

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

June 8, 2022

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Sierra Vista Apartments  
Revised Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: 05/25/22  
Hydrology File: C18D108**

Dear Mr. Arfman:

PO Box 1293  
Albuquerque  
NM 87103

Based upon the information provided in your submittal received 05/12/2022, the Revised Conceptual Grading & Drainage Plan is preliminary approved for action by the DRB on Site Plan for Building Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Sierra Vista Apartments Building Permit #: \_\_\_\_\_ Hydrology File #: C18  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots 1 thru 4 & 29 thru 32, Block 27, North Albuquerque Acres, Tract A, Unit B  
City Address: 9320 San Pedro Drive NE

**Applicant:** Isaacson & Arfman, Inc. Contact: Fred C. Arfman  
128 Monroe Street NE - Albuquerque, NM 87108 Bryan J. Bobrick  
Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com  
bryanb@iacivil.com  
**Owner:** Tekin & Associates, LLC Contact: Mark Tekin  
2600 N Dallas Pkwy #370 - Frisco, TX 75034  
Phone#: (469) 458-0485 Fax#: \_\_\_\_\_ E-mail: mark.tekin@tekindevelopment.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

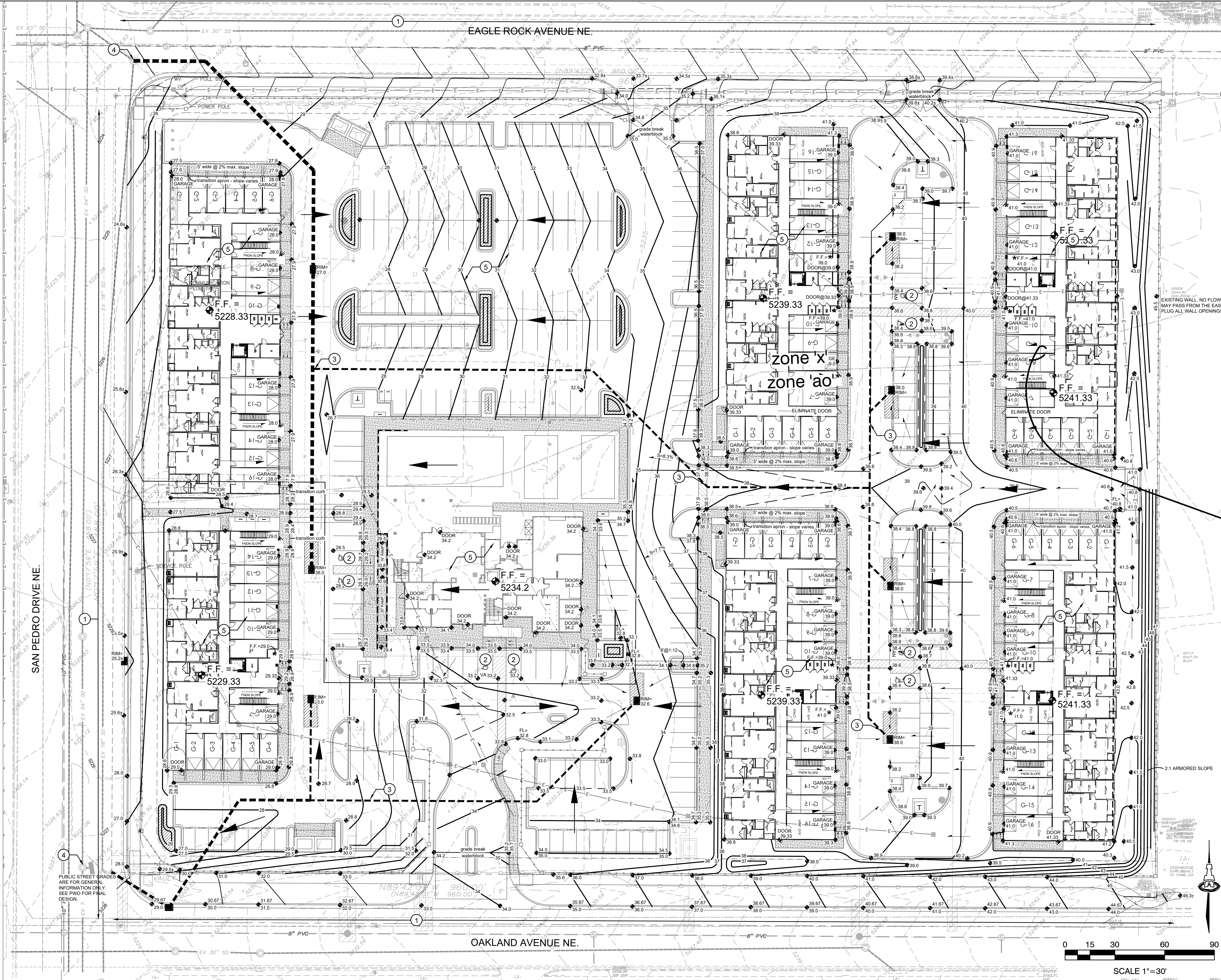
☒ BUILDING PERMIT APPROVAL  
\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: May 26, 2022 By: Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

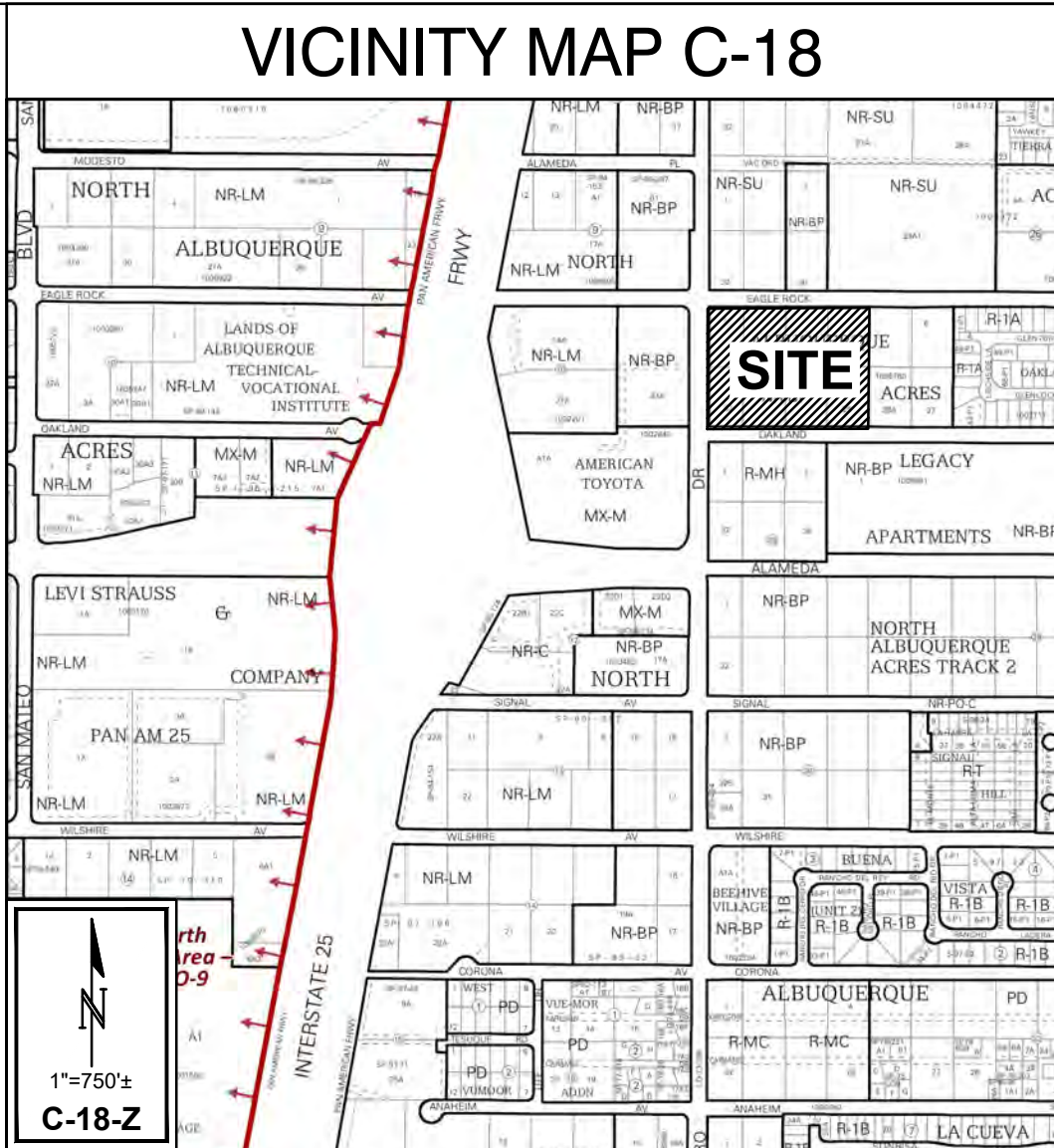


| ADA COMPLIANCE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SIDEWALK(S) AND RAMP(S): <ul style="list-style-type: none"><li>* LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1</li><li>* TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%</li></ul> ACCESSIBLE RAMP(S): <ul style="list-style-type: none"><li>* TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)</li><li>* TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%</li></ul> ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION |

| STORMWATER QUALITY                                                                                                                                                                                                                                                                                                                                                                                                        |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26". THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 72% OF TOTAL AREA: (0.72 * 6.77 AC) = 212,285 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" * TYPE 'D' AREA: 0.26/12 * 212,285 SF) = 4,600 CF. THIS MAY CHANGE DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED. |
| THE MAJORITY OF SURFACE AND / OR SUBSURFACE SWQ RETENTION WILL BE PROVIDED THROUGHOUT THE PROPERTY. AS THE SITE DESIGN MOVES FORWARD, FINAL LOCATIONS WILL BE PROVIDED AS PART OF THE BUILDING PERMIT CONSTRUCTION DOCUMENTS.                                                                                                                                                                                             |

| LEGEND                                                                                            |                                                    |
|---------------------------------------------------------------------------------------------------|----------------------------------------------------|
|  39          | PROPOSED 1.0' CONTOUR                              |
|  38.5        | PROPOSED 0.5' CONTOUR                              |
|  37.5        | PROPOSED SPOT ELEVATION                            |
|              | SURFACE FLOW DIRECTION                             |
|  FF = 5237.5 | FINISH FLOOR ELEVATION                             |
|              | PROPOSED STORM DRAIN SYSTEM                        |
|              | PROPOSED STORMWATER QUALITY RETENTION (CONCEPTUAL) |

| KEYED NOTES                                                                                                                                                                                                                                                                                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. ALL CONSTRUCTION WORK IN THE PUBLIC R.O.W. WILL BE DONE BY PUBLIC WORK ORDER PLANS (PWO) INCLUDING ACCESS DRIVES, CURB AND GUTTER, PAVING, PUBLIC RAMPS, PUBLIC SIDEWALKS, CONNECTION TO PUBLIC STORM DRAIN, ETC. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT. |
| 2. SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. SEE ADA COMPLIANCE NOTE THIS SHEET FOR ADDITIONAL ADA REQUIREMENTS.                                                                                                                                                                     |
| 3. CONCEPTUAL PRIVATE STORM DRAIN SYSTEM TO BE FULLY DESIGNED AS PART OF BUILDING PERMIT CONSTRUCTION DOCUMENTS SUBMITTAL.                                                                                                                                                                                             |
| 4. CONNECT TO EXISTING STORM DRAIN SYSTEM AT MANHOLE.                                                                                                                                                                                                                                                                  |
| 5. PROPOSED CONTOUR LINES, SITE ELEVATIONS AND F.F. ELEVATIONS ARE PROVIDED TO SHOW THE INTENT OF THE OVERALL DRAINAGE CONCEPT. THESE WILL BE UPDATED AS NEEDED DURING THE PERMITTING PHASE WHILE REMAINING TRUE TO THE OVERALL DRAINAGE CONCEPT PROPOSED.                                                             |



| PROJECT INFORMATION                                                                                                                                                                                                                                                                                                                                                                                                                              |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP C-18. THE SITE IS BOUND TO THE WEST BY SAN PEDRO BLVD., TO THE NORTH BY EAGLE ROCK AVE., TO THE SOUTH BY OAKLAND AVE. AND TO THE EAST BY DEVELOPED COMMERCIAL PROPERTY. THE PROPERTY SLOPES FROM EAST TO WEST AT APPROXIMATELY 3%.                                                                                                                      |
| PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE MULTI-STORY APARTMENT BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, SITE AMENITIES, AND LANDSCAPING.                                                                                                                                                                                                                                                                         |
| LEGAL: LOTS 1, 2, 3, 4, 29, 30, 31 AND 32, BLOCK 27, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO.                                                                                                                                                                                                                                                                                                                                           |
| AREA: 6.580 AC                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| BENCHMARKS: ALBUQUERQUE CONTROL SURVEY MONUMENT 10C_18, ELEVATION (FEET) = 5222.09 (NAVD88)                                                                                                                                                                                                                                                                                                                                                      |
| ALBUQUERQUE CONTROL SURVEY MONUMENT 9C_18, ELEVATION (FEET) = 5232.47 (NAVD88)                                                                                                                                                                                                                                                                                                                                                                   |
| OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.                                                                                                                                                                                                                                                                                                                                                                                            |
| FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0137H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN AND IN ZONE 'AO' - DEPTH 1 FOOT. A L.O.M.R. IS UNDERWAY ELIMINATE THE FLOOD ZONE IN THE AREA.                                                                                                                                                           |
| DRAINAGE PLAN CONCEPT:<br>BASED ON THE DESIGN ANALYSIS REPORT FOR SAN PEDRO STORM DRAIN (CITY PROJECT NO. 5304.91) DATED JANUARY 2010, PREPARED BY THOMPSON ENGINEERING CONSULTANTS, INC., THE PROPOSED LOTS FALL WITHIN DRAINAGE BASINS 116.2 (LOTS 1, 2, 3 AND 4 = 3.29 ACRE @ 4.02 CFS/ACRE = 13.23 ALLOWABLE DISCHARGE) AND 117.2 (LOTS 29, 30, 31 AND 32 = 3.29 ACRE @ 3.80 CFS/ACRE = 12.50 ALLOWABLE DISCHARGE) FOR A TOTAL OF 25.73 CFS. |
| THE PROPERTY WILL DISCHARGE, AT A RATE NOT TO EXCEED 25.73 CFS, TO THE SURROUNDING STREETS AND TO THE EXISTING STORM DRAIN INFRASTRUCTURE LOCATED WITHIN THE ADJACENT STREETS. SURFACE AND/OR SUB-SURFACE STORMWATER DETENTION WILL BE PROVIDED IF NEEDED TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.                                                                                                                                          |
| PER PRE-DESIGN CONSULTATION WITH RENÉE BRISETTE, PE, THIS SITE MAY DISCHARGE THE ALLOWABLE RATE DIRECTLY TO THE EXISTING STORM DRAIN(S) LOCATED WITHIN SAN PEDRO.                                                                                                                                                                                                                                                                                |
| <div>City of Albuquerque<br/>Planning Department<br/>Development Review Services<br/>HYDROLOGY SECTION<br/><b>PRELIMINARY APPROVED</b><br/>DATE: 06/08/22<br/>BY: Renee Brissette<br/>HydroTeam # C18D108<br/><small>THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.</small></div>                                                                |

| CALCULATIONS: San Pedro Apartments : 4/28/2021                                                         |
|--------------------------------------------------------------------------------------------------------|
| Based on Drainage Design Criteria for City of Albuquerque<br>Article 6-2 Hydrology dated June 26, 2020 |
| 100-YEAR, 6-HOUR STORM                                                                                 |
| DEVELOPED FLOWS:                                                                                       |
| Area A = 0 SF, 0% Precip. Zone 3                                                                       |
| Area B = 82555 SF, 28% Ea = 0.67                                                                       |
| Area C = 0 SF, 0% Eb = 0.86                                                                            |
| Area D = 212285 SF, 72% Ec = 1.09                                                                      |
| Total = 294840 SF, 100% Ed = 2.58                                                                      |
| On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)                                         |
| Weighted E = $\frac{EaA + EbB + EcC + EdD}{A + B + C + D}$                                             |
| Hist. E = 0.87 in., Dev. E = 2.10 in.                                                                  |
| On-Site Volume of Runoff: V360 = $E^*A / 12$                                                           |
| Hist. V360 = 21327 CF, Dev. V360 = 51558 CF                                                            |
| On-Site Peak Discharge Rate: $Qp = QpAA + QpAB + QpAC + QpAD / 43.56$                                  |
| For Precipitation Zo 3                                                                                 |
| $QpA = 1.84$ , $QpC = 3.17$                                                                            |
| $QpB = 2.49$ , $QpD = 4.49$                                                                            |
| Hist. $Qp = 16.9$ CFS, Dev. $Qp = 26.6$ CFS                                                            |

Isaacson & Arfman, Inc.  
Civil Engineering Consultants

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May 25, 2022  
Conceptual  
Not for Construction

Engineer

SAN PEDRO APARTMENTS

San Pedro & Eagle Rock  
Albuquerque, New Mexico

DESIGN DEVELOPMENT  
ISSUE: DEVELOPMENT  
PROJECT NUMBER: IA 2471  
FILE:  
DRAWN BY: FCA  
CHECKED BY: FCA  
DATE: 05-25-2022

No Date Description

SHEET TITLE

SHEET NUMBER