

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 12, 2021

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Sierra Vista  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: 04/29/21  
Hydrology File: C18D108**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 04/29/2021, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Site Plan for Building Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Sierra Vista **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** C18  
**DRB#:** PR-2021-005272 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract A, Lots 1 thru 4 & 29 thru 32, Block 27, North Albuquerque Acres  
**City Address:** 9320 San Pedro Dr NE

**Applicant:** Isaacson & Arfman, Inc. **Contact:** Fred C. Arfman  
Bryan J. Bobrick  
**Address:** 128 Monroe Street NE - Albuquerque, NM 87108  
**Phone#:** (505) 268-8828 **Fax#:** \_\_\_\_\_ **E-mail:** freda@iacivil.com  
bryanb@iacivil.com

**Owner:** Tekin & Associates, LLC **Contact:** Mark Tekin  
**Address:** 2600 N Dallas Pkwy #370 - Frisco, TX 75034  
**Phone#:** (469) 458-0485 **Fax#:** \_\_\_\_\_ **E-mail:** mark.tekin@tekindevelopment.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE ☒ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
☒ CONCEPTUAL G & D PLAN  
\_\_\_\_\_ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

\_\_\_\_\_ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** April 29, 2021 **By:** Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

APRIL 29, 2021

**Supplemental Drainage Information**

**for**

**Sierra Vista Apartments**  
**Conceptual Grading & Drainage Submittal**

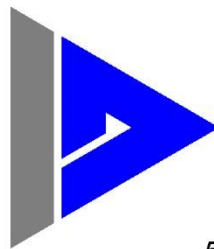
ENGINEER



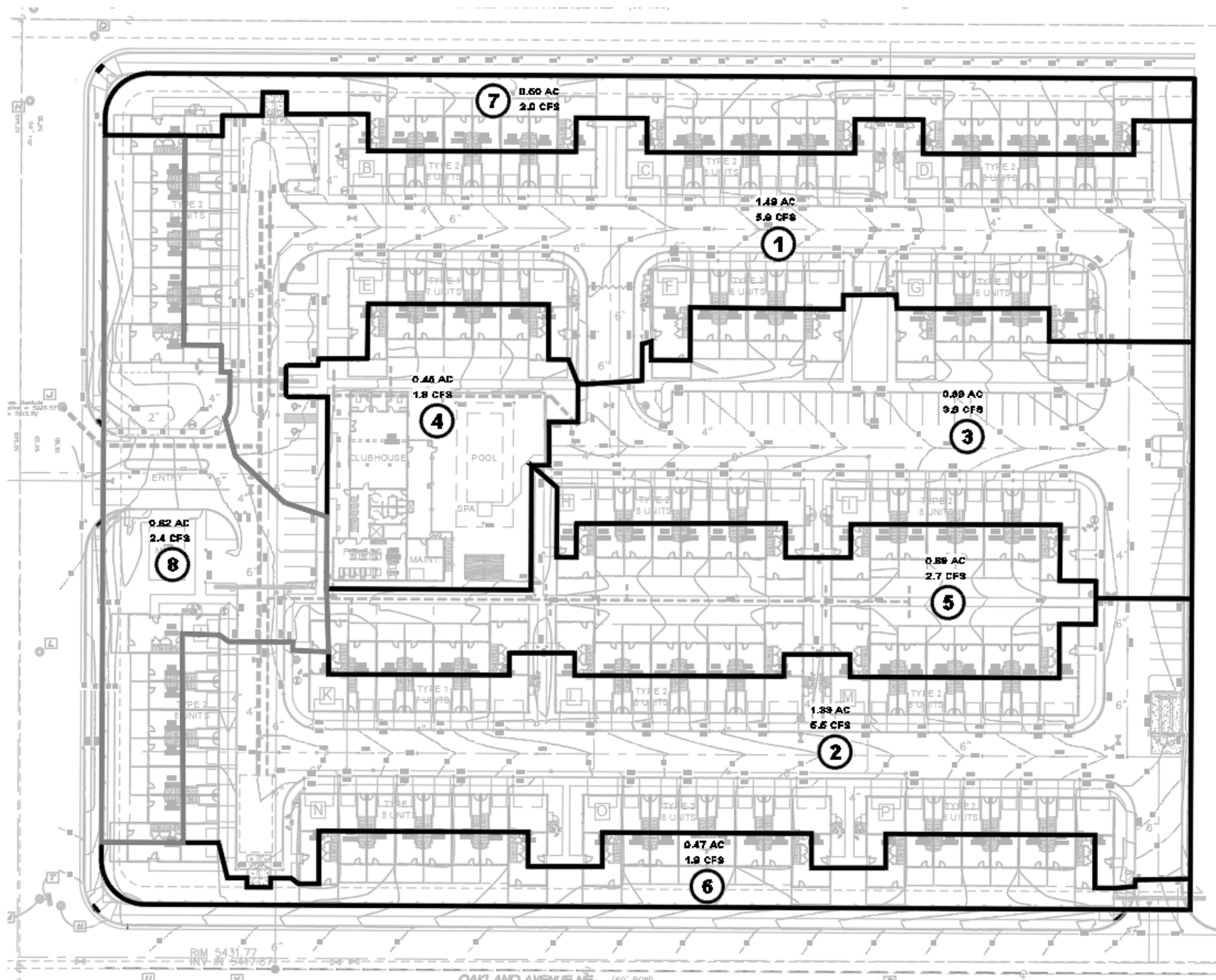
April 29, 2021  
Conceptual  
Not for Construction

by

*Isaacson & Arfman, Inc.*  
Civil Engineering Consultants



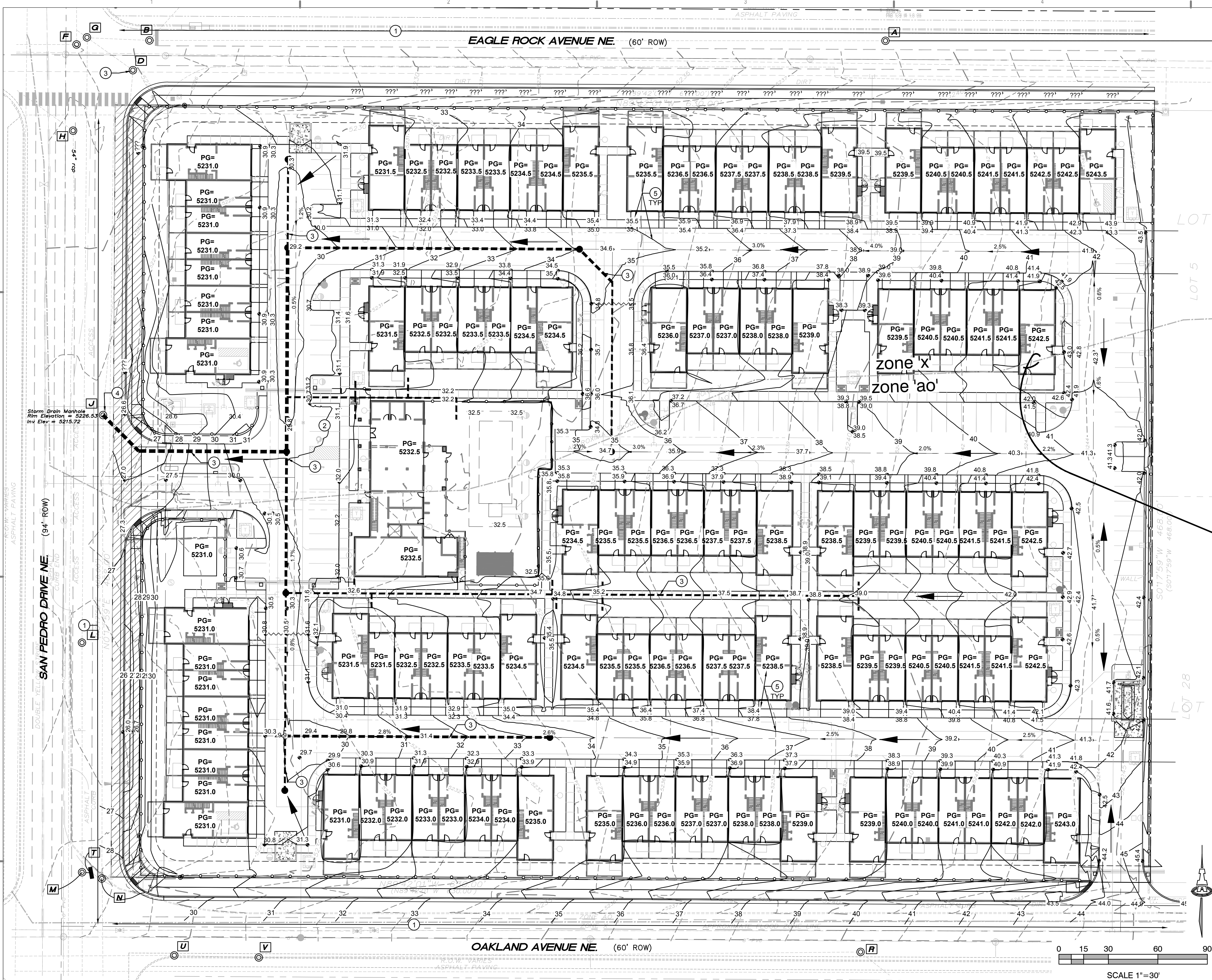
128 Monroe Street NE  
Albuquerque, NM 87108  
505-268-8828 | [www.iacivil.com](http://www.iacivil.com)



The conceptual drainage basin configuration shows Basins 6, 7 and 8 (approximately 6.2 cfs) being released to the adjacent streets. Stormwater quality ponds will be provided prior to the outfall as much as possible.

Basins 1, 2, 3, 4 and 5 (19.7± cfs) will be collected within the internal storm drain system and released to the existing San Pedro storm drain manhole located near the west entrance as shown. Stormwater quality ponds will be provided prior to stormwater entering the storm drain system as much as possible.

BASIN SUMMARY				
Basin No.	Discharges to	100-year 6-hour Discharge (Q)	Stormwater Quality Volume	Comments
1	To Storm Drain System	5.8	1006	
2	To Storm Drain System	5.5	945	
3	To Storm Drain System	3.9	673	
4	To Storm Drain System	1.8	306	
5	To Storm Drain System	2.7	469	
6	To Oakland Avenue	1.8	319	
7	To Eagle Rock Ave.	2.0	340	
8	To San Pedro Drive	2.4	421	
TOTAL DISCHARGE		25.9	4478	CFS

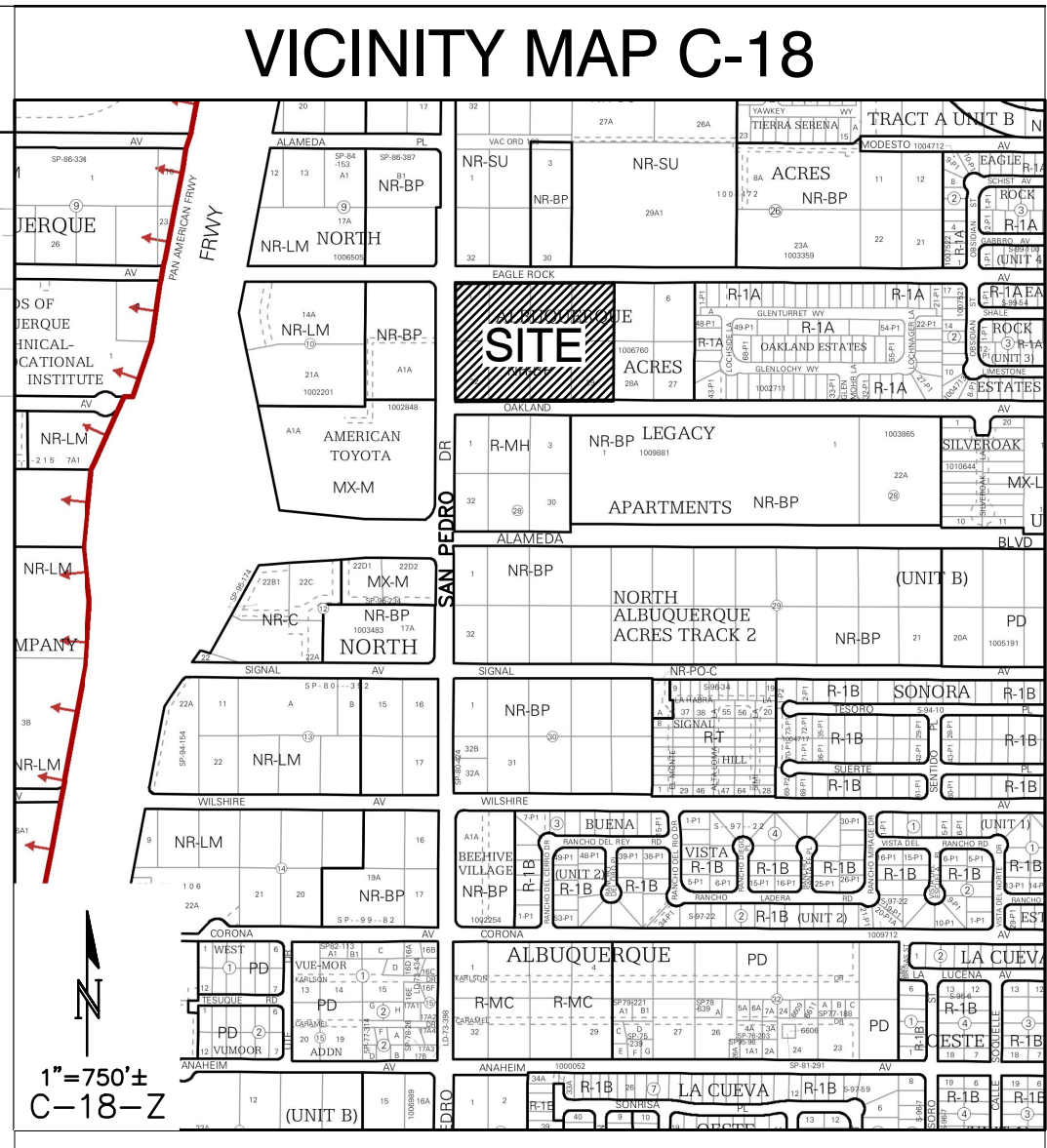


ADA COMPLIANCE
SIDEWALK(S) AND RAMP(S): <ul style="list-style-type: none"><li>* LONGITUDINAL SLOPE SHALL NOT EXCEED 20:1</li><li>* TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%</li></ul>
ACCESSIBLE RAMP(S): <ul style="list-style-type: none"><li>* TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%)</li><li>* TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%</li></ul>
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

STORMWATER QUALITY
FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26", THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 70% OF TOTAL AREA: (0.70 * 6.77 AC) = 206,430 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" * TYPE 'D' AREA: (0.26/12 * 206,430 SF) = 4,473 CF. THIS MAY CHANGE DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED.
SWQV PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY OR FEE-IN-LIEU WILL BE REMITTED, AS THE SITE DESIGN MOVES FORWARD, FINAL LOCATIONS WILL BE PROVIDED AS PART OF THE BUILDING PERMIT CONSTRUCTION DOCUMENTS.

LEGEND
39' PROPOSED 1.0' CONTOUR
38.5' PROPOSED 0.5' CONTOUR
37.5 PROPOSED SPOT ELEVATION
SURFACE FLOW DIRECTION
FF = 5237.5 FINISH FLOOR ELEVATION
PROPOSED STORM DRAIN / INLET

KEYED NOTES
1. ALL CONSTRUCTION WORK IN THE PUBLIC R.O.W. WILL BE DONE BY PUBLIC WORK ORDER PLANS (PWO) INCLUDING ACCESS DRIVES, CURB AND GUTTER, PUBLIC RAMPS, PUBLIC SIDEWALKS, CONNECTION TO PUBLIC STORM DRAIN, ETC. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
2. SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. SEE ADA COMPLIANCE NOTE THIS SHEET FOR ADDITIONAL ADA REQUIREMENTS.
3. CONCEPTUAL PRIVATE STORM DRAIN SYSTEM.
4. CONNECT TO EXISTING STORM DRAIN SYSTEM AT MANHOLE.
5. PROPOSED CONTOUR LINES, SITE ELEVATIONS AND PAD ELEVATIONS ARE PROVIDED TO SHOW THE INTENT OF THE OVERALL DRAINAGE CONCEPT. THESE WILL BE UPDATED AS NEEDED DURING THE PERMITTING PHASE WHILE REMAINING TRUE TO THE OVERALL DRAINAGE CONCEPT PROPOSED.



PROJECT INFORMATION
PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP C-18. THE SITE IS BOUND TO THE WEST BY SAN PEDRO BLVD., TO THE NORTH BY EAGLE ROCK AVE., TO THE SOUTH BY OAKLAND AVE. AND TO THE EAST BY DEVELOPED COMMERCIAL PROPERTY. THE PROPERTY SLOPES FROM EAST TO WEST AT APPROXIMATELY 3%.
PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE MULTI-STORY APARTMENT BUILDINGS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, SITE AMENITIES, AND LANDSCAPING.
LEGAL: LOTS 1, 2, 3, 4, 29, 30, 31 AND 32, BLOCK 27, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO.
AREA: 6.580 AC
BENCHMARKS: ALBUQUERQUE CONTROL SURVEY MONUMENT 10C_18, ELEVATION (FEET) = 5222.09 (NAVD88) ALBUQUERQUE CONTROL SURVEY MONUMENT 9C_18, ELEVATION (FEET) = 5232.47 (NAVD88)
OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.
FLOOD HAZARD: PER FEMA FLOOD HAZARD MAP 35001C0137H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN AND IN ZONE 'AO'. DEPTH 1 FOOT. STORM DRAIN IMPROVEMENTS MADE IN THE AREA ELIMINATE THE FLOOD ZONE IN THE AREA. THE ZONE AO DESIGNATION WILL BE REMOVED FROM THIS PROPERTY AS PART OF THE PROPOSED IMPROVEMENTS.
DRAINAGE PLAN CONCEPT: BASED ON THE DESIGN ANALYSIS REPORT FOR SAN PEDRO STORM DRAIN (CITY PROJECT NO. 5304.91) DATED JANUARY 2010, PREPARED BY THOMPSON ENGINEERING CONSULTANTS, INC., THE PROPOSED LOTS FALL WITHIN DRAINAGE LOTS 1, 2, 3 AND 4 = 3.29 ACRES @ 4.02 CFS/ACRE = 13.23 ALLOWABLE DISCHARGE) AND 117.2 (LOTS 29, 30, 31 AND 32 = 3.29 ACRES @ 3.80 CFS/ACRE = 12.50 ALLOWABLE DISCHARGE) FOR A TOTAL OF 25.73 CFS.
THE PROPERTY WILL DISCHARGE, AT A RATE NOT TO EXCEED 25.73 CFS, TO THE SURROUNDING STREETS AND TO THE EXISTING STORM DRAIN MANHOLE LOCATED AT THE MAIN ENTRANCE ALONG SAN PEDRO BLVD. NE. SURFACE AND/OR SUB-SURFACE STORMWATER DETENTION WILL BE PROVIDED IF NEEDED TO LIMIT THE DISCHARGE TO THE ALLOWABLE RATE.
PER PRE-DESIGN CONSULTATION WITH RENÉE BRISSETTE, P.E., THIS SITE MAY DISCHARGE THE ALLOWABLE RATE DIRECTLY TO THE EXISTING STORM DRAIN LOCATED WITHIN THE SAN PEDRO STORM DRAIN.
Development Review Services HYDROLOGY SECTION <b>PRELIMINARY APPROVED</b> DATE: 05/12/21 BY: Renée L. Brissette HydroTrans # C18D108

CALCULATIONS: San Pedro Apartments : 4/28/2021
Based on Drainage Design Criteria for City of Albuquerque Article 6-2 Hydrology dated June 26, 2020 100-YEAR, 6-HOUR STORM
DEVELOPED FLOWS:
Area A = 0 SF, 0% Precip. Zone 3
Area B = 82555 SF, 28% Precip. Zone 3
Area C = 0 SF, 0% Precip. Zone 3
Area D = 212285 SF, 72% Precip. Zone 3
Total = 294840 SF, 100% Precip. Zone 3
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $\frac{E_a A_a + E_b A_b + E_c A_c + E_d A_d}{A_a + A_b + A_c + A_d}$
Hist. E = 0.87 in., Dev. E = 2.10 in.
On-Site Volume of Runoff: V360 = $E^* A / 12$
Hist. V360 = 21327 CF, Dev. V360 = 51558 CF
On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_a + Q_{pB} A_b + Q_{pC} A_c + Q_{pD} A_d / 43,500$
For Precipitation Zo 3
$Q_{pA} = 1.84$ , $Q_{pB} = 2.49$ , $Q_{pC} = 3.17$ , $Q_{pD} = 4.49$
Hist. $Q_p = 16.9$ CFS, Dev. $Q_p = 26.6$ CFS

DEKKER  
PERICH  
SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

ENGINEER

April 29, 2021  
Conceptual  
Not for Construction

PROJECT

SIERRA VISTA  
SAN PEDRO AND EAGLE ROCK  
ALBUQUERQUE, NM, 87113

REVISIONS

DRAWN BY

REVIEWED BY

DATE 02/08/2021

PROJECT NO. 20-0307

DRAWING NAME

SHEET NO.

OF