

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 20, 2023

Fred C. Arfman, P.E.
Isaacson & Arfman
128 Monroe St. NE
Albuquerque, NM 87108

Re: San Pedro Apartments
9320 San Pedro Dr. NE
Traffic Circulation Layout
Engineer's Stamp 12-20-22 (C18-D108)

Dear Mr. Arfman,

The TCL submittal received 01-13-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

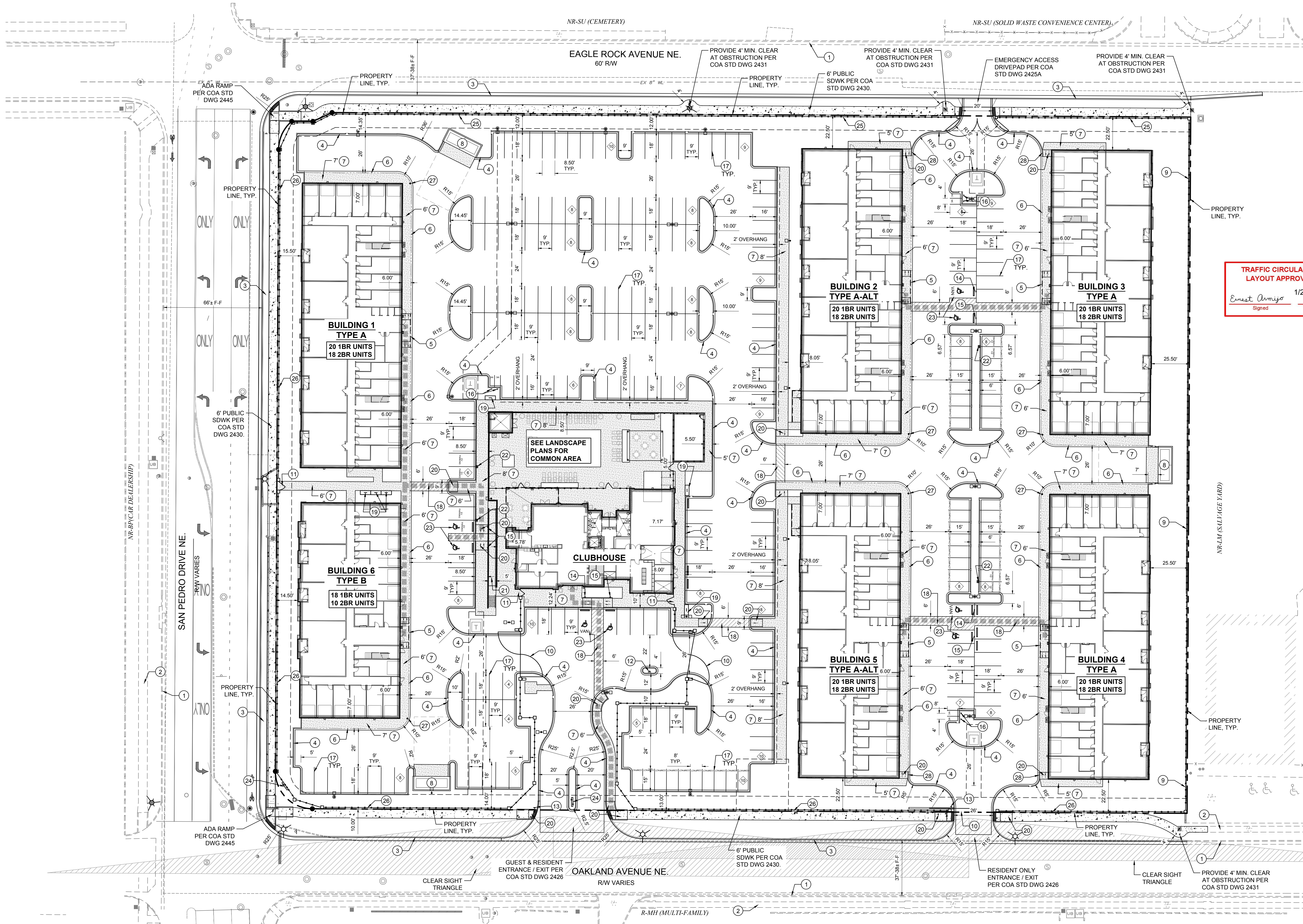
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

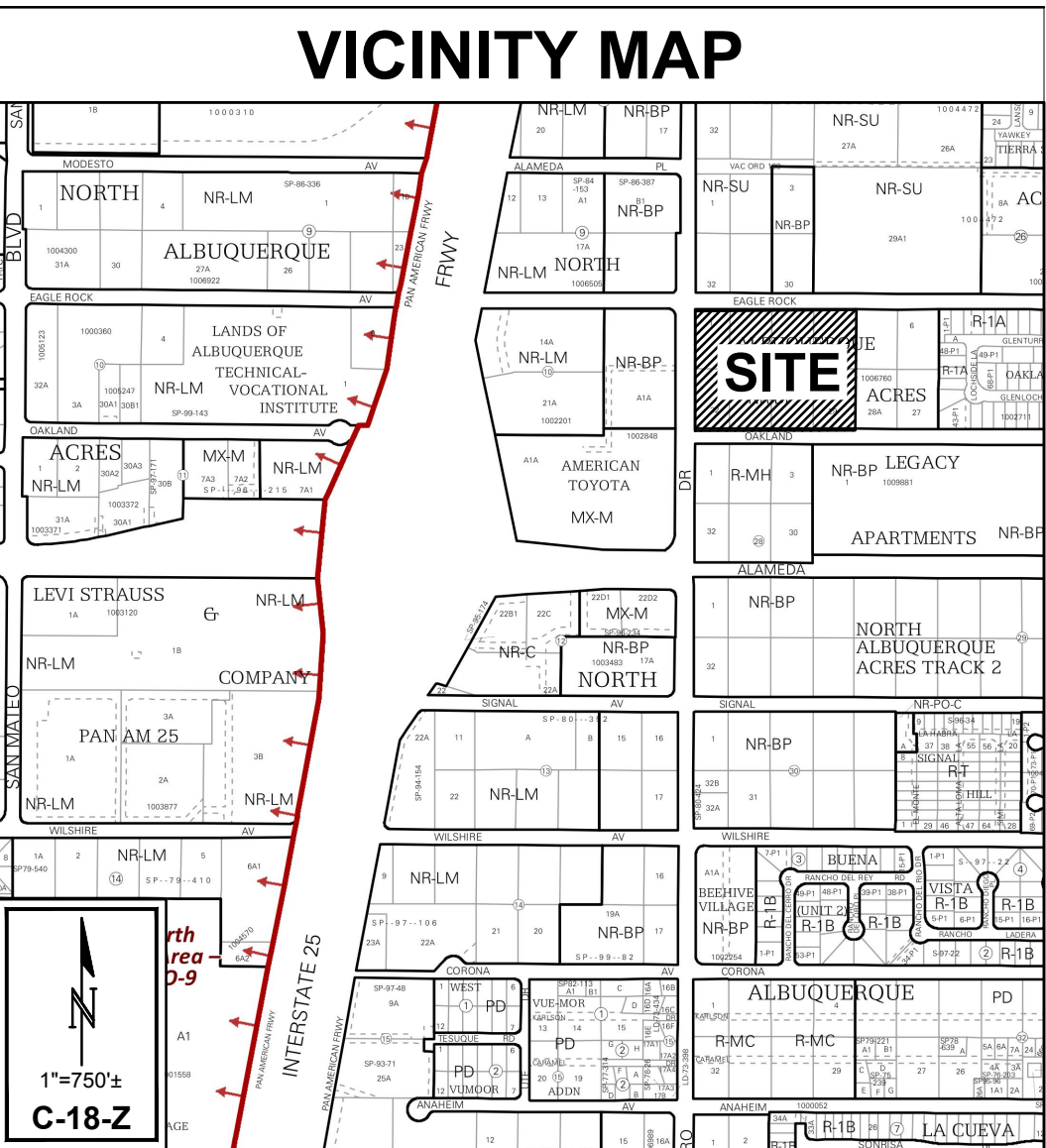
Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Armijo
Signed Date 1/20/2023



PROJECT DATA

LEGAL DESCRIPTION:
LOT 32-A, BLOCK 27, NORTH ALBUQUERQUE ACRES

SITE AREA: 6.5776 ACRES

ZONING: R-MH

UNIT CALCULATIONS:
1 BR UNITS = 118 (54.1%)
2 BR UNITS = 100 (45.9%)
TOTAL UNITS = 218

PARKING CALCULATIONS:
REQUIRED: 1.5 SPACES PER DU = 327 SPACES
ADA REQUIRED: 8 SPACES (2 VAN SPACES)
PROVIDED:
GARAGE= 93 SPACES
SURFACE= 214 SPACES
SURFACE (COMPACT)= 42 SPACES
8 SPACES (3 VAN SPACES)
TOTAL= 357 SPACES

ELECTRIC VEHICLE REQUIRED: 2% TOTAL REQUIRED = 7 SPACES
ELECTRIC VEHICLE PROVIDED: 8 SPACES

MOTORCYCLE REQUIRED: 6 SPACES
MOTORCYCLE PROVIDED: 6 SPACES

BICYCLE REQUIRED: 34 SPACES
BICYCLE PROVIDED:
SURFACE: 12 SPACES
INTERNAL TO BUILDINGS: 22 SPACES
TOTAL= 34 SPACES

OPEN SPACE CALCULATIONS:
REQUIRED:
225 SQUARE FEET PER 1 BED: 26,550 sf
285 SQUARE FEET PER 2 BED: 28,500 sf
TOTAL: 55,050 sf
PROVIDED:
BALCONIES/PATIOS: 9,234 sf
SURFACE: 78,440 sf
TOTAL= 87,674 sf

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB, BUILDING FOUNDATION, FACE OF WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- ANY LIGHTING SHALL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM RESIDENTIAL DISTRICTS AND SHALL BE FULLY SHIELDED TO COMPLY WITH THE NM NIGHT SKY PROTECTION ACT AND IDO SECTION 14-16-5-8 OUTDOOR LIGHTING. MAXIMUM HEIGHT FOR LIGHT POLES SHALL BE 18 FEET TALL.

LEGEND

- | | |
|-----------------------|----------------------------------|
| ADA SPACE | BIKE RACK |
| PEDESTRIAN CROSS WALK | PARKING ROW COUNT |
| DUAL PORT EV CHARGER | PROPERTY LINE |
| ADA PATHWAY | SITE LIGHTING SEE LIGHTING PLANS |
| | EXTRUDED CONCRETE BASE |

ALL WORK SHOWN WITHIN PUBLIC RIGHT OF WAY AND/OR PUBLIC WATER AND SEWER EASEMENTS ARE TO BE CONSTRUCTED UNDER A CITY OF ALBUQUERQUE PUBLIC WORK ORDER.

KEYED NOTES

- EXISTING CURB & GUTTER.
- EXISTING SIDEWALK.
- STANDARD CURB & GUTTER, PER COA STD DWG 2415A.
- MEDIAN CURB & GUTTER, PER DETAIL ON SHEET CP-501.
- ADA RAMP AT LOBBY DOORS, PER DETAIL ON SHEET CP-502.
- ESTATE CURB, PER DETAIL ON SHEET CP-501.
- SIDEWALK, PER DETAIL ON SHEET CP-501.
- REFUSE ENCLOSURE, PER DETAIL ON SHEET CP-501.
- EXISTING SOLID WALL TO REMAIN.
- VEHICULAR ACCESS GATE, SEE LANDSCAPE.
- PEDESTRIAN ACCESS GATE, SEE LANDSCAPE.
- GUEST GATE CALL BUTTON.
- SITE SIGNAGE: STOP SIGN, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: VAN ADA PARKING, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: ADA PARKING, PER DETAIL ON SHEET CP-501.
- SITE SIGNAGE: MOTORCYCLE PARKING, PER DETAIL ON SHEET CP-501.
- 4" WHITE STRIPE.
- CROSSWALK STRIPING, PER DETAIL ON SHEET CP-501.
- BICYCLE RACK, PER DETAIL ON SHEET CP-501.
- ADA RAMP, PER DETAIL ON SHEET CP-502.
- ADA RAMP, PER DETAIL ON SHEET CP-502.
- EV CHARGING STATION.
- ADA PARKING, PER DETAIL ON SHEET CP-501.
- MONUMENT SIGNAGE: MAXIMUM SIZE 24 SQUARE FEET AND 4 FEET TALL PER IDO SECTION 5-12 AND TABLE 5-12-1.
- 6" SOLID CMU WALL ALONG EAGLE ROCK AVENUE (REAR).
- 3" SOLID CMU WALL WITH 3' VIEW FENCE ABOVE (6' TOTAL HEIGHT).
- CONCRETE FILLED BOLLARD, PER DETAIL ON SHEET CP-501.
- TRANSITION FROM MEDIAN CURB & GUTTER TO ESTATE CURB AT ADA RAMP.

7322

ISSUE DATE: 2022-11-30

REVISIONS

12/20/2022

123 Monroe Street NE
Albuquerque, NM 87109
505-265-8628 | www.bsbdesign.com

Isaacson & Arfman, Inc.
Civil Engineering Consultants

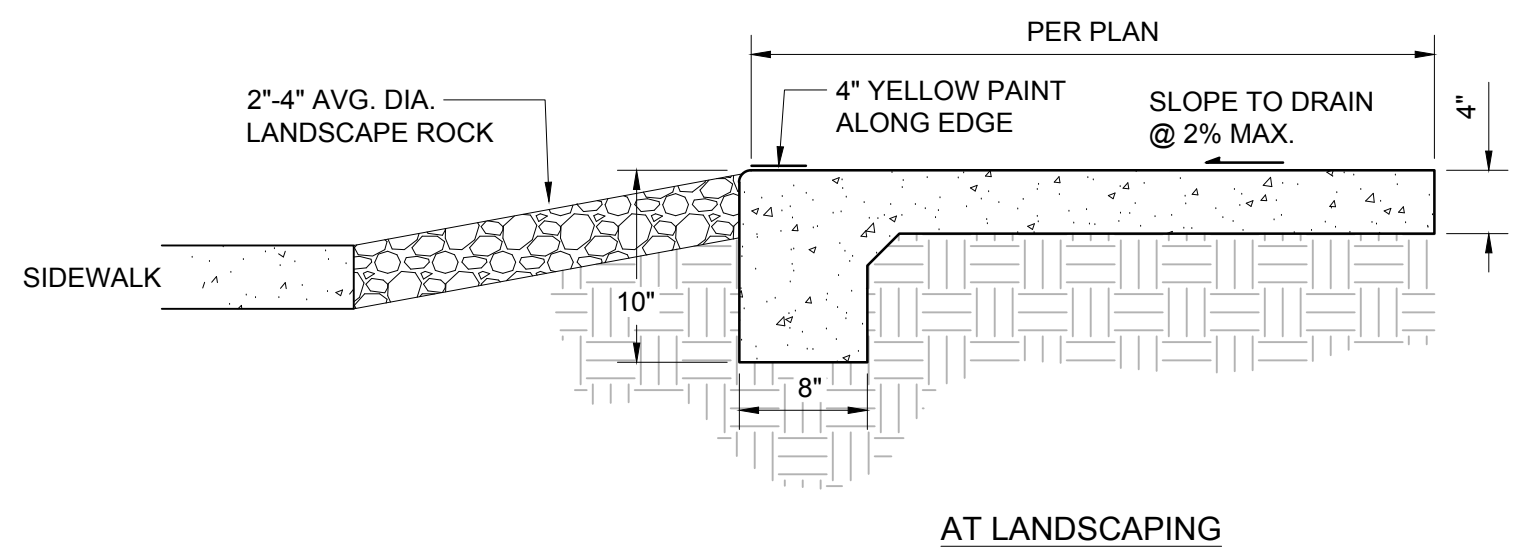
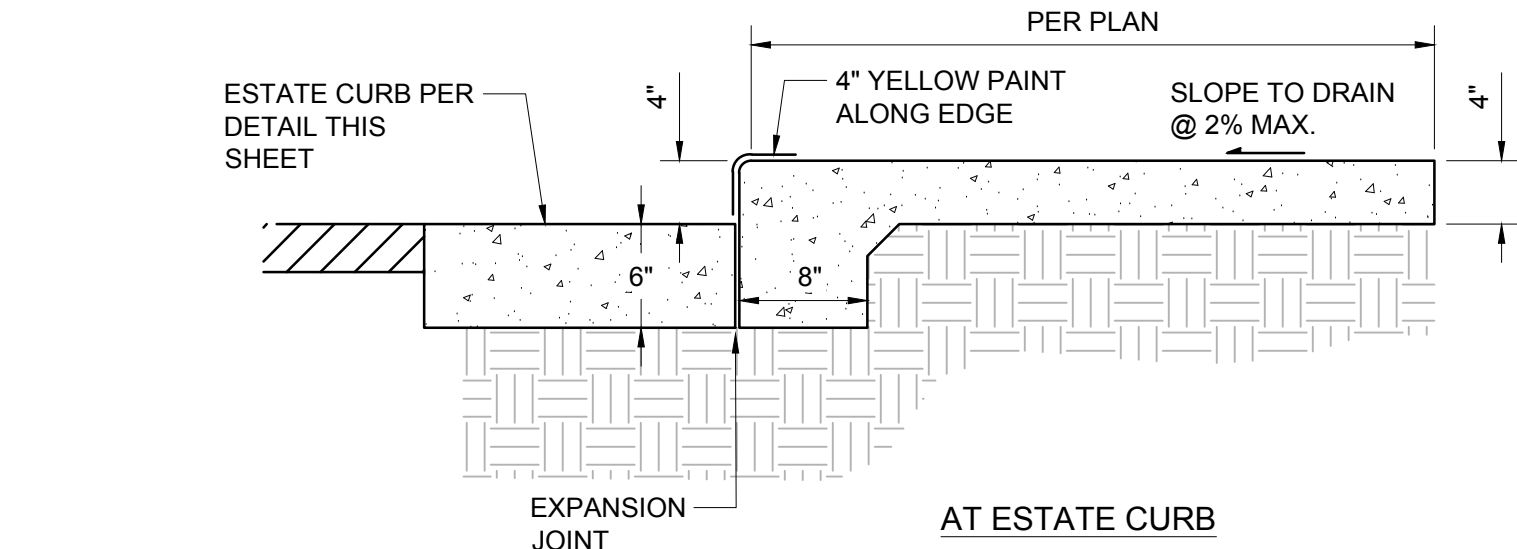
TEKIN - SAN PEDRO APARTMENTS
ALBUQUERQUE, NEW MEXICO

CP-100

100% CONSTRUCTION DOCUMENTS

SITE PLAN

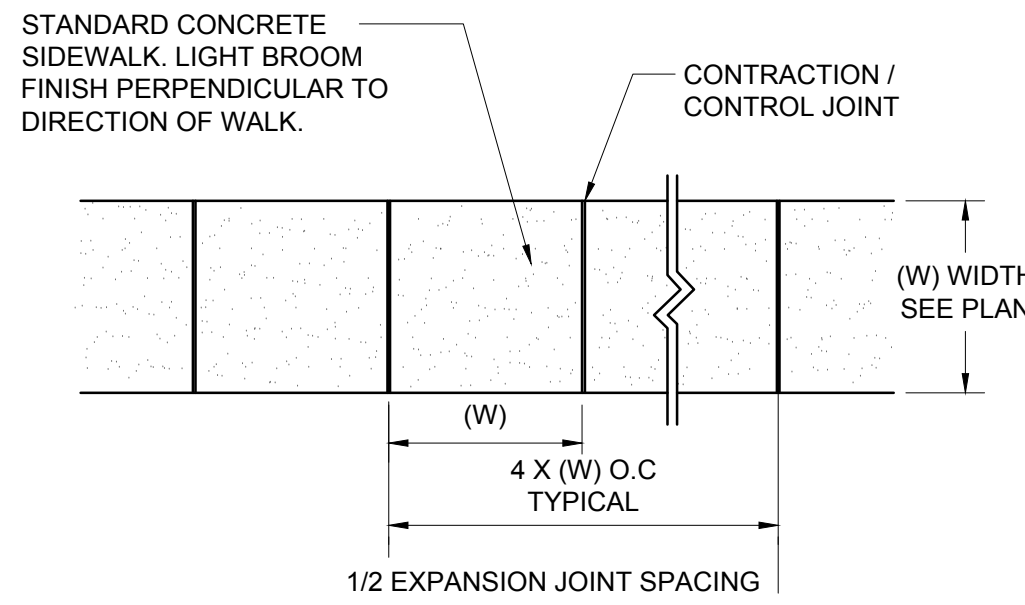
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- CONSTRUCTION NOTES**
- CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
 - 1/2" EXPANSION JOINTS @ 24' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
 - REQUIRES FULL FORM ON ALL FACES.
 - 3/8" RADII AT ALL EXPOSED EDGES.

SIDEWALK - TURNED DOWN EDGE

SCALE: N.T.S.

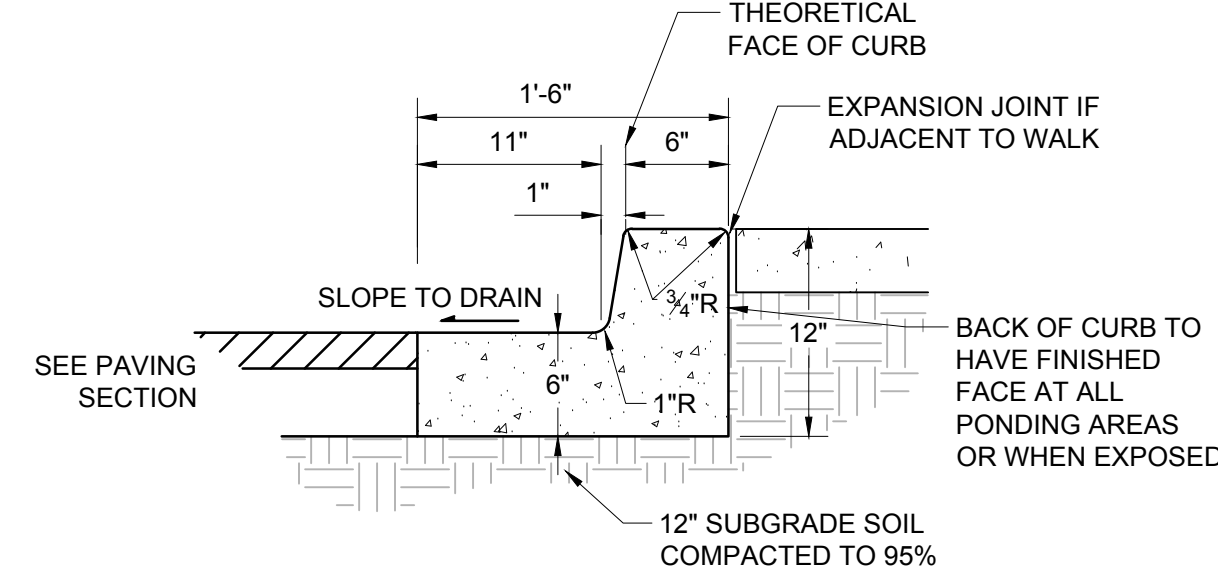


- CONSTRUCTION NOTES**
- 4000 PSI COMPRESSIVE STRENGTH CONCRETE
 - SEE CONCRETE JOINTS DETAIL
 - FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP.)
 - 3/8" RADII AT ALL EXPOSED EDGES.

CONCRETE WALK

BROOM FINISH

SCALE: N.T.S.

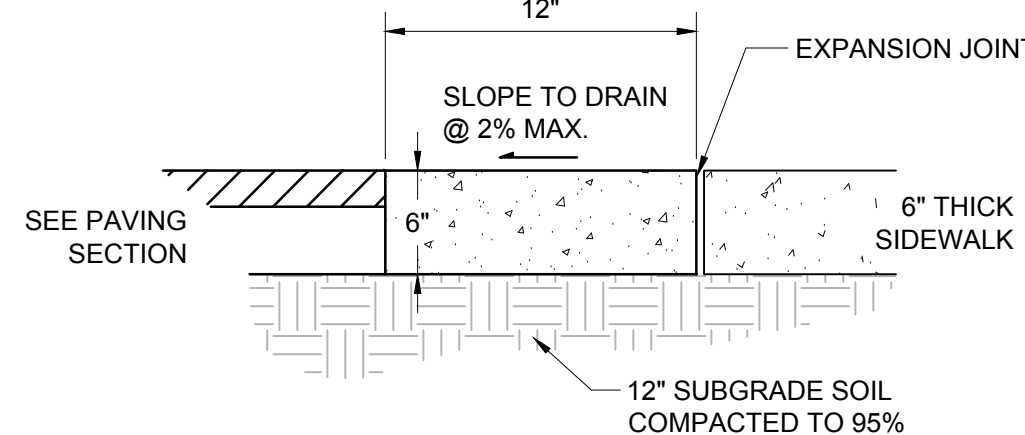


- CONSTRUCTION NOTES**
- REQUIRES FULL FORM ON ALL VERTICAL FACES.
 - CONTRACTION / CONTROL JOINTS @ 6' O.C. MAX.
 - EXPANSION JOINTS @ 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
 - EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" RADII.

MEDIAN CURB AND GUTTER

6" WIDE THEORETICAL FACE OF CURB

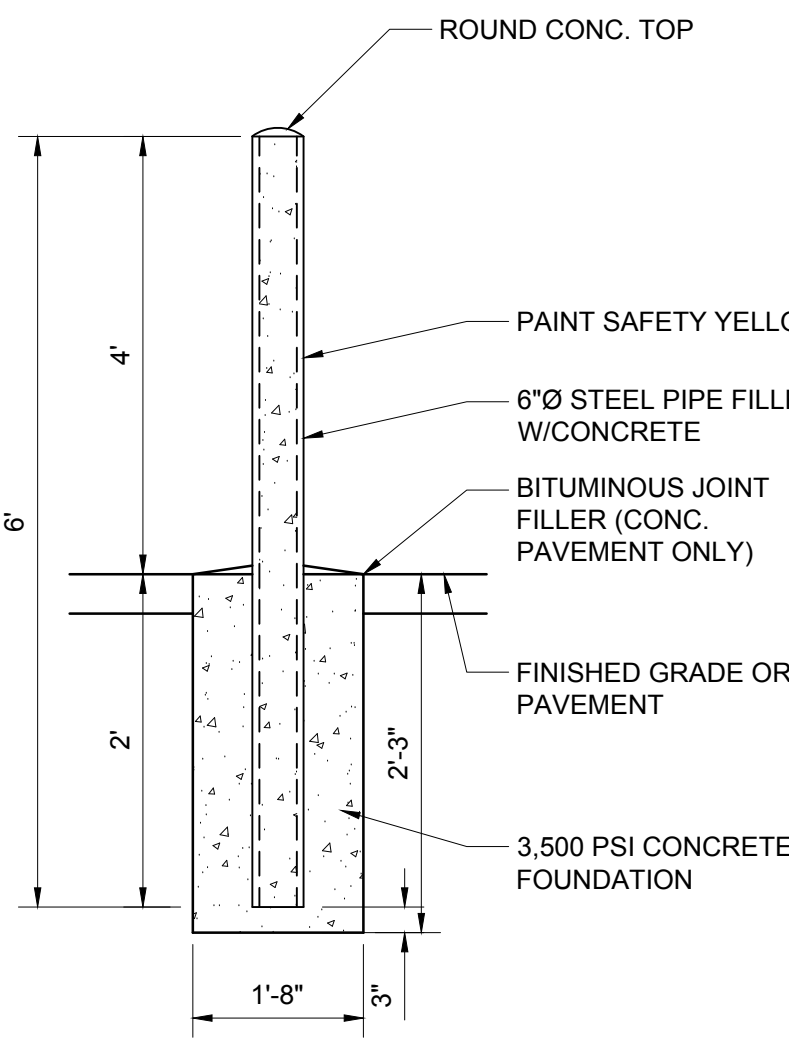
SCALE: N.T.S.



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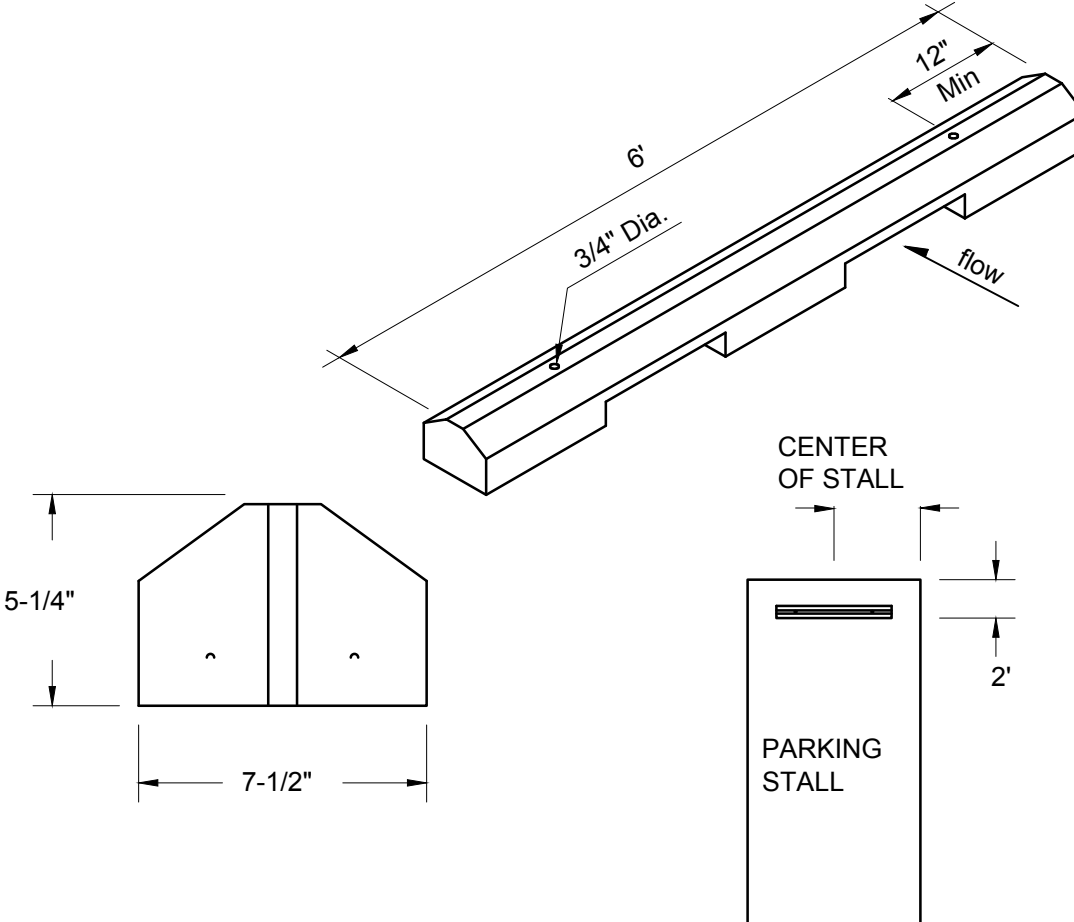
ESTATE CURB

SCALE: N.T.S.



CONCRETE FILLED BOLLARD

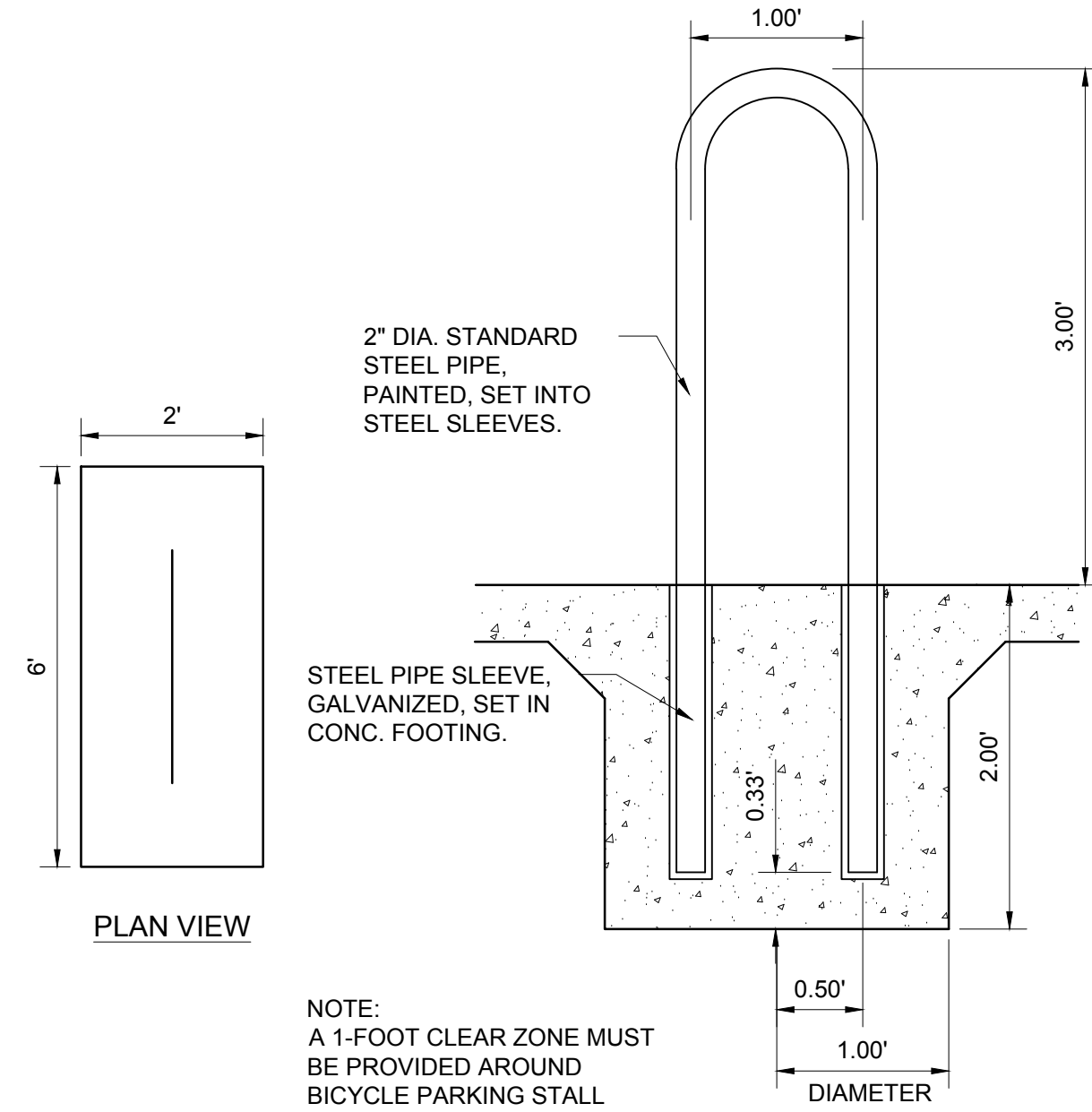
SCALE: N.T.S.



- CONSTRUCTION NOTES**
- WHEEL STOPS TO BE PLACED 2' BACK, CENTERED IN THE PARKING STALL. WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK.
 - BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.
 - INSTALL EACH WITH TWO DOWELS PER MANUFACTURERS SPECIFICATIONS.

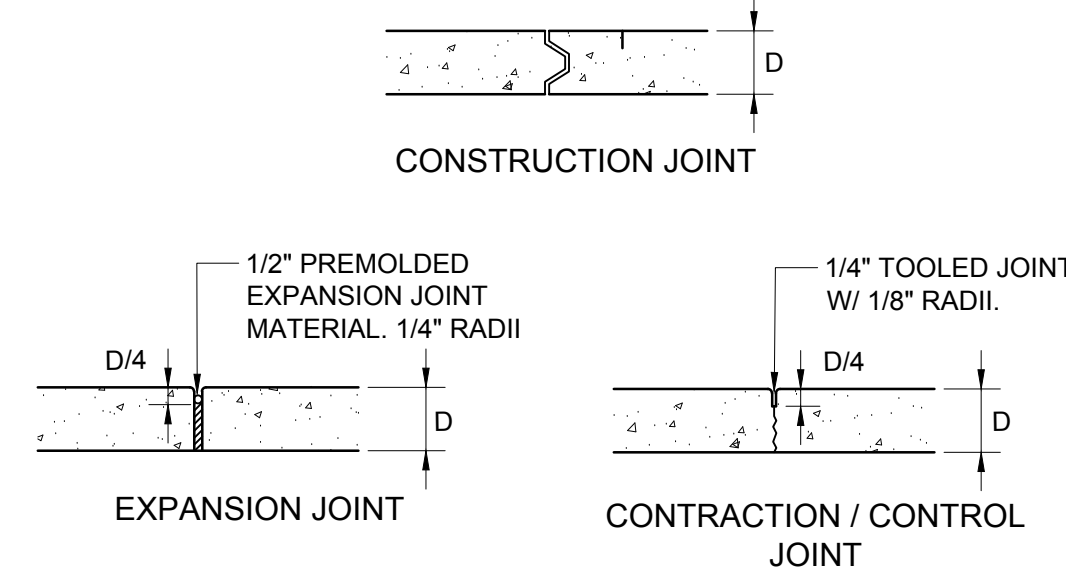
CONCRETE WHEEL STOP

SCALE: N.T.S.



BICYCLE RACK

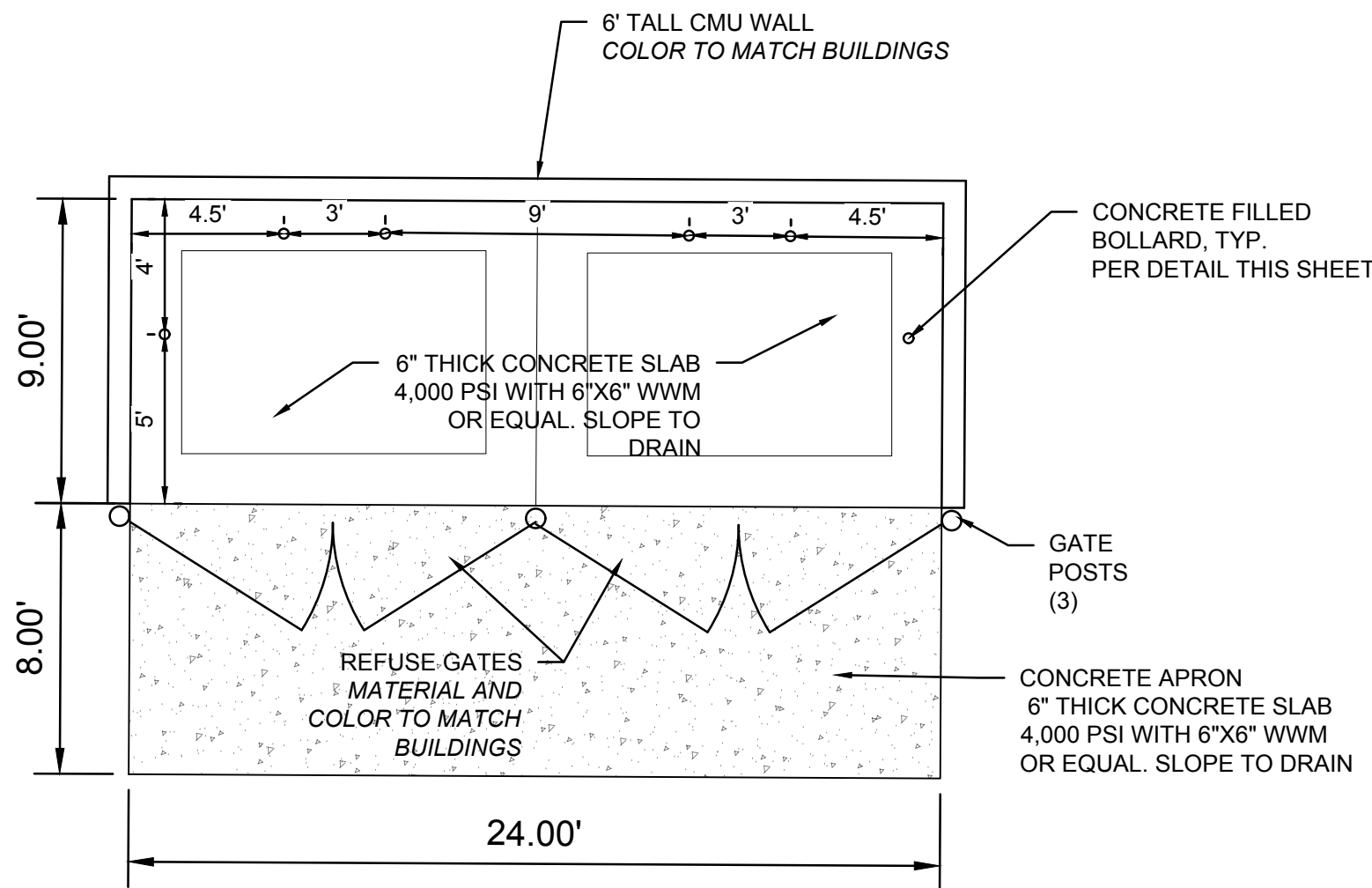
SCALE: N.T.S.



- CONSTRUCTION NOTES**
- ODD-SHAPED AREAS OF PAVEMENT SHOULD BE AVOIDED TO MINIMIZE RANDOM CRACKING
 - LONGITUDINAL JOINT SPACING SHALL NOT EXCEED 12.5'
 - TRANSVERSE JOINT SPACING SHALL BE AT REGULAR INTERVALS OF 15' OR LESS
 - OFFSETS AT RADIUS POINTS SHALL BE AT LEAST 1.5' WIDE

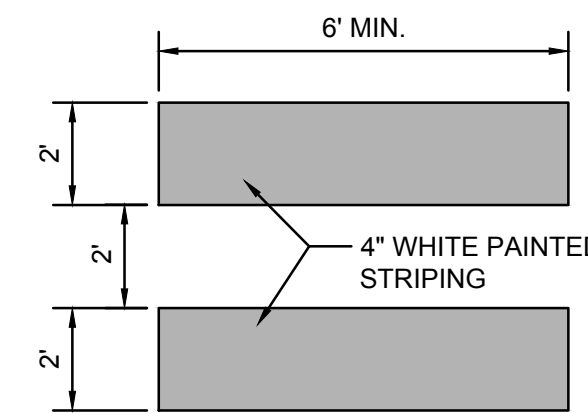
CONCRETE JOINTS

SCALE: N.T.S.



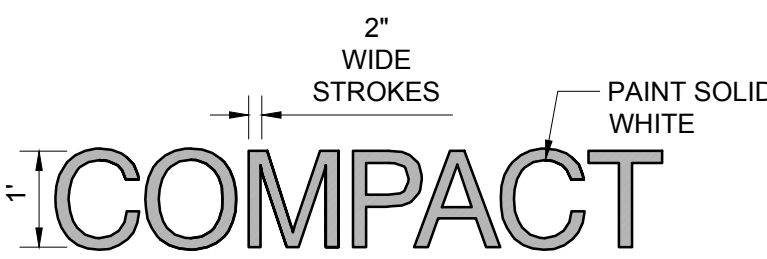
REFUSE ENCLOSURE

SCALE: N.T.S.



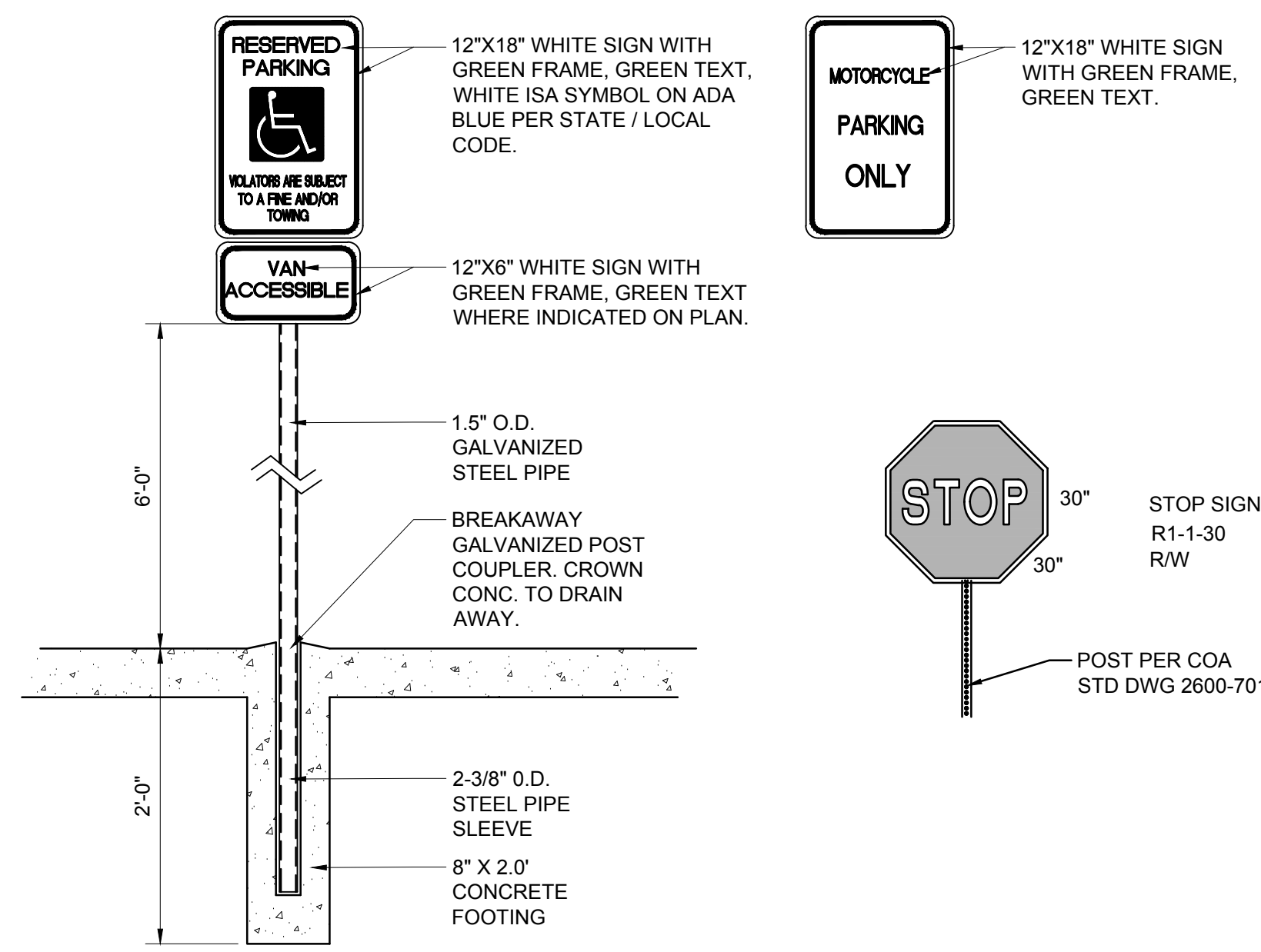
PAINTED CROSSWALK MARKINGS

SCALE: N.T.S.



PAINTED 'COMPACT'

SCALE: N.T.S.



SIGNAGE

SCALE: N.T.S.



ISSUE DATE: 2022-11-30

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REVISIONS

1 Date 2 PERMIT COMMENTS



TEKIN - SAN PEDRO APARTMENTS
ALBUQUERQUE, NEW MEXICO



11011 Gail County Blvd, Suite 101
San Jose, California 95131
916.941.0095

JOB NO: LP210388.00

SITE DETAILS

CP-501

2022-11-30 - 100% CONSTRUCTION DOCUMENTS

EAGLE ROCK AVE

-EX 8" WL-

SAN PEDRO BLVD

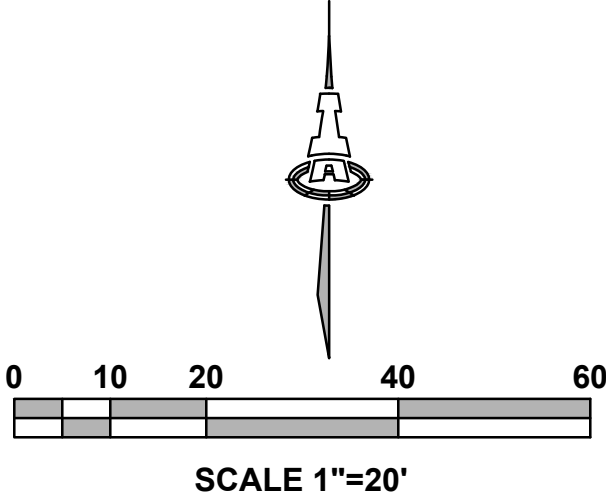
OAKLAND AVE

GENERAL NOTES

1. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. UPON WRITTEN REQUEST COORDINATED THROUGH THE PROJECT ARCHITECT, THE ELECTRONIC SITE PLAN FILE WILL BE PROVIDED TO THE CONTRACTOR FOR HORIZONTAL CONTROL STAKING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THE CONFORMITY OF THE SURVEYED STAKES WITH THE STAMPED PLANS WITH REGARDS TO WRITTEN DIMENSIONS, NOTES AND DETAILS PROVIDED IN THE APPROVED PLANS. IF THERE IS A DISCREPANCY BETWEEN THE ELECTRONIC FILE PROVIDED FOR STAKING AND THE STAMPED PLANS, THE STAMPED PLANS WILL GOVERN.

TRAFFIC CIRCULATION
LAYOUT APPROVED
1/20/2023
Signed: Ernest Arfman Date:

PROPERTY LINE,
TYP.



ISSUE DATE: 2022-11-30

REVISIONS

2 Date 2 PERMIT COMMENTS

Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87109
505-265-3528 | www.isacv.com

TEKIN - SAN PEDRO APARTMENTS
ALBUQUERQUE, NEW MEXICO



11011 Grand County Blvd, Suite 101
Oak View, California 94051
(916) 841-1000

JOB NO. LP210388.00

SITE PHASING
PLAN

CP-103

2022-11-30 - 100% CONSTRUCTION DOCUMENTS