG-103